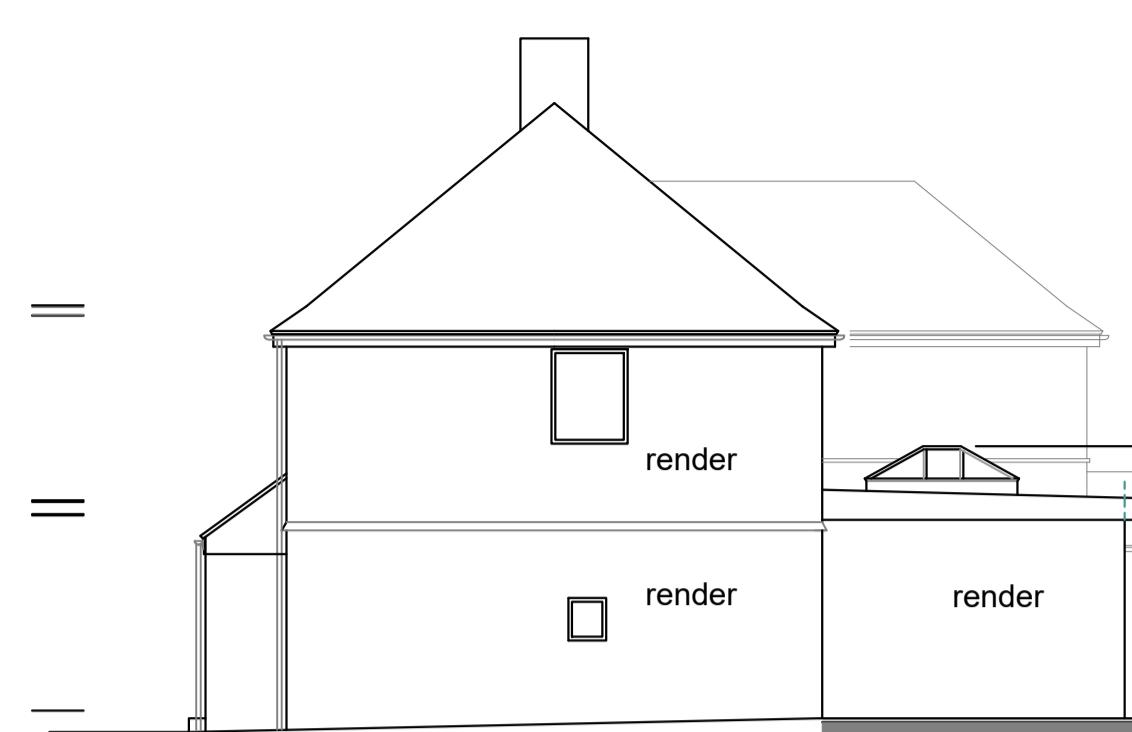
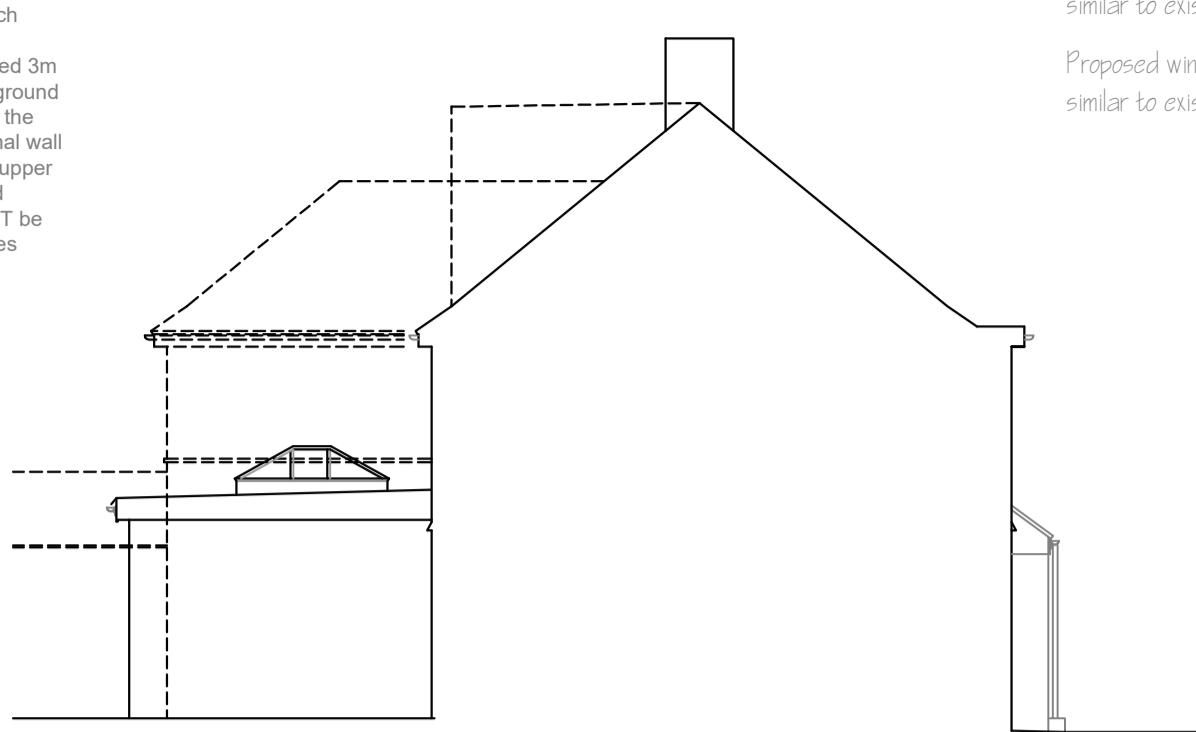




