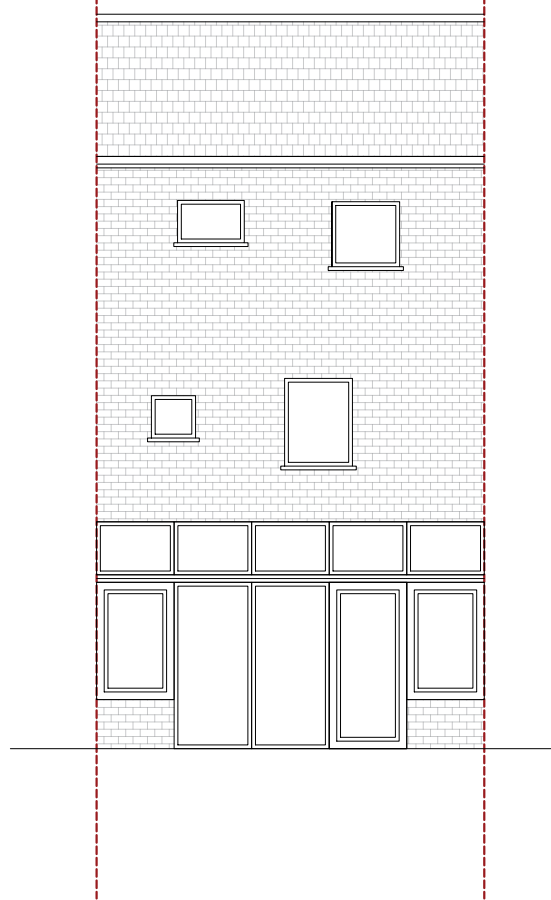


No: 262 No: 264

No: 264, No: 266



Existing rear elevation

scale 1:100

No: 266 No: 264

No: 264 No: 262



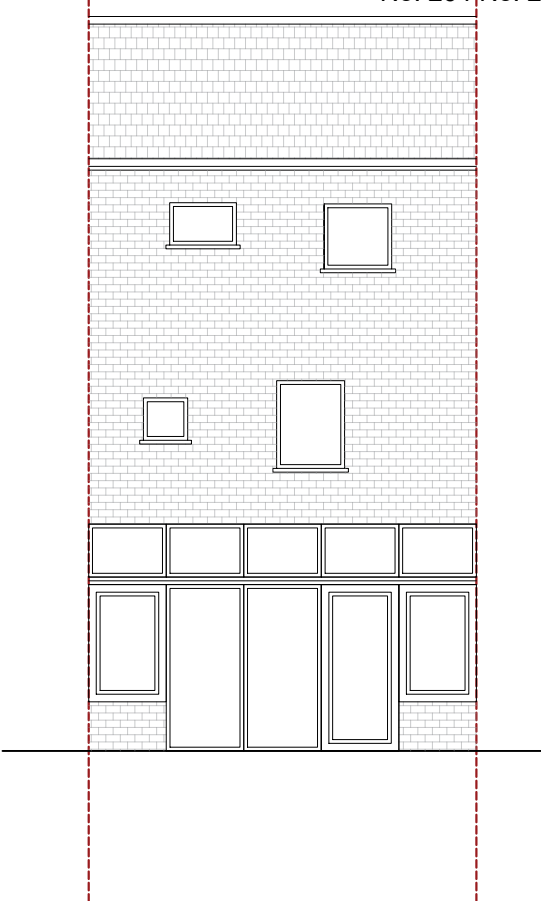
Front of 264 Hobart Road

Existing front elevation

scale 1:100

No: 262 No: 264

No: 264, No: 266



Proposed rear elevation

scale 1:100

No: 266 No: 264

No: 264 No: 262



Front of 264 Hobart Road

Proposed front elevation

scale 1:100

GENERAL

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Stairs

going - 250mm, max. riser - 200mm & angle - 42° min 2m head room to be provided above stairs, tapered going width to be 50mm handrail to be provided on side of stairs, 900mm above stair pitch, width 800mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 100mm sphere cannot pass through any opening in the guarding, new hand railing to extend 300mm either end of new stair case

Doors

all ground floor doors to have min. 775mm clear opening, new flat entrance doors to be fd30s fitted with self closing devices and intumescent strips, internal doors to be fd20 fitted with self closing devices.

