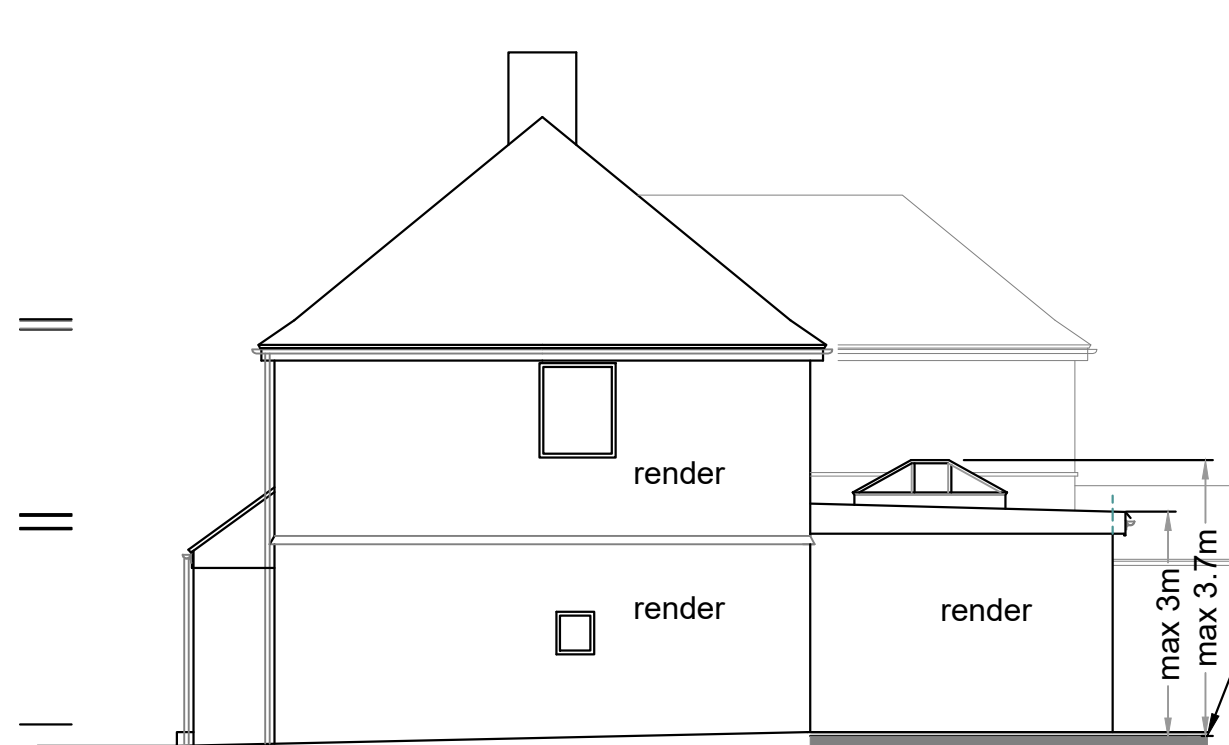


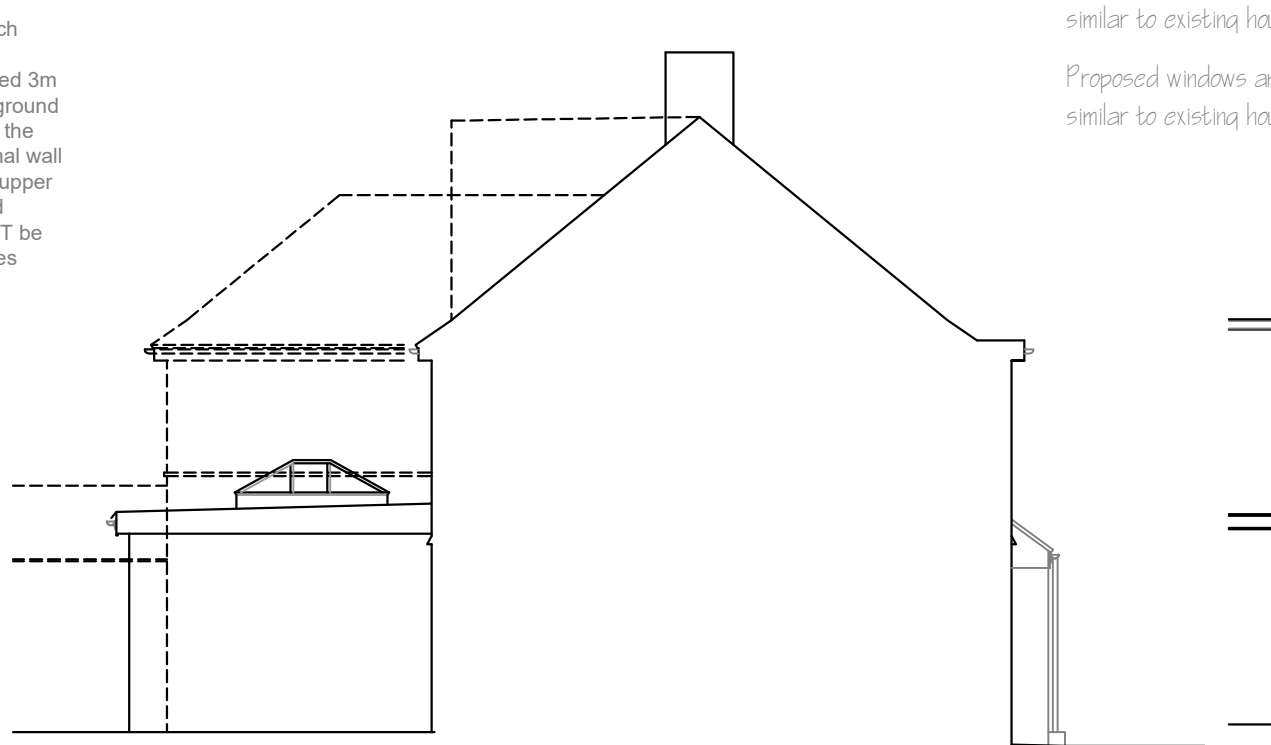


FRONT ELEVATION

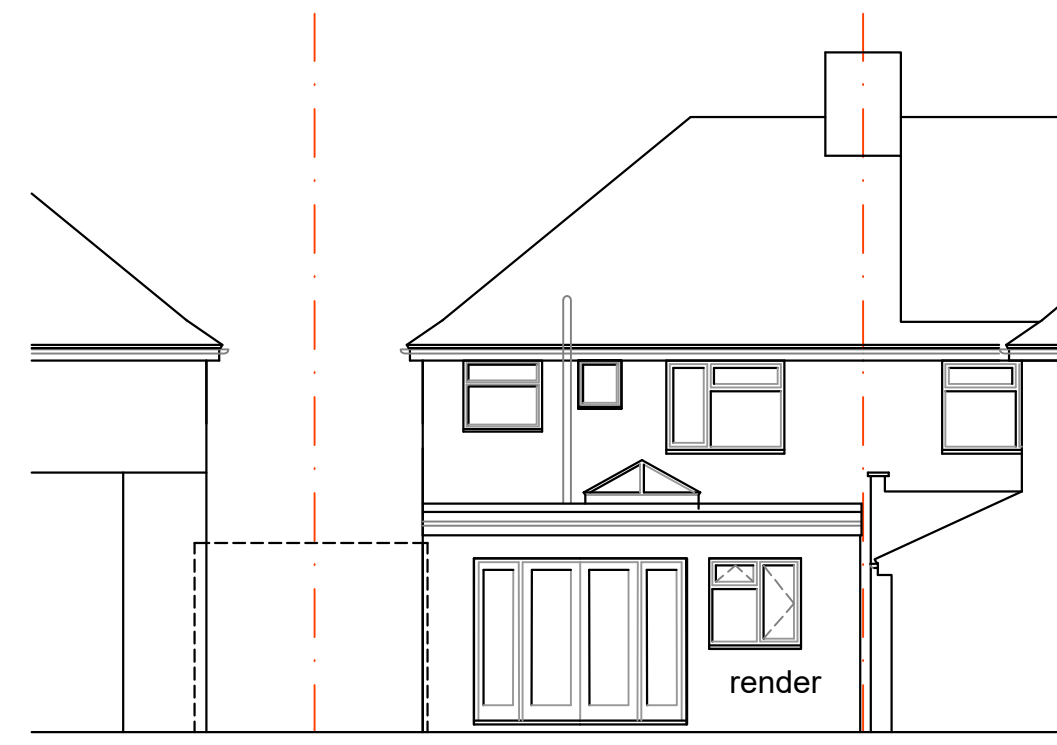


SIDE ELEVATION

From Communities and Local Gov. Tech guidance Class A A1 Part C
The height of the eaves must not exceed 3m above the highest point of the natural ground level at the base of the external wall of the extension to the point where the external wall would meet (if projected upwards) the upper surface of the roof slope. Parapets and overhanging parts of eaves should NOT be included in any calculations of the eaves height.



