



Chartered Town Planners & Architectural Technicians

PLANNING, DESIGN AND ACCESS STATEMENT

Change of use from Use Class E to Residential

Property Address: 101 Ordnance Road Enfield London EN3 6AG

April 2022

1.0 INTRODUCTION

1.1 This Planning Statement is submitted on behalf of the applicant in respect of prior approval from Use Class E to residential (Use Class C3) at 101 Ordnance Road, EN3 6AG. This Statement should be read in conjunction with other drawings and documents accompanying this prior approval application.

1.2 This Statement comprises:

- A description of the application property and surrounding area;
- A description of the proposed development;
- A summary of relevant planning history; and,
- An assessment of the proposed development against relevant planning policy.

2.0 APPLICATION PROPERTY AND SURROUNDING AREA

2.1 The existing property is a two storey mixed use property in Enfield. The property is in use at the ground floor for commercial purposes, with a small bedsit at the rear on the ground floor with a further two flats on the first floor.

2.2 The site is located within a row of shops in a predominately residential area. Within walking distance of the site are a wide range of facilities, services and amenities of Enfield Town Centre.

2.3 The site has a lower PTAL rating of 2 and is located within 500m of a bus stop and within Enfield Lock station. The site is in flood zone 1 and at low risk of flooding. The property is not listed and is not with a Conservation Area.

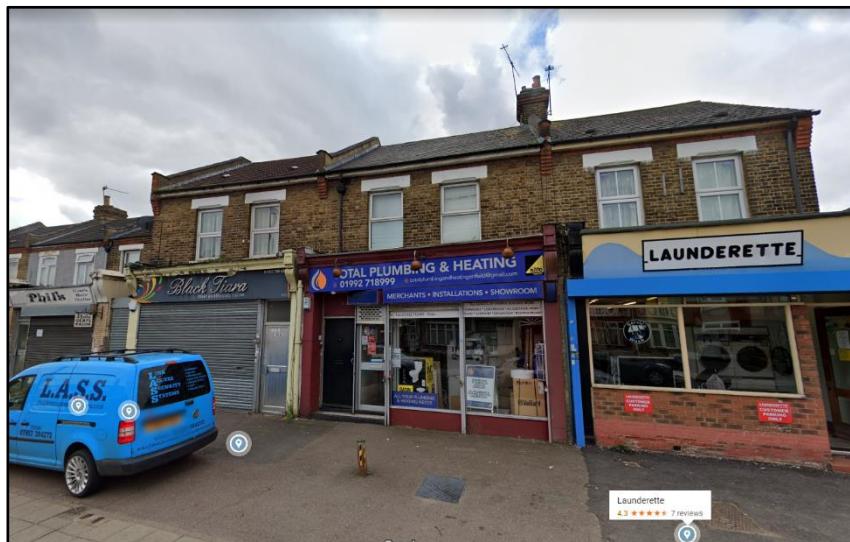


Figure 1 – Front façade of 101 Ordnance Road

3.0 PROPOSED DEVELOPMENT

3.1 The application seeks to change the use from Class E (Commercial) to Class C3 (Residential) (One bedroom ground floor flat). A new accessway will also be created for the ground floor flat at the rear via the front of the building. This comprises changing the existing Use Class E unit to a one bedroom ground floor flat.

4.0 PLANNING HISTORY AND LOCAL PRECEDENT

4.1 There have been six applications of note on site.

Application Ref	Description of Proposal	Decision and Decision Date
TP/96/0429 ¹	Change of use of ground floor from retail (A1) to a takeaway (A3) involving installation of fume extractor to rear of property	Refused 30 th September 1996
TP/99/0637 ²	Change of use to mini cab office.	Granted 23 rd June 1999
TP/00/1283 ³	Conversion of rear ground floor from retail storage to a 1- bed self-contained flat (retrospective)	Granted 31 st May 2001
TP/01/1098 ⁴	Increase in retail floor area on ground floor, 2-storey extension and conversion of ground floor 1-bed flat into a bedsit.	Granted 19 th October 2001
16/05822/FUL ⁵	Vehicular Access	Refused 16 th February 2007
17/02276/FUL ⁶	Erection of outbuilding at rear for storage purposes and installation of new door to existing building.	Awaiting Decision

Local Precedent

4.2 There have been a number of applications for Prior Approval as follows:

¹ [TP/96/0429](#)

² [TP/99/0637](#)

³ [TP/00/1283](#)

⁴ [TP/01/1098](#)

⁵ [16/05822/FUL](#)

⁶ [17/02276/FUL](#)

Application Ref	Address	Description of Proposal	Decision and Decision Date
20/00777/PIA ⁷	113 Ordnance Road Enfield EN3 6AG	Change of use of part ground floor from retail (Class A1) to 1 x self-contained flat (Class C3) together with external alterations	Prior Approval Not Required – 18 th May 2020
16/05324/PIA ⁸	71-73 Ordnance Road Enfield EN3 6AG	Change of use from retail (A1) to 2 x 1-bed self contained flats (C3)	Prior Approval Required – 13 th January 2017

4.3 The principle of change of use has therefore been established in the area under Prior Approval has been established in the area.

5.0 PLANNING POLICY

General Permitted Development Order

5.1 Schedule 2, Part 3M of the Town and Country(General Permitted Development) (England) Order 2015, as amended by the insertion of Class MA as part of The Town and Country Planning (General Permitted Development etc.) (England) (Amendment) Order 2021 sets the criterion that need to be met in order for the development to be permitted. In the case of the application property, it must:

- Have been vacant for a period of three months; and
- Be no larger than 1,500sqm

5.2 The property has been vacant since 1st February 2022. Furthermore, the ground floor area to which Prior Approval is sought measures 70.1m², with the total ground floor area measuring 91.8m² and the whole building measuring 150.6m², well below the threshold of 1,500m².

6.0 DESIGN AND ACCESS

Amount

6.1 The total internal floorspace area will remain unchanged. In regards to the size of the proposed flat, this will measure 48.5m²

⁷ [20/00777/PIA](#)

⁸ [16/05324/PIA](#)

Appearance and Scale

6.2 The only change that will take place will be changes to the front façade of the building, where the existing front door will be replaced with a composite GDR door. The bay window at the front will also be replaced with a smaller raised window. The property will also be finished with a white render finish.

7.0 CONCLUSION

7.1 The proposed conversion is considered to be in compliance with Schedule 2, Part 3M of the Town and Country (General Permitted Development) (England) Order 2015, as amended by the insertion of Class MA as part of The Town and Country Planning (General Permitted Development etc.) (England) (Amendment) Order 2021.