Windows

windows to be double glazed in a upvc frame with min. 16mm space between panes, all new glazing to be 'low-e' glass (en - 0.15) all new windows to maintain a u value of 1.6 w/m² k all windows within habitable rooms to have opening window for escape and ventilation, min. opening size 450mm wide x 730mm high (min. 0.33m²) first floor sill heights to be 800mm & max. 1100mm above floor level (ex. windows to be replaced as necessary)

CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

SCALE

1:100 @ A3

DRAWING NO. REV.

01ELF

DATE

May-2022

DRAWN

TAHER

Floor plan it, design and build

NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

DRAWING TITLE

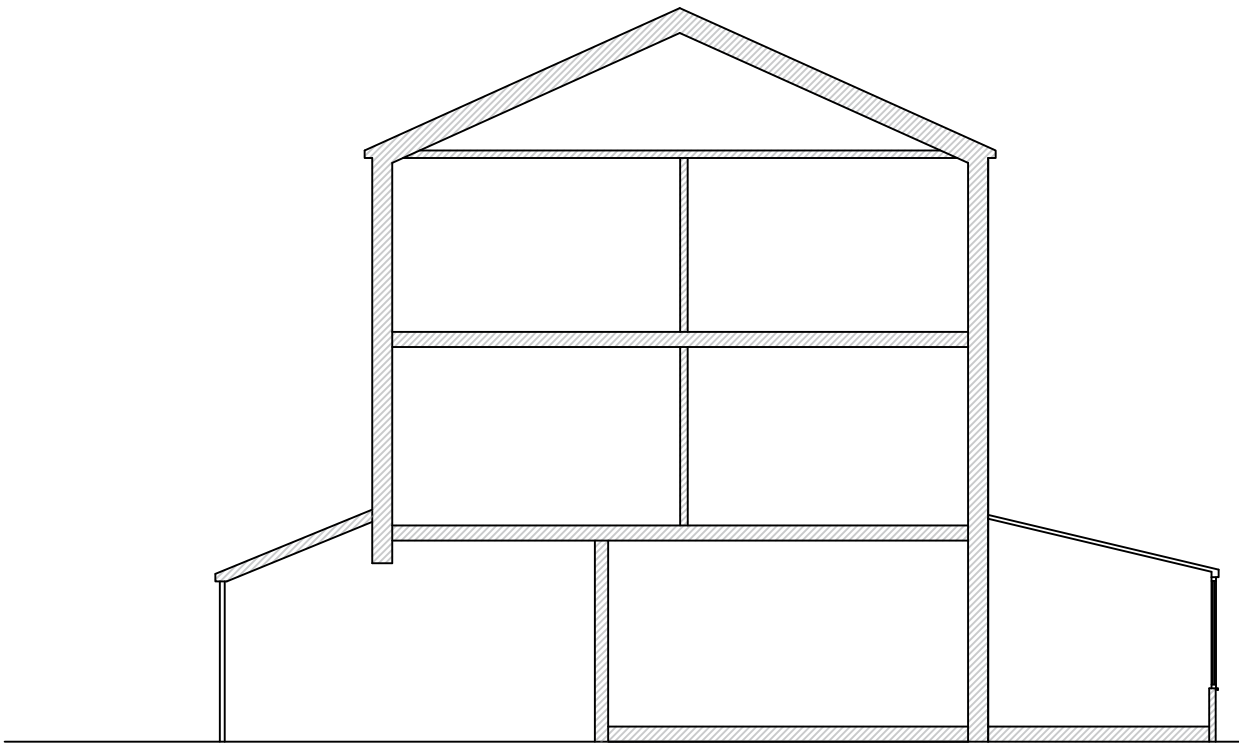
Existing and Proposed Front and
Rear elevation