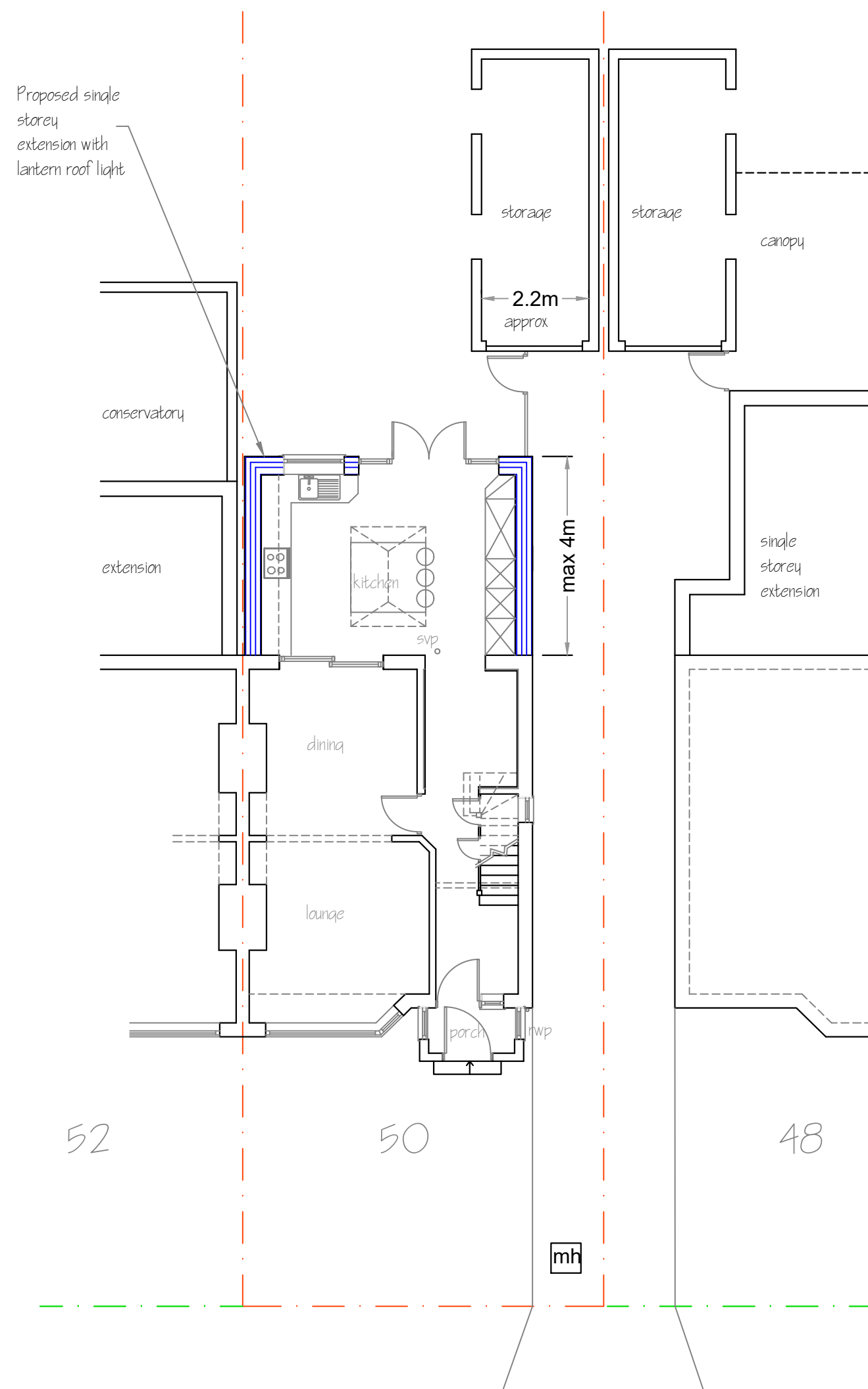
PARTY SIDE ELEVATION