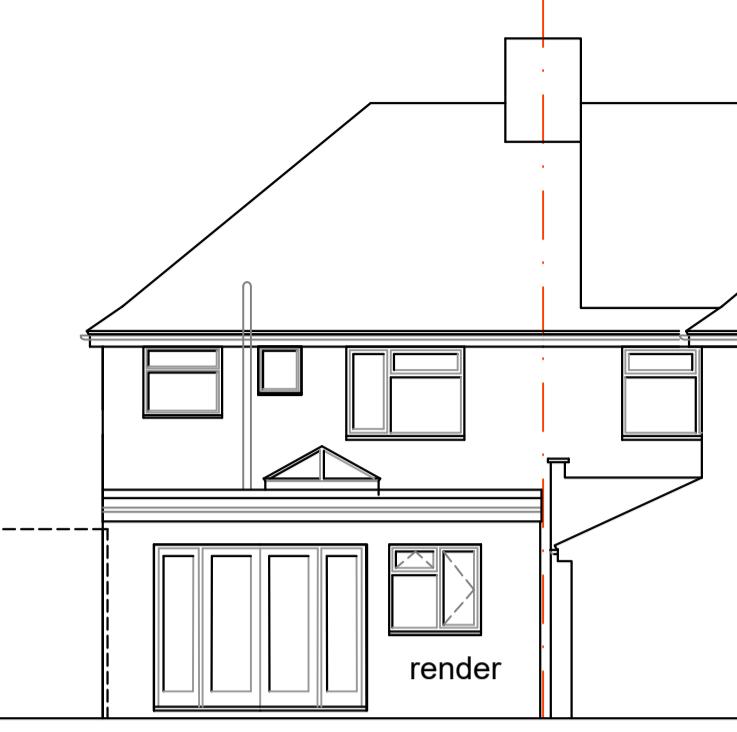
FRONT ELEVATION



SIDE ELEVATION



PARTY SIDE ELEVATION

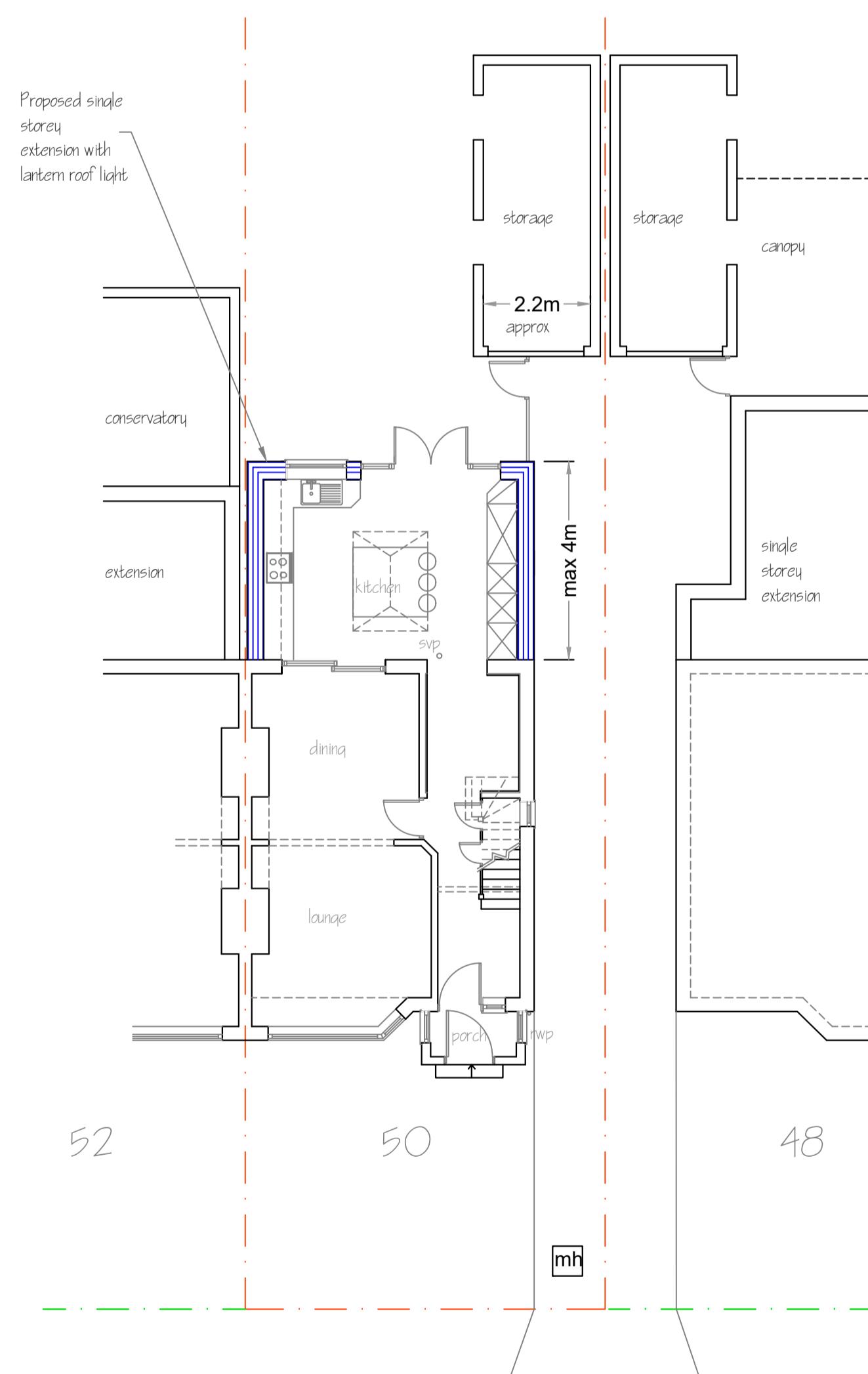


REAR ELEVATION

NO ENCROACHMENT  
ONTO ADJOINING  
LAND

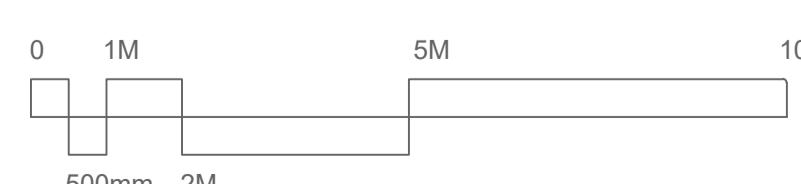
PERMITTED DEVELOPMENT RIGHTS FOR HOUSEHOLDER PAGE 6:

**“Height”** - references to height (for example, the heights of the eaves on a house extension) is the height measured from ground level. (Note, ground level is the surface of the ground immediately adjacent to the building in question, and would not include any addition laid on top of the ground such as decking. Where ground level is not uniform (for example if the ground is sloping), then the ground level is the highest part of the surface of the ground next to the building.)



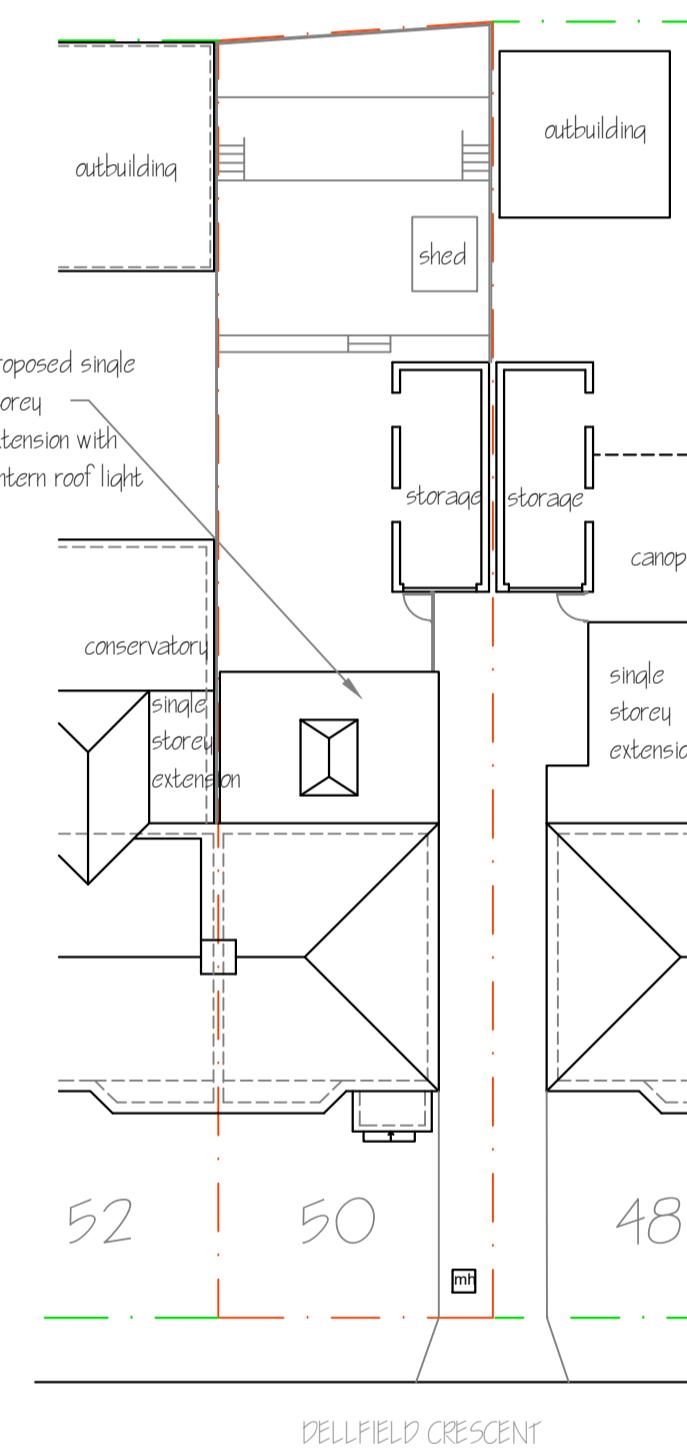
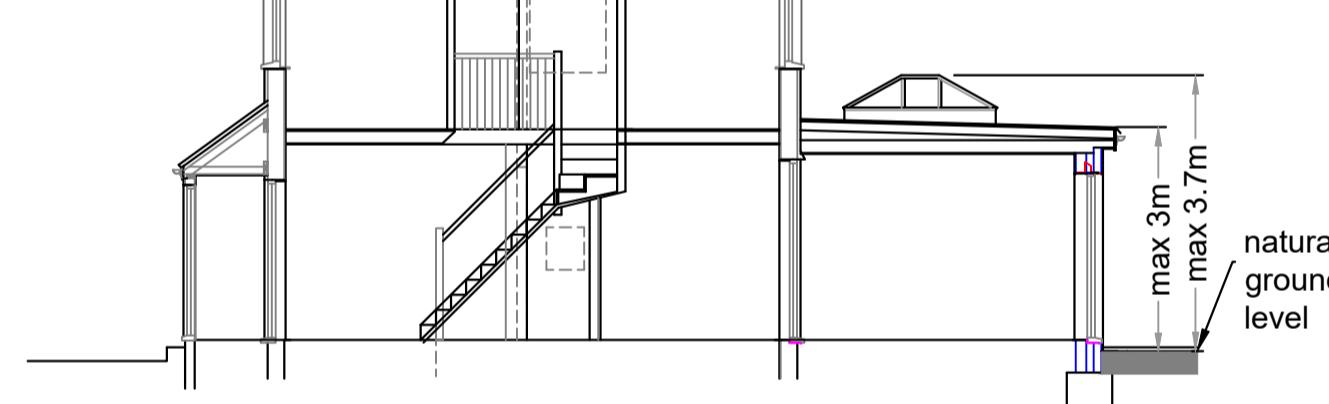
DELLFIELD CRESCENT