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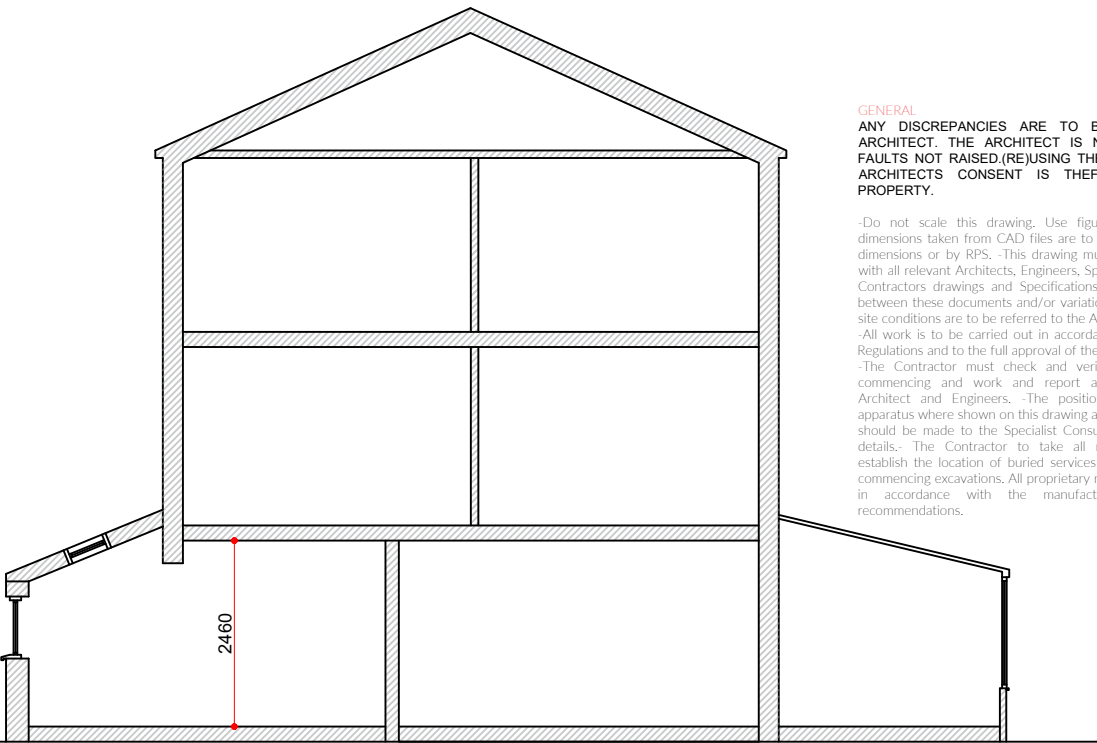
GENERAL
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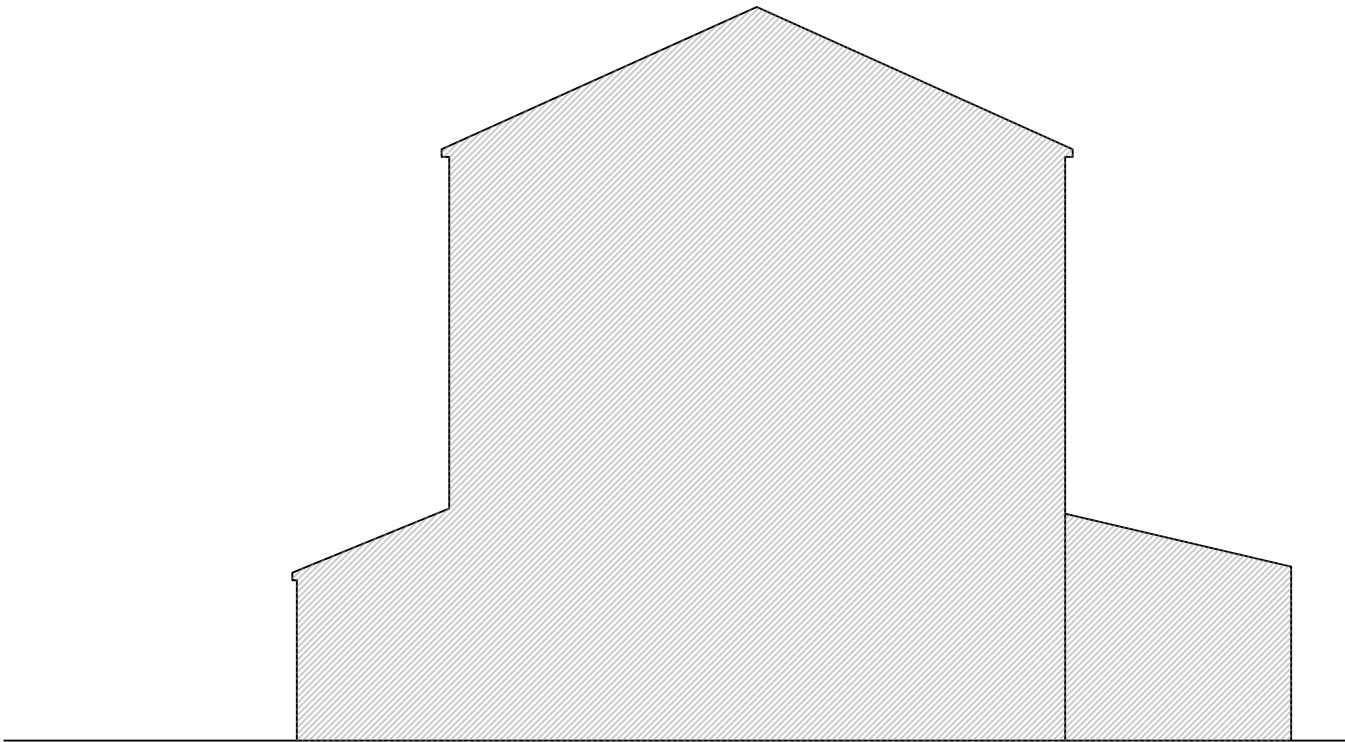
Existing section A'' - A''