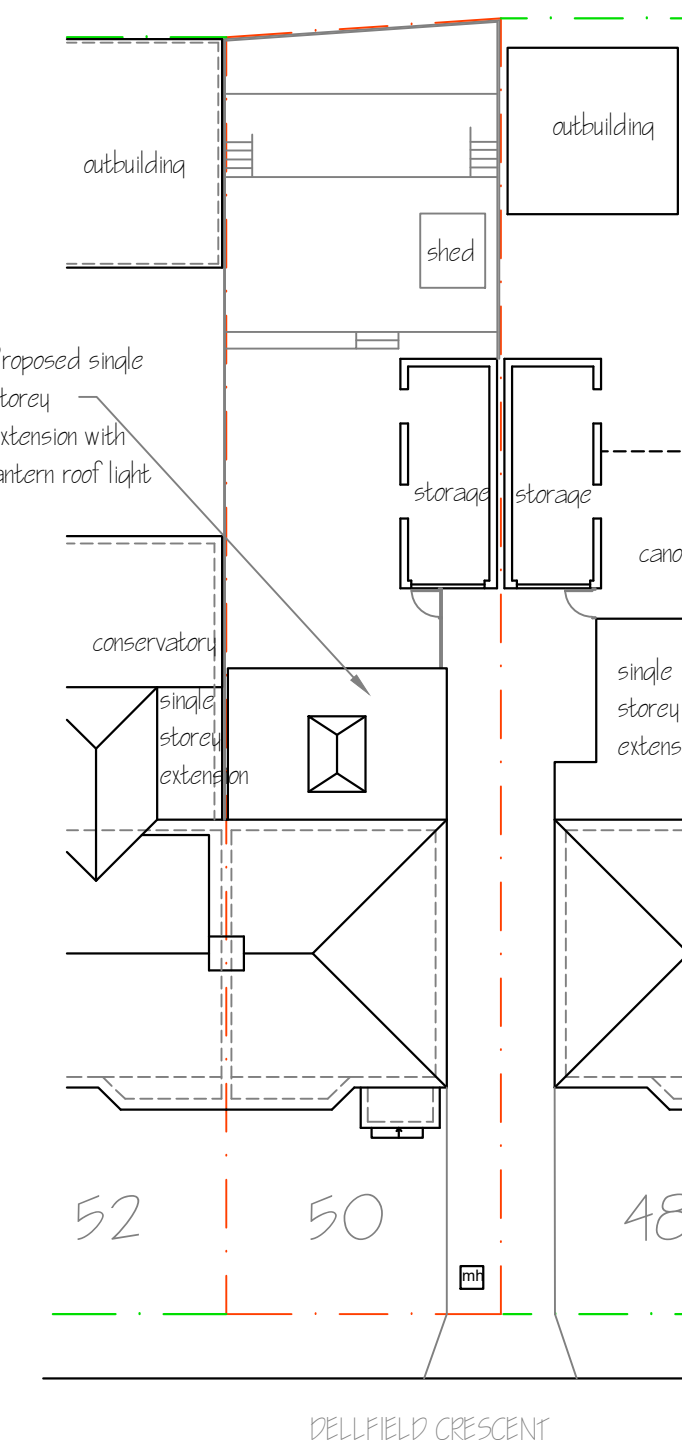
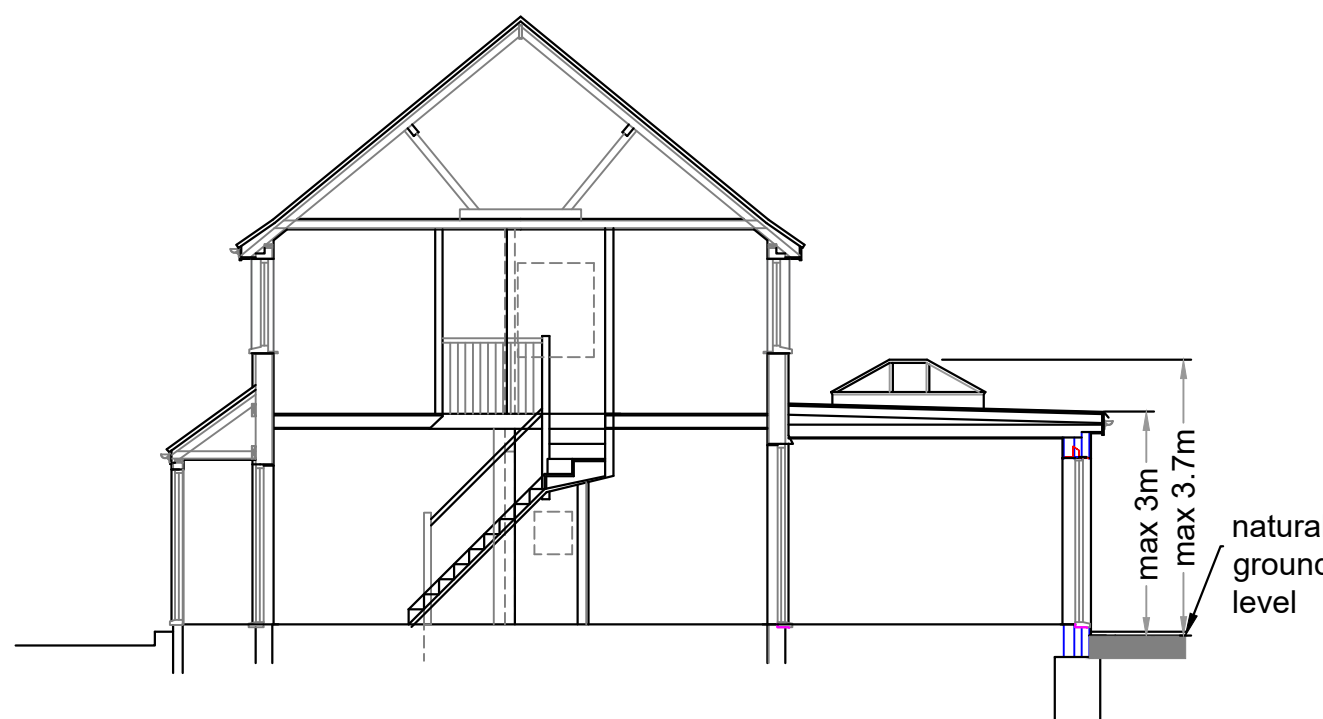
REAR ELEVATION

