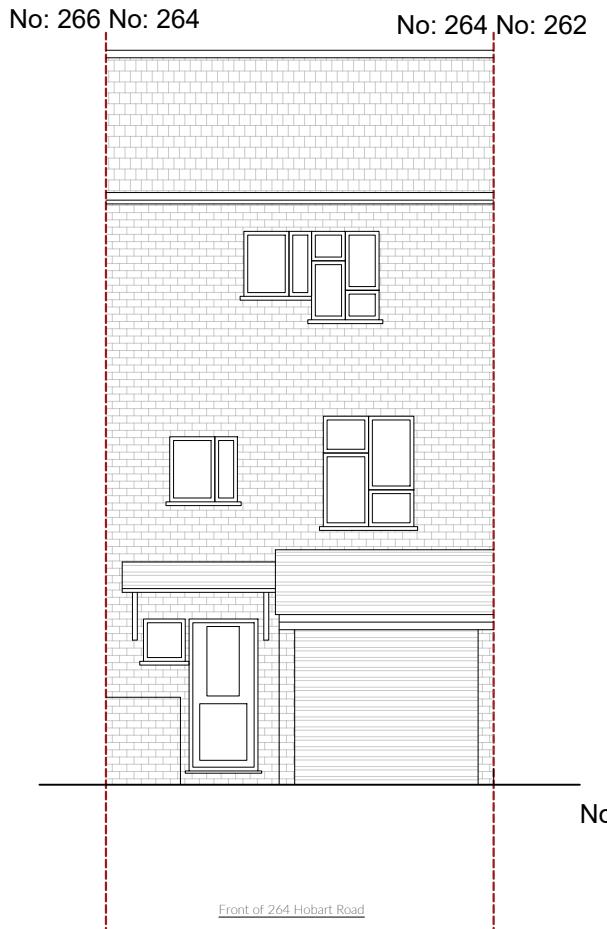


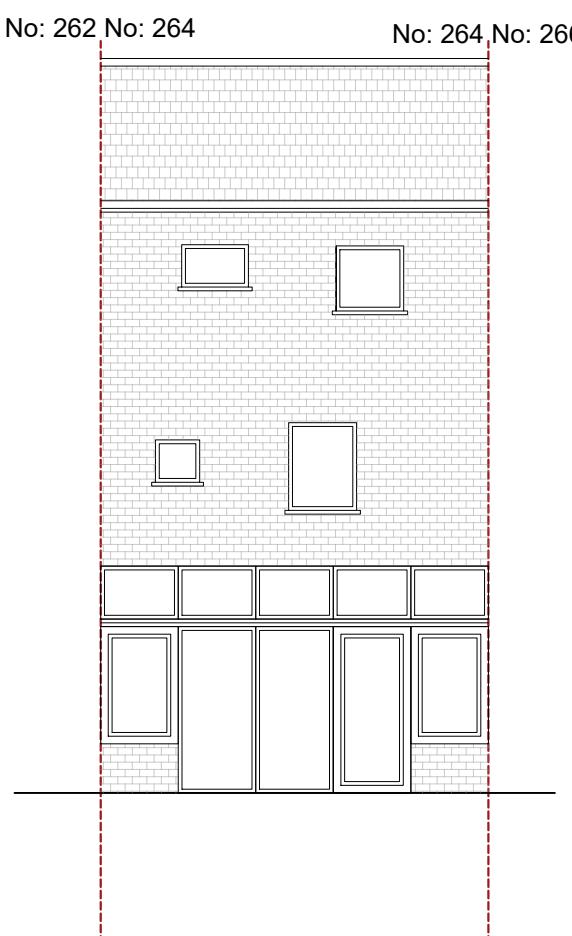
Existing rear elevation

scale 1:100



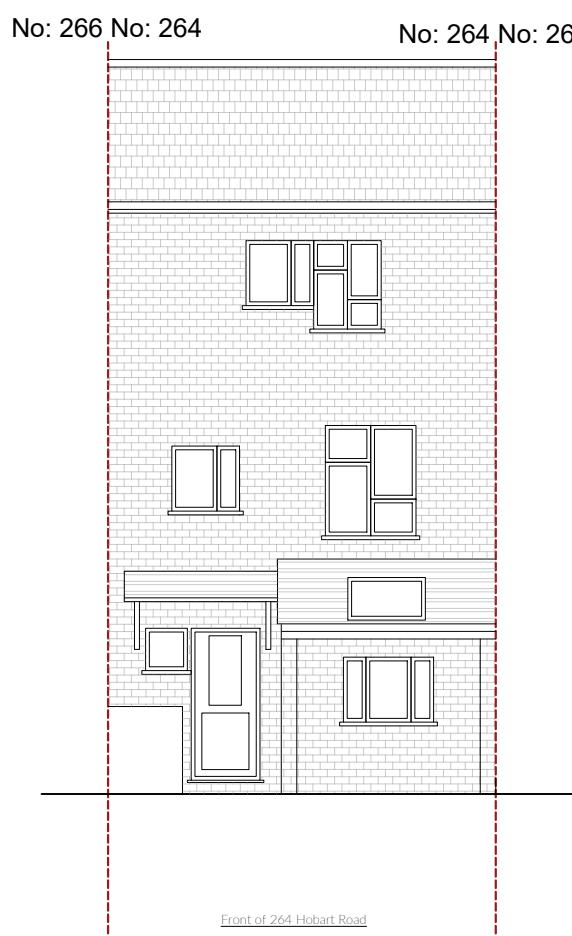
Existing front elevation

scale 1:100



Proposed rear elevation

scale 1:100



Proposed front elevation

scale 1:100

GENERAL
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Stairs
going - 250mm, max. riser - 200mm & angle-42° min 2m head room to be provided above stairs, tapered going width to be 50mm handrail to be provided on side of stairs, 900mm above stair pitch, width 800mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 100mm sphere cannot pass through any opening in the guarding, new hand railing to extend 300mm either end of new stair case

Doors