scale 1:100



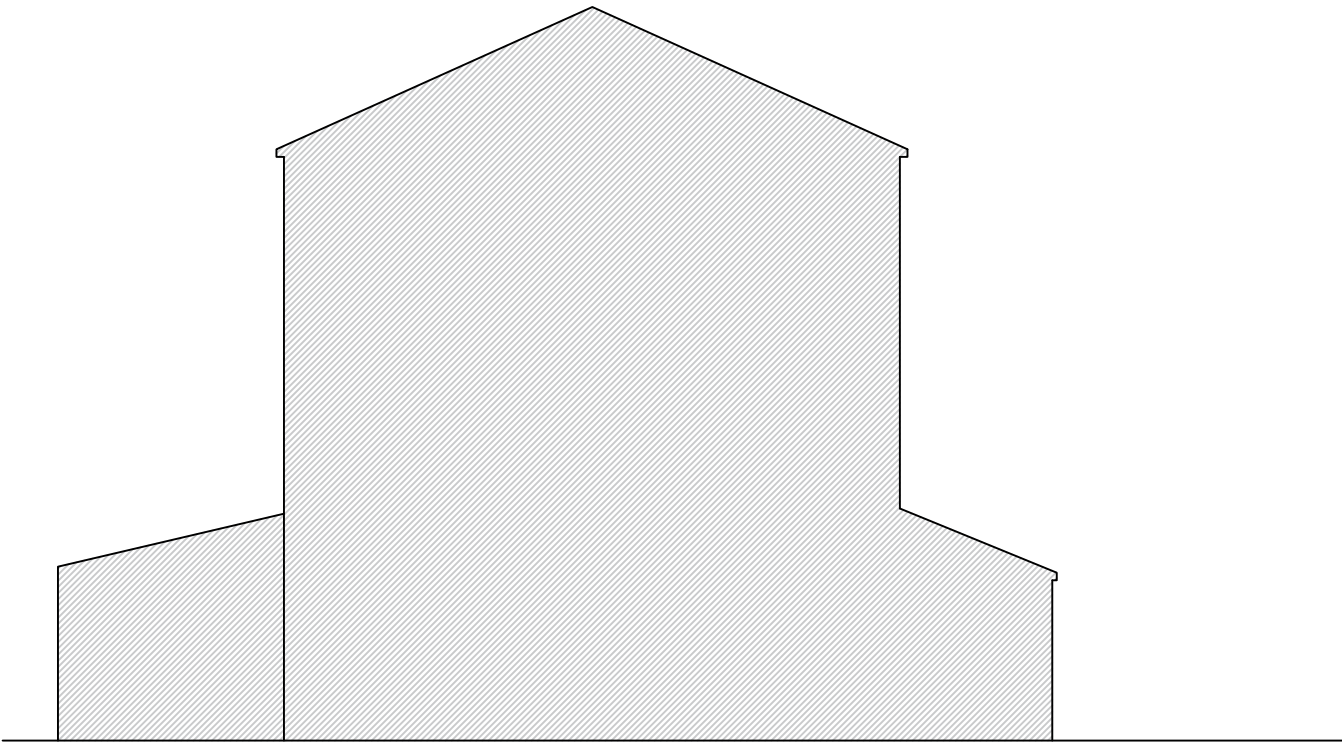
Proposed section A'' - A''

scale 1:100



Existing East facing Side elevation (no alterations)

scale 1:100



Existing West facing Side elevation (no alterations)

scale 1:100

Stairs
going - 250mm, max. riser - 200mm & angle-42° min 2m head room to be provided above stairs, tapered going width to be 50mm (internal) to be provided on side of stairs, 900mm above stair pitch. 900mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 1 00mm sphere cannot pass through any opening in the guarding. new hand railing to extend 300mm either end of new stair case

Doors
all ground floor doors to have min. 775mm clear opening, new flat entrance doors to be fd30s fitted with self closing devices and intumescent strips, internal doors to be fd20 fitted with self closing devices.

