

Design and Access Statement

ATTN: Planning Department

RE: 40 Saint Matthew Close, Uxbridge UB8 3SR, UK

01 Introduction

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04 Design, Layout and Amenity

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01 Introduction

The proposal is for a side extension that extends past rear extension and connects to existing outbuilding, including the roof change of outbuilding that partially lands on neighbours plot. The property is not Listed and is not in a Conservation area. The DAS explains the design and access principles which have been applied to the development and forms part of a suite of documents which support the planning application.

This Design and Access statement is to be read in conjunction with the following documents:

1. Full set of drawings
2. Location Map
3. CIL Form

The following policies and legislation have been considered:

- National Planning Policy Framework 2019
- Local Plan - Development Management Policies 2020: DMP1 Development Management General Policy Housing Standards and DMP2.
- Hillingdon Council- Document B- Planning Obligations SPD

02 Context

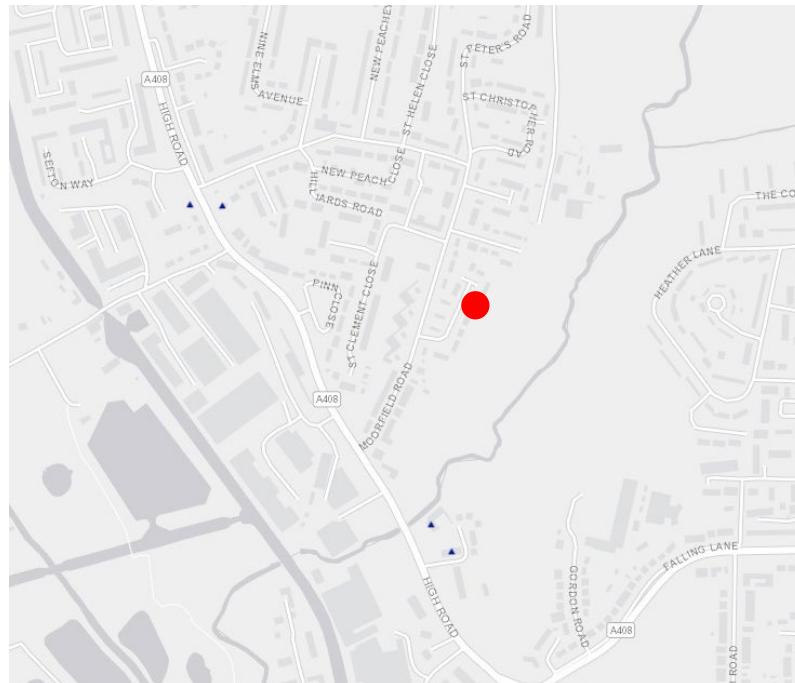


Fig. 1 Listed buildings map

Site



Listed buildings



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Fig. 2 Aerial map

Site-	—
St. Matthew Cl	—
Moorfield Rd	—
St. Clement Cl	—
St. Nicholas Cl	—

The site is situated in Uxbridge within a large residential area. There are many green spaces nearby. Walking distance away is Manor Farm, Philipot's Farm Open Space. At the right side of the parks, there is the River Pinn. Rabbsfarm Primary School is in 10 mins by foot.

The local amenities are within easy reach of the area, located South from Moorfield Rd. The site offers easy access to transport links with buses taking you to Hounslow, Heathrow Airport as well as Uxbridge Town Centre, where you can get the London Underground.

The existing dwelling is a semi-detached house. It is constructed from brick as it can be seen from the photos provided below. The existing dwelling currently enjoys 2 parking spaces at

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the front of the property.



Fig. 3 Rear of property /aerial view/

Site-

St. Matthew Cl



Fig. 4 Photograph from the front of property

Site-



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03 Opportunities

The proposed development is to create a side extension that extends past rear extension, as well as internal alterations at the rear of the ground floor level. This would allow the needed room space for the occupants of the property. The proposal's construction will be of a high standard which will meet the local and national standards. The development is close to a few green spaces. This will provide a positive and engaging environment for future occupiers of the site. There is no loss of light or amenity to adjoining properties.

