



Design and Access Statement

Single storey rear extension

attn: Planning Department

RE: 6 Bosanquet Close, Uxbridge UB8 3PE, UK

- 01 Introduction
- 02 Context
- 03 Opportunities
- 04 Design, Layout and Amenity
- 05 History

01 Introduction

The proposal is for a rear extension of a double-storey a mid-terrace house at 6 Bosanquet Close. The surrounding area is predominantly covered with greenery with several semi detached properties located on the same street.

This Planning statement is to be read in conjunction with the following documents: -

- Full set of drawings
- Location Map
- CIL form

The following policies and legislation have been considered:

- National Planning Policy Framework 2019
- Local Plan
- Development Management Policies 2020
- DMP1 Development Management General Policy Housing Standards and DMP2

02 Context



Fig 1. Hillingdon borough map in London

The site is situated within a large residential area in Uxbridge. There are many green spaces nearby such as Cowley Hall recreation Ground within 0.6 miles. Cowley Saint Laurance C.E primary school is a ten minute walk from the property. Brunel university is located 0.5 miles north of the property.

The local amenities are within each reach of the area. The site offers easy access to transport links with buses to Hounslow, Heathrow Airport as well as Uxbridge Town Center, where you can get the London Underground.



Fig 2. Front view of property

The existing dwelling is a mid-terraced 5 bedroom house constructed from brick as can be seen from the photo above.

Parking is available as shown in figure. The existing dwelling currently offers parking facilities with a garage allowing up to two cars to park on site. Access is through Bosanquet Close.



Figure 3



Fig 3. Aerial view of site

03 Opportunities

The proposed development is to create a single storey rear extension. This would allow room for more people in the area. The proposal's construction will be of a high standard which meets the local and national standards. The development is close to a few green spaces. This will provide a positive and engaging environment for future occupiers of the site. There is no loss of light or amenity to adjoining properties.

The proposal does not present any challenges in respect of daylight and sunlight. However, these need to be considered in the context of the site and the surrounding amenity. It is considered that the rear extension would not have an unacceptable impact on the amenity of adjoining residents in terms of daylight/sunlight impacts, sense of enclosure, privacy, overlooking, noise and construction impacts. These is essential in the development to protect the amenity of the surrounding existing and future residents and building occupants, as well as protect the amenity of the surrounding public realm. This would also create a positive amenity space and convert it into a valuable habitable space.

04 Design, Layout and Amenity

The proposal has considered its effects on heritage assets and the architectural significance concerning the property as well as the wider context.

The proposal allows for more sensible space on the ground floor level.

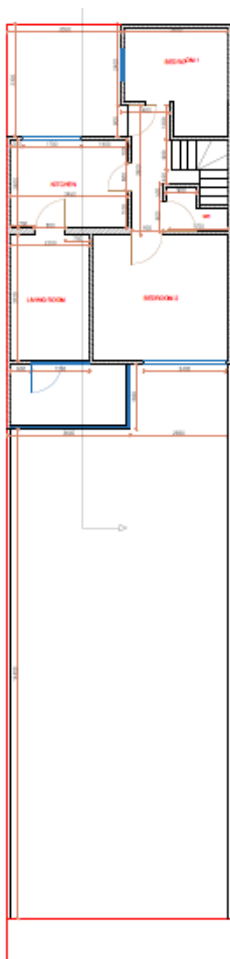


Fig 4. Existing Ground floor Plan

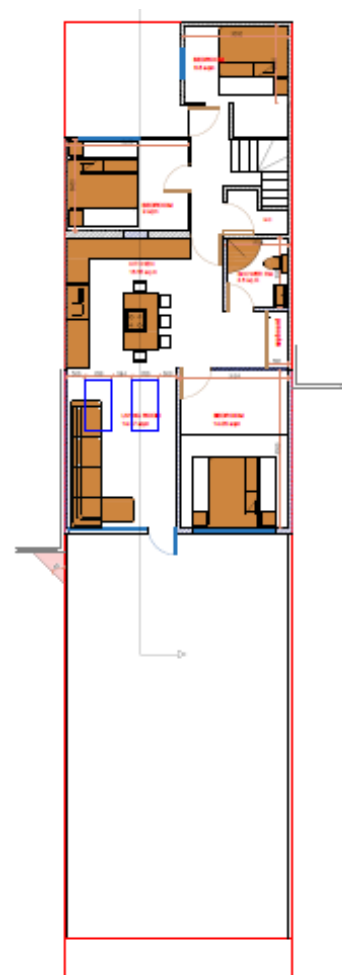


Fig 5. Proposed Ground floor Plan

As it can be seen on fig. 4 and 5, the existing rear extension after the living room space will be demolished and replaced by a 4.7m rear extension in order to create an open space living/kitchen as well a bedroom. The proposed rear extension can only extend by 4.7m due to the 45 degree rule which does not allow the proposal to extend further than that. In terms of layout, the existing rear space will be converted into a kitchen with a shower room. The proposed extension will consists of a an open living space which connects the area to the kitchen and will also have a door to access the garden at the rear of the property. The proposed rear extension will also accommodate for bedroom area resulting in no loss in bedroom for this property.



Fig 6. Proposed First floor plan



Fig 7. Proposed Roof plan

The proposal will have a flat roof with two skylights to allow natural lighting to filter the interior of the living room space with the maximum height is to be 3m. from ground floor to top of roof.

05 History

No previous planning history for this property.