Windows
windows to be double glazed in a upvc frame with min. 16mm space between panes, all new glazing to be 'low-e' glass (en = 0.15) all new windows to maintain a u value of 1.6 w/m 2 k all windows within habitable rooms to have opening window for escape and ventilation, min. opening size 450mm wide x 730mm high (min. 0.33m 2) first floor sill heights to be 800mm & max. 1100mm above floor level (ex. windows to be replaced as necessary)

CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

SCALE

1:100 @ A3

DRAWING NO. REV.

01ELS

DATE

May-2022

DRAWN

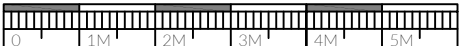
TAHER

Floor plan it, design and build

NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

DRAWING TITLE

Existing and Proposed East & West
facing side elevation + Section



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No: 266 No: 264

No: 264 No: 262

No: 266 No: 264

No: 264 No: 262

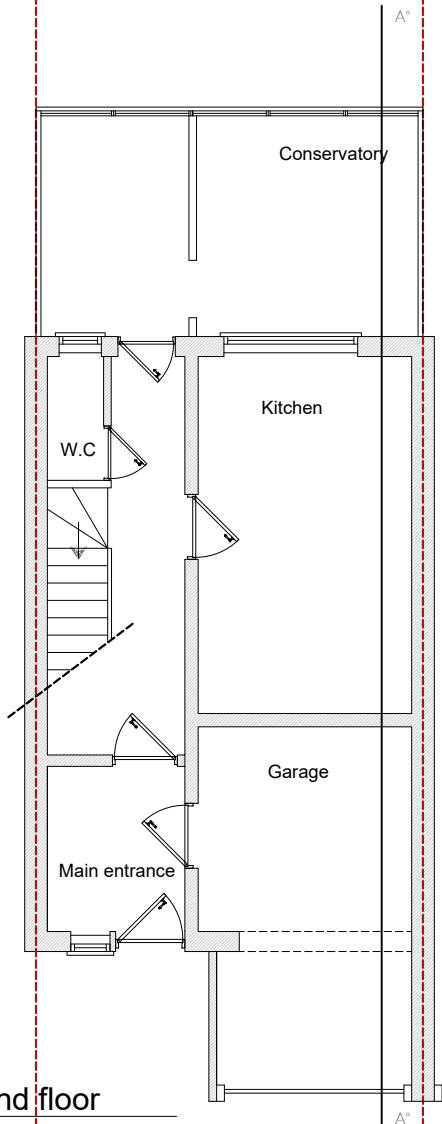
No: 266 No: 264

No: 264 No: 262

Rear garden of 264 Hobart Road

Rear garden of 264 Hobart Road

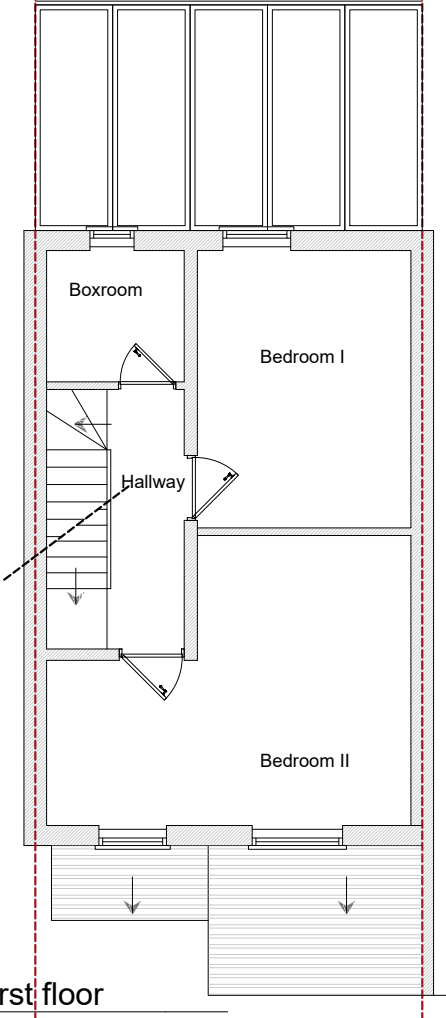
Rear garden of 264 Hobart Road



Existing ground floor

scale 1:100

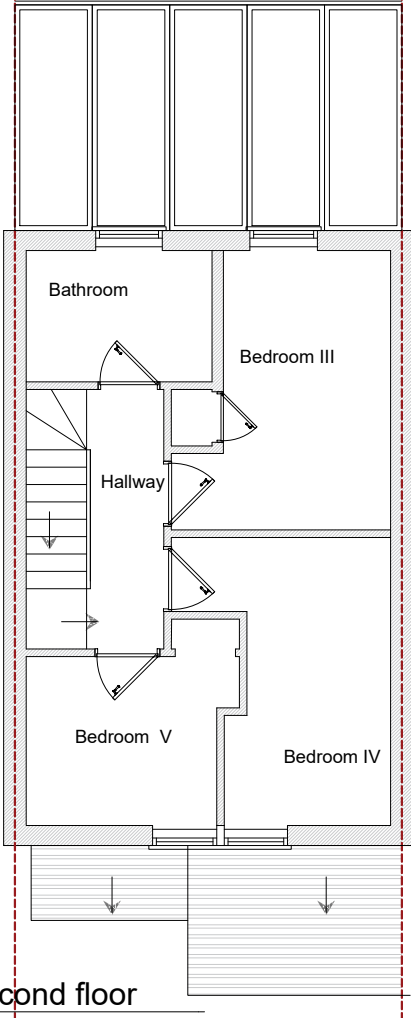
Front of 264 Hobart Road



Existing first floor

scale 1:100

Front of 264 Hobart Road



Existing Second floor

scale 1:100

Front of 264 Hobart Road

CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

DRAWING TITLE