04 Design, layout and amenity

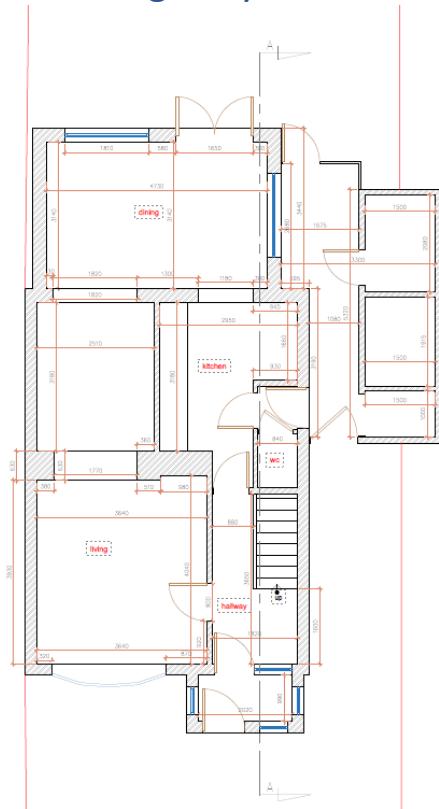


Fig. 5 Existing ground floor plan

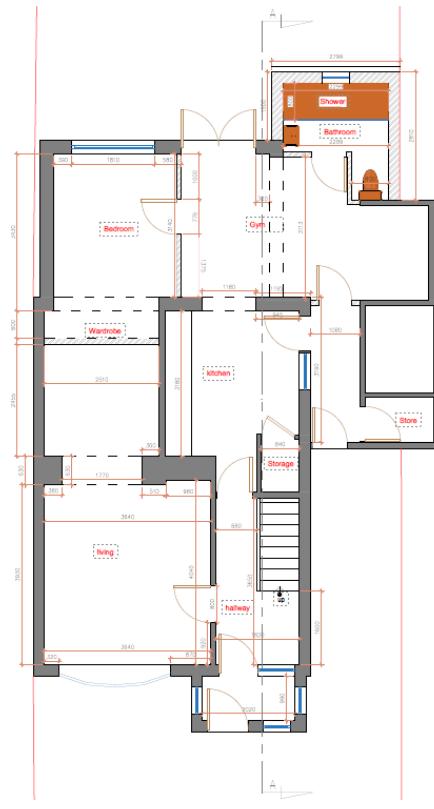


Fig. 6 Proposed floor plan

The proposal allows for more sensible space on the ground floor level, as well a new bathroom and gym area. The existing wall at the side of the building where the dining room is, is to be demolished, opening the space and connecting it to the proposed side extension. A separation wall is created in the middle of the dining space. The dining will then become a bedroom, the right hand side of it will be an entrance to the proposed gym space. The side extension extends further than the rear of the property by 1500mm. The protruding part of the extension will be used as a bathroom with a shower, toilet and a sink.

The outbuilding is to be connected to the extension, as a part of the proposed gym. The owner of the property owns only the upper part of the outbuilding, particularly this part will be then connected to the gym and to the rest of the property.

