

PARTY WALL ACT 1996
OWNER/S MUST ENSURE ALL
PARTY WALL AGREEMENTS ARE
IN PLACE BEFORE ANY BUILDING
WORKS ARE TO COMMENCE

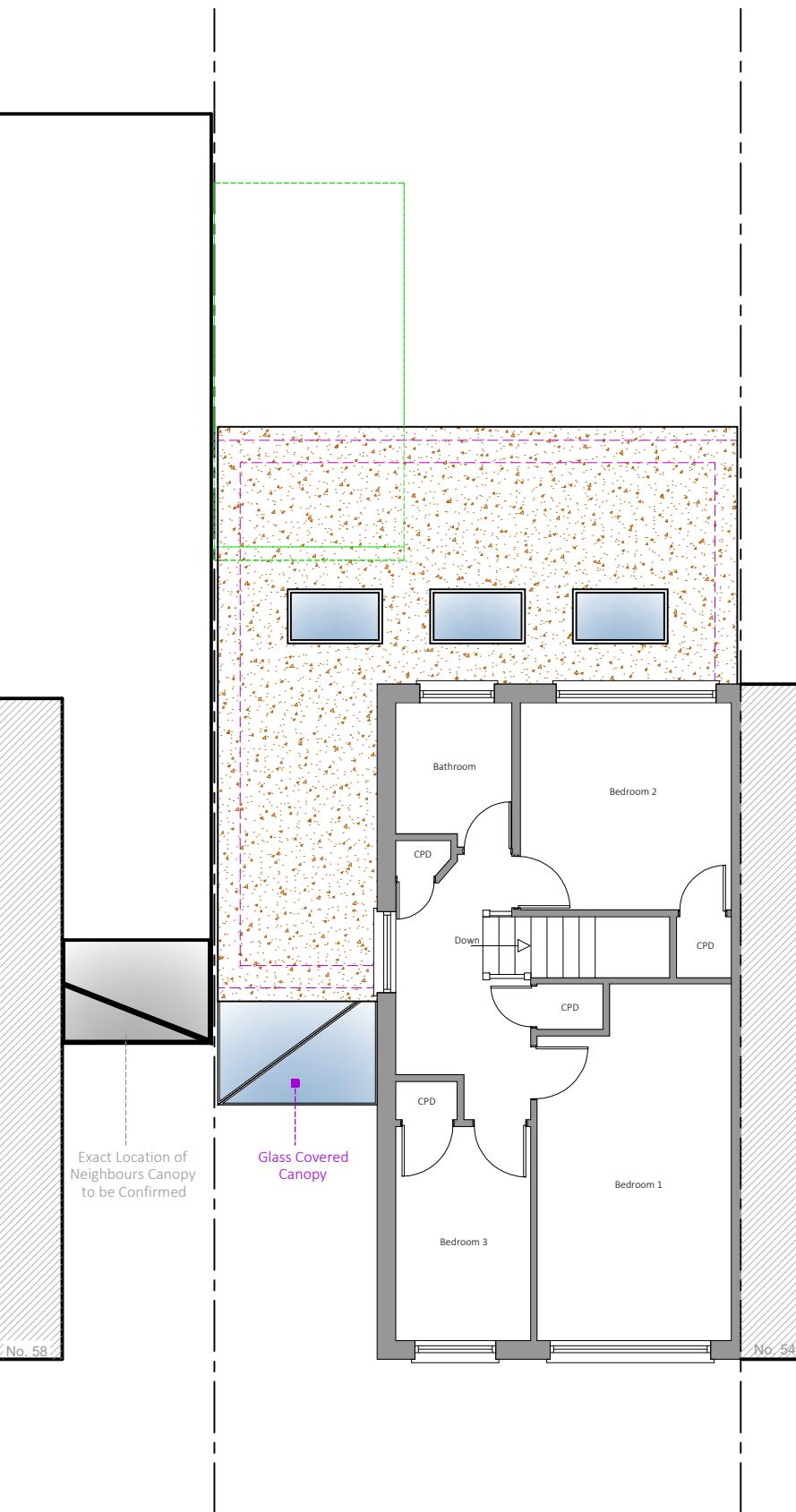
1 Proposed Ground Floor Plan

SCALE: 1/100

Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.

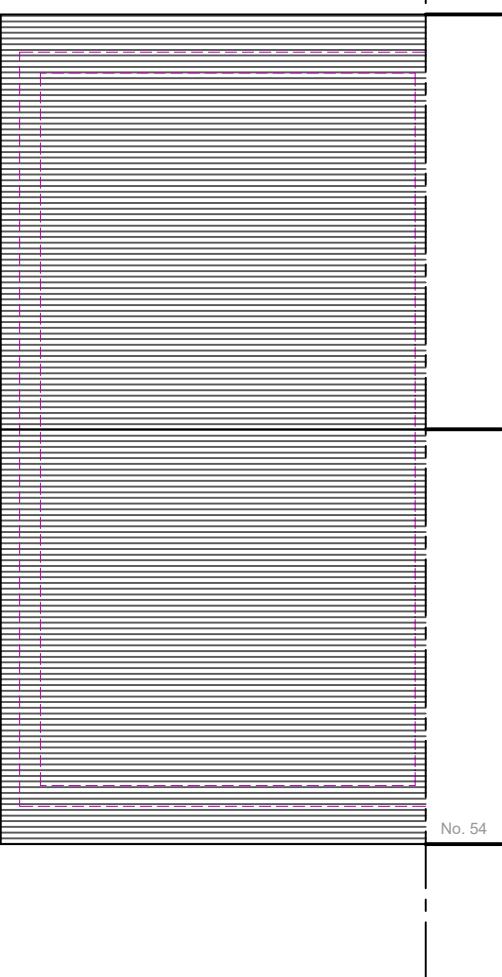
0 1 2 3 4 5

10m



2 Proposed First Floor Plan

SCALE: 1/100



3 Proposed Roof Plan

SCALE: 1/100 Unaltered

A3

Revision	Date	Description	Paper Size	Scale	Construct 360 Ltd, Trading as:
1st	Oct-22		A3	1:100	DontMoveExtend.com
Drawn By	Checked By			Revision	info@DontMoveExtend.com Tel: 0208 206 0011
RA	NE			Site Address	56 Beech Avenue Ruislip HA4 8UQ
				Proposed Plans	
				Status	Planning Issue
				Drawing Number	BA56-02-1003

IMPORTANT GENERAL NOTE
The specification is to be read in conjunction with the plans/section details, and other associated Structural details may be provided.
All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary.
All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person/s immediately.
The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions.
The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.