Existing floor plans

SCALE

1:100 / A3

DATE

May-2022

DRAWING NO. REV.

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Stairs

going - 250mm, max, riser - 200mm & angle-42° min 2m head room to be provided above stairs, tapered going width to be 50mm handrail to be provided on side of stairs, 900mm above stair pitch, width 800mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 1 00mm sphere cannot pass through any opening in the guarding, new hand railing to extend 300mm either end of new stair case

Doors

all ground floor doors to have min. 775mm clear opening, new flat entrance doors to be fd30s fitted with self closing devices and intumescent strips, internal doors to be fd20 fitted with self closing devices.

Windows

windows to be double glazed in a upvc frame with min. 16mm space between panes, all new glazing to be 'low-e' glass (en = 0.15) all new windows to maintain a u value of 1.6 w/m 2 k all windows within habitable rooms to have opening window for escape and ventilation, min. opening size 450mm wide x 730mm high (min. 0.33m 2) first floor sill heights to be 800mm & max. 1100mm above floor level (ex. windows to be replaced as necessary)

No: 266 No: 264

No: 264 No: 262

No: 266 No: 264

No: 264 No: 262

No: 266 No: 264

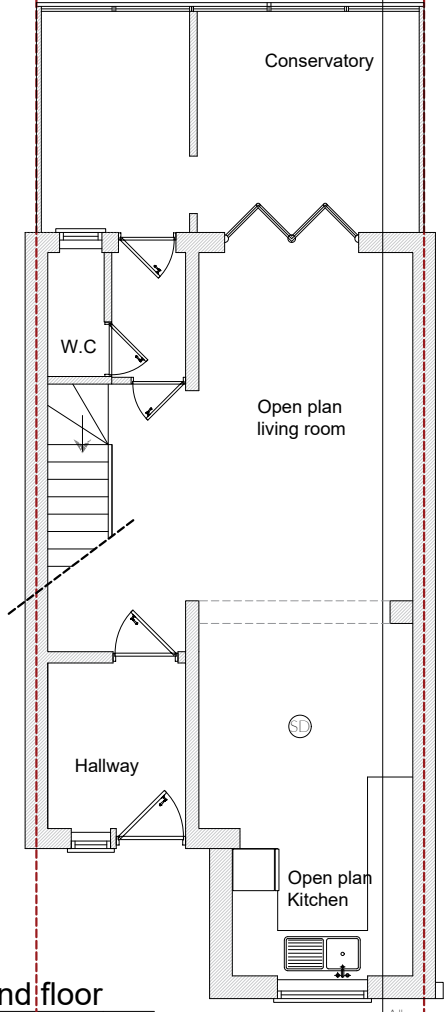
No: 264 No: 262

Rear garden of 264 Hobart Road

Rear garden of 264 Hobart Road

Rear garden of 264 Hobart Road

A"