all ground floor doors to have min. 775mm clear opening, new flat entrance doors to be fd30s fitted with self closing devices and intumescent strips, internal doors to be fd20 fitted with self closing devices.

Windows
windows to be double glazed in a upvc frame with min. 16mm space between panes; all new glazing to be 'low-e' glass ($\epsilon = 0.15$) all new windows to maintain a u value of 1.6 w/m² k all windows within habitable rooms to have opening window for escape and ventilation, min. opening size 450mm wide x 730mm high (min. 0.33m²) first floor sill heights to be 800mm & max. 1100mm above floor level (ex. windows to be replaced as necessary)

CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

SCALE

1:100 @ A3

DRAWING NO. REV.

01ELF

DATE

May-2022

DRAWN

TAHER

Floor plan it, design and build

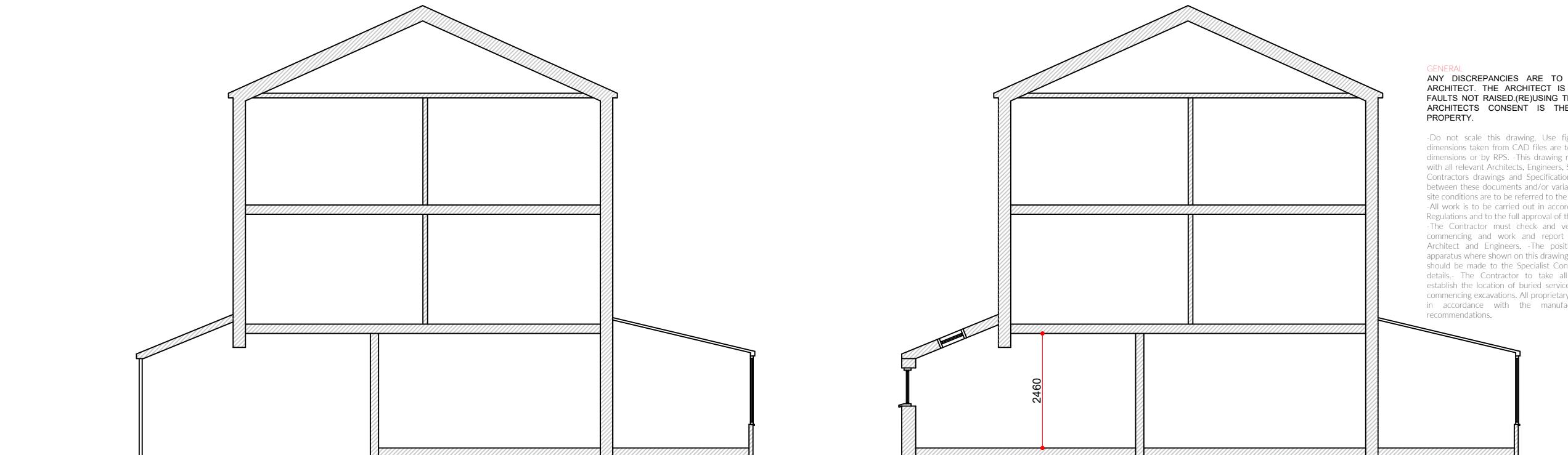
NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