PERMITTED DEVELOPMENT RIGHTS FOR HOUSEHOLDER PAGE 6:

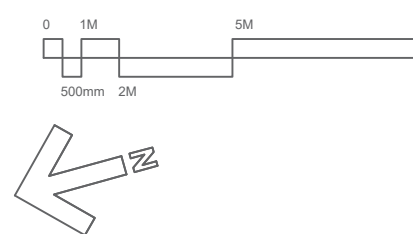
“Height” - references to height (for example, the heights of the eaves on a house extension) is the height measured from ground level. (Note, ground level is the surface of the ground immediately adjacent to the building in question, and would not include any addition laid on top of the ground such as decking. Where ground level is not uniform (for example if the ground is sloping), then the ground level is the highest part of the surface of the ground next to the building.)



GROUND FLOOR LAYOUT



BLOCK PLAN
SCALE: 1:200



1. Do not scale from this drawing.
 2. All dimensions to be checked on site before ordering materials or commencing work.
 3. In case of discrepancies in drawings, calculations or details refer to AVA Home Design Ltd for clarification: Unilateral decisions by contractors will not be accepted.
 4. For any information not covered by this drawings refer to AVA Home Design Ltd for clarification: Unilateral decisions by contractors will not be accepted.
 5. The contractor must ensure that work is being carried out to the latest revisions of all the working drawings.
 6. It is the contractors responsibility to inform the Local Authority before work commence on site, and at all prescribed stages of work. All to the District Surveyors satisfaction.
 7. If work commences on site before full plans approval has been given, AVA Home Design Ltd accept no responsibility for additional work or materials that the District Surveyor may require.
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rev no	rev date	info
		50 DELLFIELD CRESCENT UB8 2EU
		PROPOSED LAYOUT rear extension A552-P-02 1:100(A1)
Drawn by: SK		Date of issue: APR 2022
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