



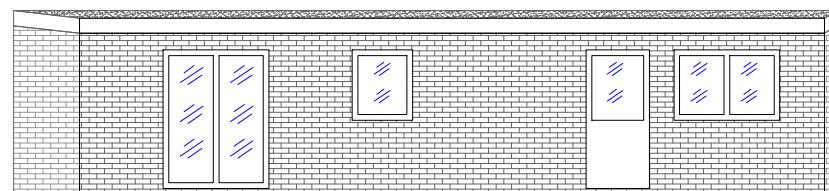
COSTA BUILDERS GROUP

20 Orpington Gardens  
London N18 1LP

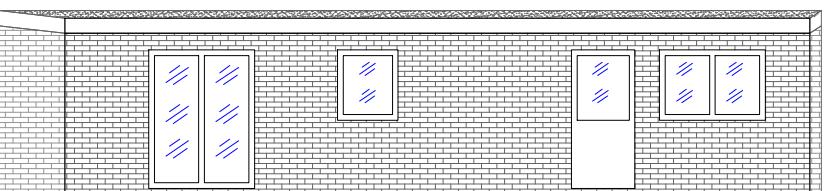
020 8935 5987 - 0739 207 9890  
COSTABUILDERSGROUP@GMAIL.COM

**GENERAL NOTES:**

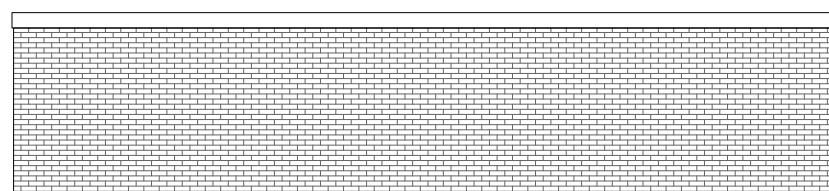
1. All dimensions are in mm, inc.
2. The contractor shall check all dimensions on site prior to any construction and report any discrepancy to the client.
3. The materials for new construction shall be generally similar to the existing so that the new work shall blend into the existing, unless noted otherwise.
4. The detailed specifications where given are generally for similar typical buildings and some of the details given are for compliance to the current Building Regulations and the Building Control Surveyor may need modification to suit site conditions. Not with standing this, the contractor shall be responsible to ensure that the works comply to the latest Building Regulations and will be responsible to obtain all the required Completion Certificates. The contractor, before commencement of any works, shall collect all the information on details of any Planning Permission and any conditions specified thereon or of Building Regulations Approval, and outstanding information on conditions. The contractor shall propose all the planned variations from any details given here and get them approved before the building work commences. All work to be approved by the Local Authority Building Surveyor or similar appointed.
5. Any Structural details provided in the drawings (eg: removal of wall sections, provision of new beams, columns, foundations, etc.) are based on limited site information and are for guidance only. During site work and in particular prior to demolition, the contractor shall ensure validity of all assumptions and adequacy of structural designs provided. The contractor shall be responsible for all temporary works and supports provided during construction. Other details of steel beams, supports, connections, etc. may be in a separate Structural Design Report.
6. Existing & Proposed drainage layout is only based on limited site inspection and the contractor shall reiterate this further during construction and provide adequate system to cater for foul water and surface water from all facilities & appliances. Final details will be determined and confirmed on site.
7. The client is responsible in serving all the appropriate Party Wall Notices under the Party Wall Act and obtains consents as required by the act.
8. No works shall commence until all approvals and agreements have been obtained. These include Planning, Building Regulations, Thames Water and Party Wall.
- These drawings are only for local authority or statutory approvals (such as Planning Permission, etc.) and may not give complete or correct scope of building work and therefore should not be used as basis of any building contract unless specifically agreed otherwise.
9. For minor building works no site investigation (trial pit, soil analysis, etc) has been carried out, unless noted otherwise, and any information on foundations and ground should be treated as approximate only. Any foundation depth indicated is from original virgin ground and any backfill or made-up ground is normally ignored. Exact details of Foundations be verified and confirmed on site, based on exact location and type of trees, type of soil, presence of roots, existing and new drains, other services, etc. and consultation with the Building Control Surveyor.
10. The contractor may be required to meet structural and layout requirements, with very limited considerations on risk assessment and health and safety issues. The client and/or contractor shall be responsible to ensure that all measures are taken to avoid risks to health and safety or reduce risks at source if they cannot be avoided altogether. Where The Construction (Design and Management) Regulations 2007 (CDM) are applicable the client, in conjunction with CDM co-ordinator must ensure that the principal contractor plans, manages and co-ordinates health and safety while construction work is being undertaken.
11. The Copyright of this drawing belongs to Costa Builders Group.



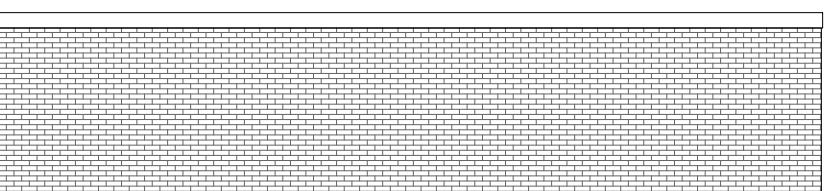
EXISTING FRONT ELEVATION PLAN



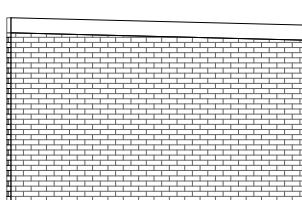
PROPOSED FRONT ELEVATION PLAN



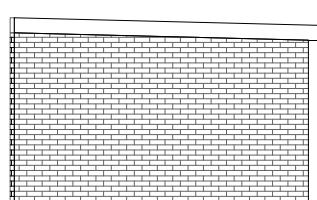
EXISTING BACK ELEVATION PLAN



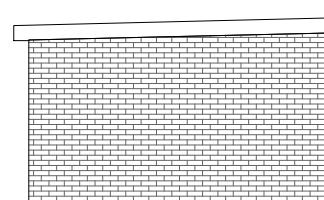
PROPOSED BACK ELEVATION PLAN



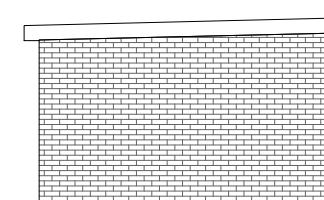
EXISTING EAST WALL ELEVATION PLAN



PROPOSED EAST WALL ELEVATION PLAN



EXISTING EAST WALL ELEVATION PLAN



PROPOSED EAST WALL ELEVATION PLAN

CLIENT:  
Mr Singh

PROJECT NAME:  
Existing building - Granny Annexe

ADDRESS:  
36 Evergreen Road  
Hayes  
UB3 2BJ

PAGE TITLE:  
Front - Back and side elevations plan -  
Existing and Proposed

PROJECT NUMBER:  
12032022-3

DATE:  
01/05/25

SCALE:  
1:100 @ A3

SHEET:  
A - 03

0 5  
[Color calibration bar with red, green, blue, and black squares]