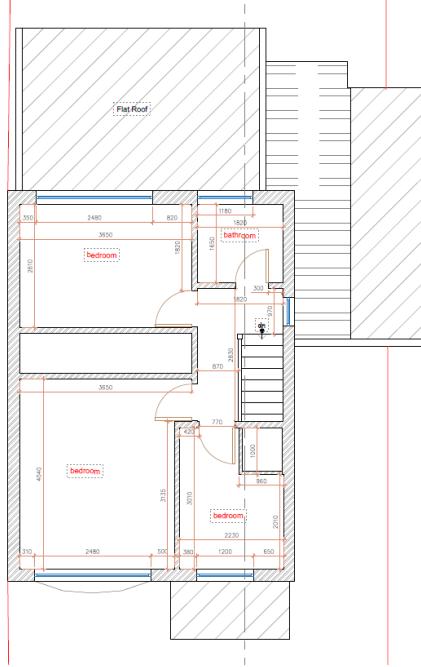


Fig. 7 Existing first floor plan

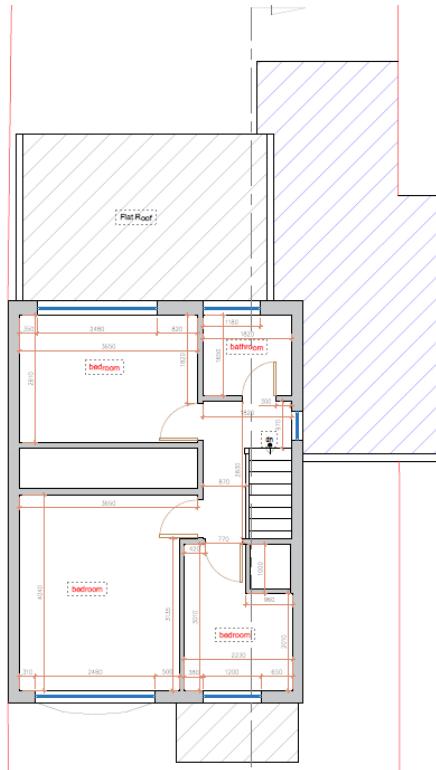


Fig. 8 Proposed first floor plan

As it can be observed on fig.7 and 8, nothing is to be changed on the first floor level.

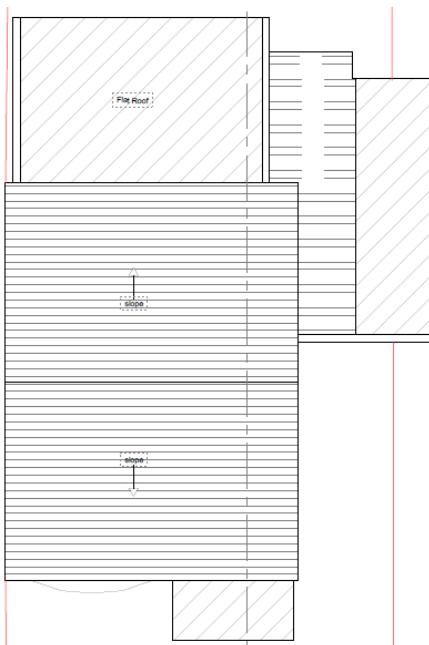


Fig. 9 Existing roof plan

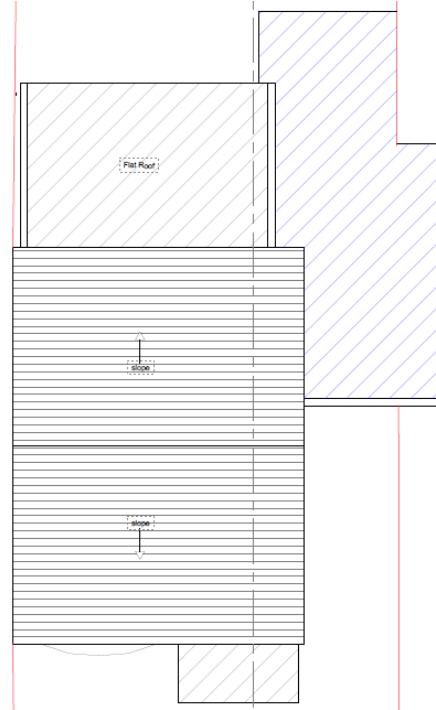


Fig. 10 Proposed roof plan

On the roof plans, the side extension proposed roof will spread onto the rest of the outbuilding as well. The reason behind the decision is to preserve and balance the appearance of the outbuilding and the new extension, unifying the style of roofs used. The neighbours at the adjacent property agree completely with the intervention, written consent is to be provided along with the rest of the documents.

The size, proportion, positioning, style and detailing of the proposal is to relate to those of the existing house so that the extended property remains visually balanced.

The new roof will be flat, the highest part is to be at 2.685m. The roof of the extension will match as close as possible the roof of the original side extension, including the eaves treatment and materials. A reasonable garden space is retained at the back of the garden. The rear extension would not reduce the garden size, the taken approach is minimalistic and matching as close as possible the rest of the house.