DRAWING TITLE

Existing and Proposed Front and
Rear elevation



152 – 160 Kemp House,
City Road, London EC1
Email: Info@floorplanit.co.uk
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TEL: 07704203080

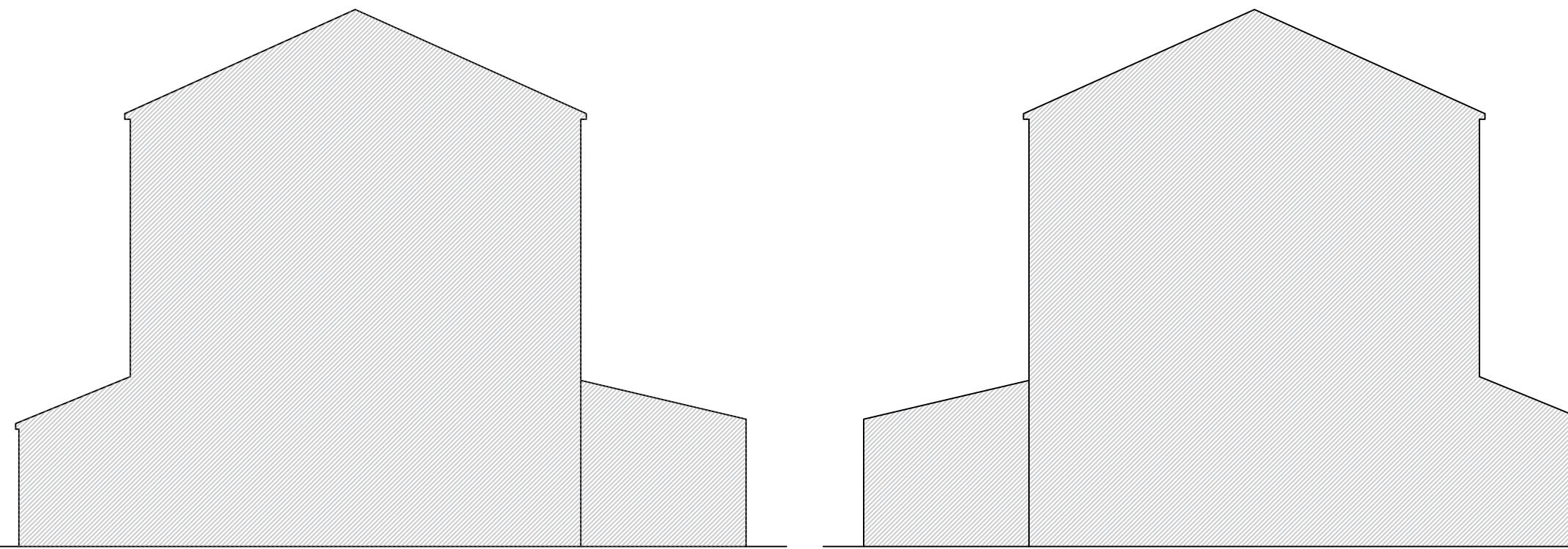


Existing section A'' - A''

scale 1:100

Proposed section A'' - A''

scale 1:100



Existing East facing Side elevation (no alterations)

scale 1:100

Existing West facing Side elevation (no alterations)

scale 1:100

CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

SCALE

1:100 @ A3

DRAWING NO. REV.

01ELS

DATE

May-2022

DRAWN

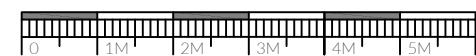
TAHER

Floor plan it, design and build

NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

DRAWING TITLE

Existing and Proposed East & West
facing side elevation + Section



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Stairs
going - 250mm, max. riser - 200mm & angle-42° min 2m head room to be provided above stairs, tapered going width to be 50mm handrail to be provided on side of stairs, 900mm above stair pitch, 80mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 100mm sphere cannot pass through any opening in the guarding, new hand railing to extend 300mm either end of new stair case

Doors
all ground floor doors to have min. 775mm clear opening, new flat entrance doors to be fd30s fitted with self closing devices and intumescent strips, internal doors to be fd20 fitted with self closing devices.