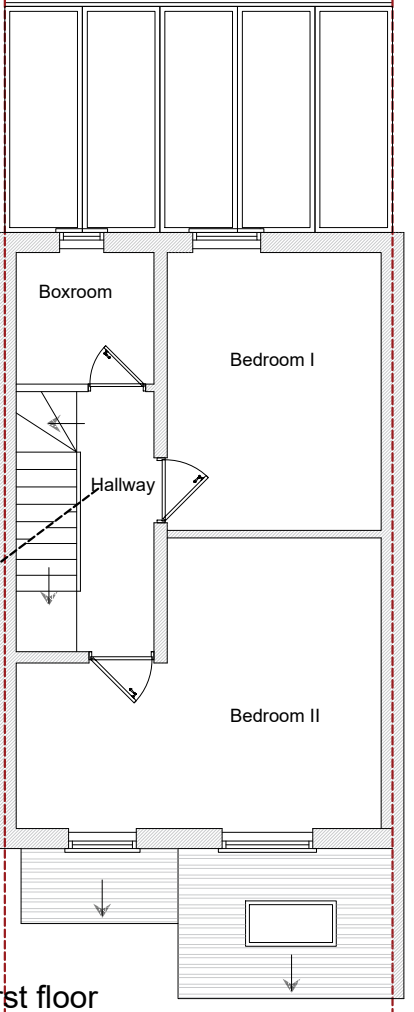


Proposed ground floor

scale 1:100

Front of 264 Hobart Road

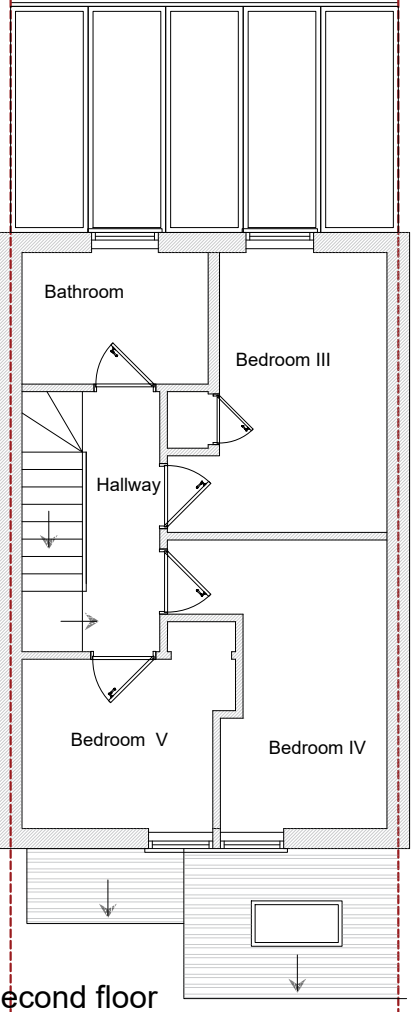
A"



Proposed first floor

scale 1:100

Front of 264 Hobart Road



Proposed Second floor

scale 1:100

Front of 264 Hobart Road

CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

DRAWING TITLE

Proposed floor plans

SCALE

1:100 / A3

DATE

May-2022

DRAWING NO. REV

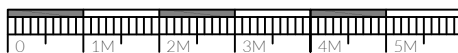
01RP

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NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING



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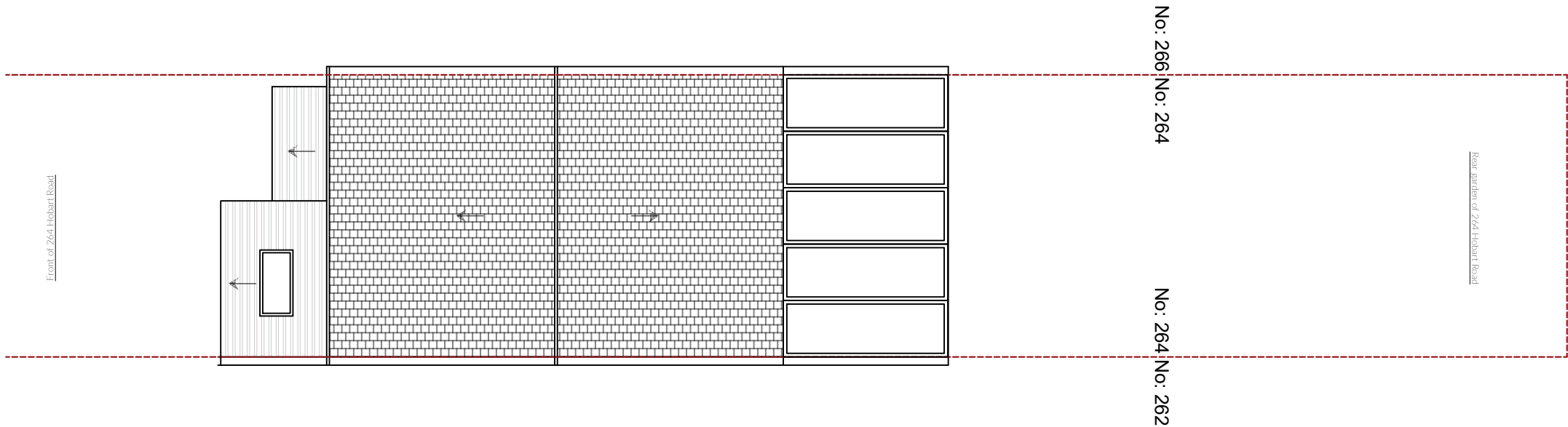
going - 250mm, max. riser - 200mm & angle-42° min 2m head room to be provided above stairs, tapered going width to be 50mm handrail to be provided on side of stairs, 900mm above stair pitch, width 800mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 1 00mm sphere cannot pass through any opening in the guarding, new hand railing to extend 300mm either end of new stair case

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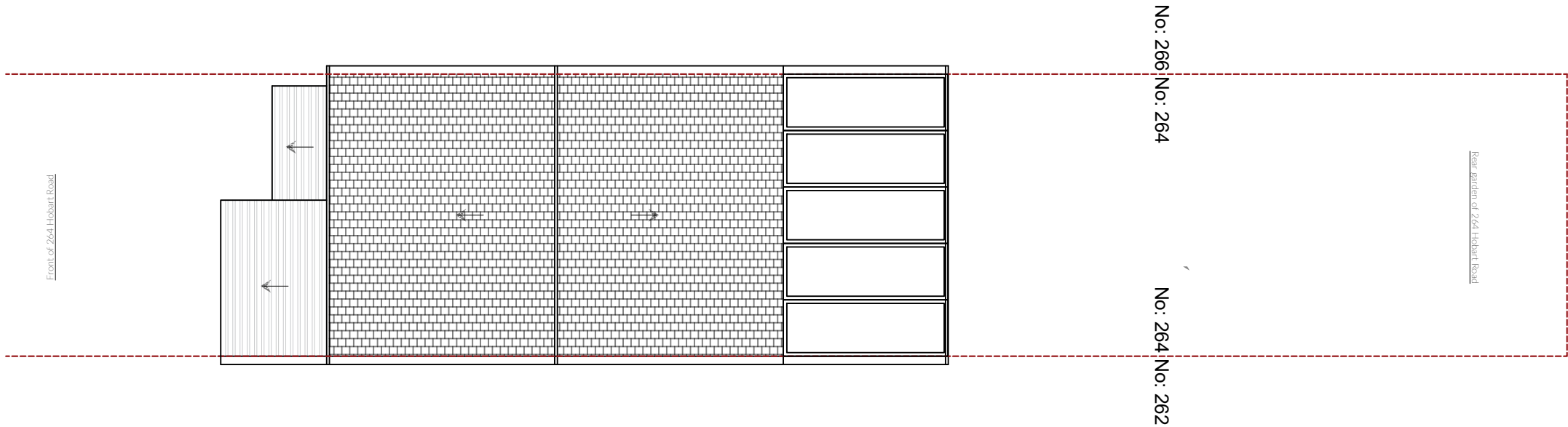
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Proposed roof plan

scale 1:100



Existing roof plan

scale 1:100

GENERAL
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CLIENT

Peter Smith

PROJECT LOCATION

264 Hobart Road
Hayes UB4 9NW

DRAWING TITLE

Existing and Proposed Roof
plan

SCALE

1:100 / A3

DATE

May-2022

DRAWING NO. REV.

01S

DRAWN

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NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