GROUND FLOOR LAYOUT

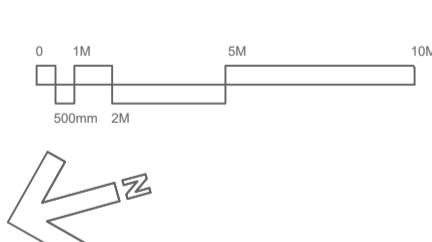


From Communities and Local Gov. Tech  
guidance Class A1 Part 1  
The height of the extension must not exceed 3m  
above the highest point of the natural ground  
level at the base of the external wall of the  
extension to the point where the external wall  
would meet (if projected upwards) the upper  
surface of the roof slope. Parapets and  
overhanging parts of eaves should NOT be  
included in any calculations of the eaves  
height.

Proposed render finish  
similar to existing house  
Proposed windows and doors  
similar to existing house



BLOCK PLAN  
SCALE: 1-200



1. Do not scale from this drawing.
2. All dimensions to be checked on site before ordering materials or commencing work.
3. Before discrepancies in drawings, calculations or details refer to AVA Home Design Ltd for clarification: Unilateral decisions by contractors will not be accepted.
4. For any information not covered by this drawings refer to AVA Home Design Ltd for clarification: Unilateral decisions by contractors will not be accepted.
5. The contractor must ensure that work is being carried out to the latest revisions of all the working drawings.
6. It is the contractors responsibility to inform the Local Authority before work commence on site, and at all prescribed stages of work. All to the District Surveyor for permission.
7. If work commences on site before full plans approval has been given, AVA Home Design Ltd accept no responsibility for additional work or materials that the District Surveyor may require.
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rev no	rev date	info
50 DELLFIELD CRESCENT UB8 2EU		
PROPOSED LAYOUT		
rear extension A552-P-02 1:100(A1)		
Drawn by: SK	Date of issue: APR 2022	
AVA home design		
07939592128 sevda@avahomedesign.co.uk		