Windows
windows to be double glazed in a upvc frame with min. 16mm space between panes, all new glazing to be low-e glass (en = 0.15) all new windows to maintain a u value of 1.6 w/m 2 all windows within habitable rooms to have opening window for escape and ventilation, min. opening size 450mm wide x 730mm high (min. 0.33m 2) first floor sill heights to be 800mm & max. 1100mm above floor level (ex. windows to be replaced as necessary)



CLIENT

Peter Smith

PROJECT LOCATION
264 Hobart Road
Hayes UB4 9NW

DRAWING TITLE

SCALE
1:100 / A3
DATE
May-2022

DRAWING NO. REV.
01FPG
DRAWN
TAHER

Floor plan it, design and build

NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

Existing floor plans



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CLIENT

Peter Smith

PROJECT LOCATION
264 Hobart Road
Hayes UB4 9NW

SCALE
1:100 / A3
DATE
May-2022
DRAWING NO. REV
01RP
DRAWN
TAHER

Floor plan it, design and build



NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

Proposed floor plans

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City Road, London EC1
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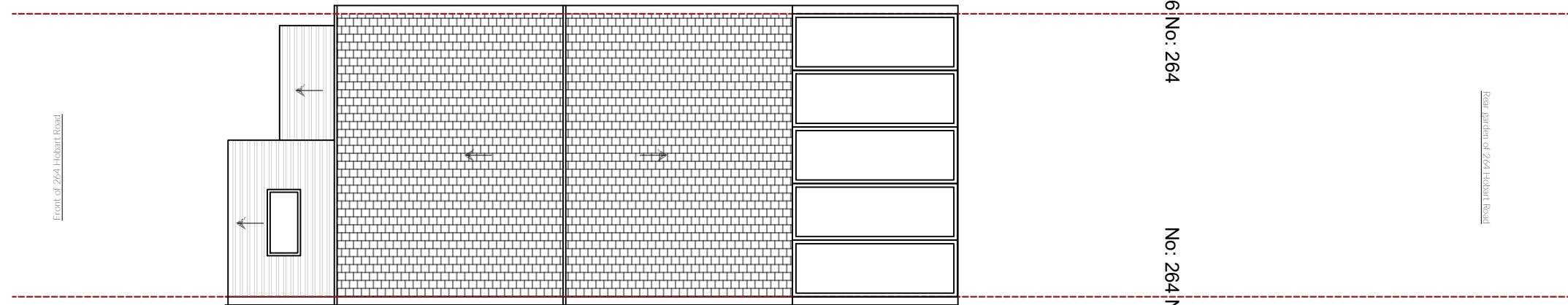
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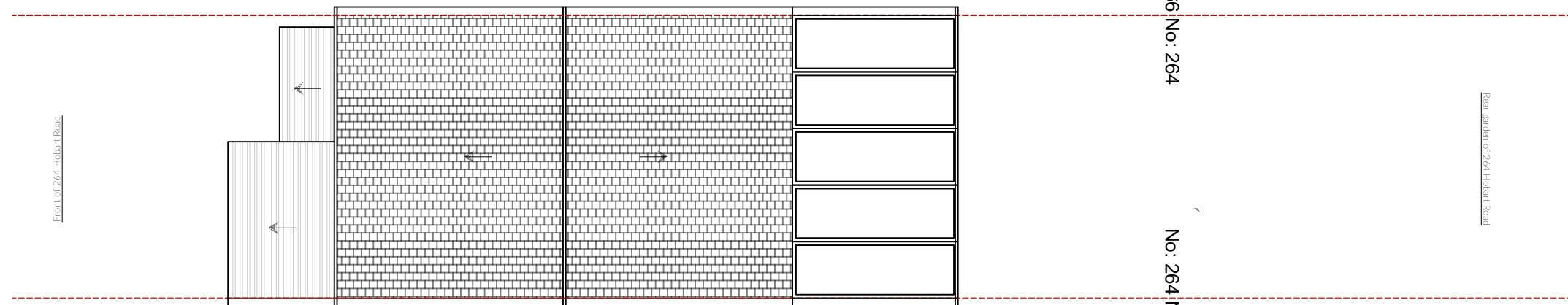
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Proposed roof plan

scale 1:100



Existing roof plan

scale 1:100

CLIENT

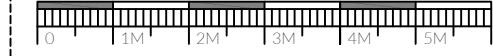
Peter Smith

NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

PROJECT LOCATION
264 Hobart Road
Hayes UB4 9NW

DRAWING TITLE
Existing and Proposed Roof
plan

SCALE	1:100 / A3	DRAWING NO. REV	01S
DATE	May-2022	DRAWN	TAHER



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