

25-05-2022

London Borough of Hillingdon

3 North, Civic Centre
High Street, Uxbridge
UB8 1UW

Planning Application Statement

Site: 50 DELLFIELD CRESCENT, UXBRIDGE, UB8 2EU

We are applying with this application for a part double, part single-storey rear extension which will be similar to that of the adjacent house.

The application site comprises a semi-detached house with a large rear garden.



The proposed extension would not be visible from the public domain. There will be no change to the front elevation.

The first floor extension would not intersect the 45 degree horizontal from the adjoining properties. There is a gap of min 30m between the properties on Clayton Way and the proposed first floor window. Therefore, the extension will not have any adverse affect on the neighbouring properties regarding right of light and privacy.

The ground floor extension will be in line with the extension of No 48, and set back approx 2m from No 52 ground floor extensions as shown on the block plan. Therefore, this extension will not have any adverse affect on the neighbouring properties regarding the right of light.

The extension would be located approximately 1.4 metre from the shared boundary with No.48 Dellfield Crescent and approximately 3 metres from the dwelling house.

There is sufficient space to park one car safely within the curtilage of the site. No parking provision would be lost and a parking permit is available to the occupants of No 50 Dellfield Crescent. This parking provision has been found adequate for a similar application for No 52, a four bedroom house.

There will be 96 sqm rear garden space, plus 16 sqm existing garden storage after the extension. Therefore this will exceed the amenity space requirement for a three bedroom house.

All the proposed habitable rooms and those altered by the development would still maintain an adequate outlook and source of natural light.

We trust that this will meet with your approval. If you require any further information please do not hesitate to contact me.

Yours faithfully,

Sevda Kucuk
Senior Architectural Technologist
AVA Home Design Ltd.