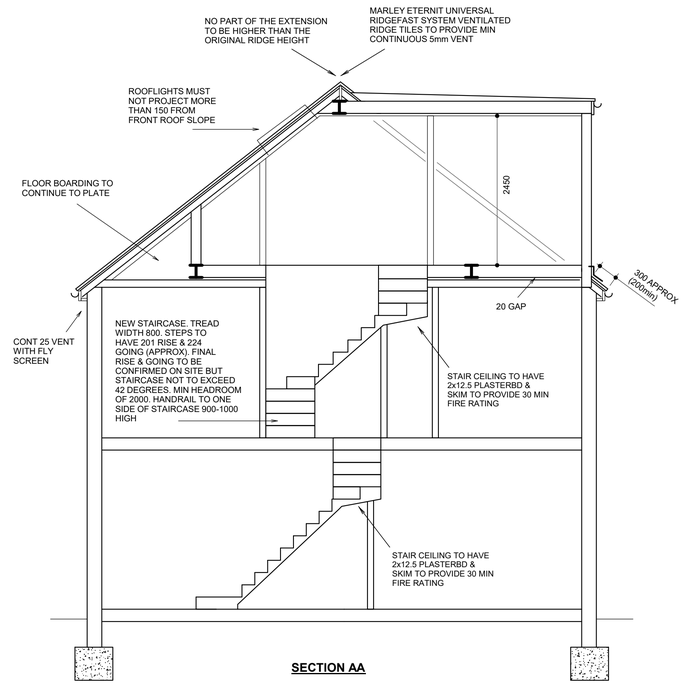
PROPOSED REAR ELEVATION
SCALE 1:100

PROPOSED SIDE ELEVATION
SCALE 1:100

PROPOSED FRONT ELEVATION
SCALE 1:100

PROPOSED SIDE ELEVATION
SCALE 1:100



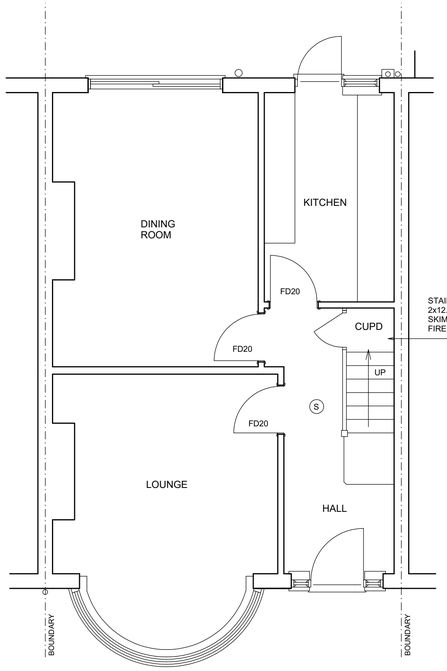
SECTION AA

ROOF EXTENSION VOLUME

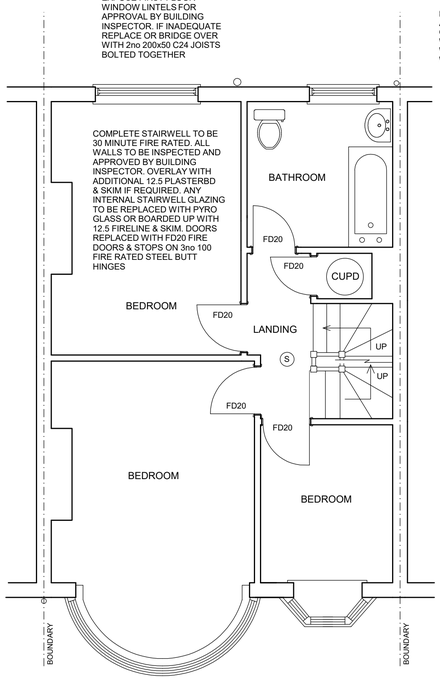
PROPOSED REAR DORMER EXTENSION $\frac{5.30(w) \times 3.85(lg) \times 2.95(h)}{2}$ = 30.10 M3

IMPORTANT NOTE:

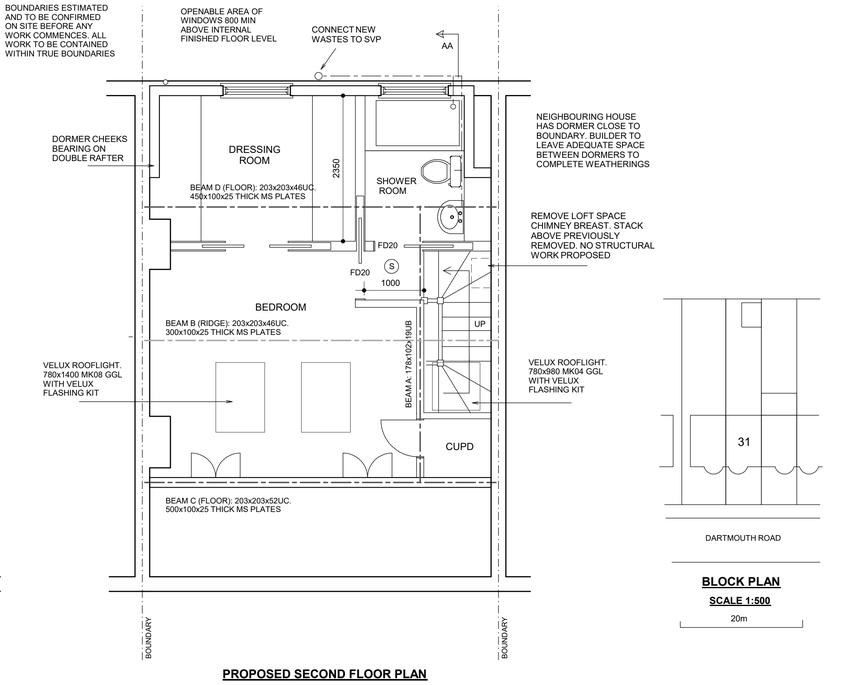
ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE. TOTAL ROOF EXTENSIONS MUST NOT EXCEED 40 CUBIC METRES MEASURED EXTERNALLY. HEIGHT MUST NOT EXCEED HEIGHT OF ORIGINAL MAIN ROOF RIDGE. ALL WORK MUST BE CONTAINED WITHIN THE SITE BOUNDARIES



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

BLOCK PLAN
SCALE 1:500
20m

(S) SELF CONTAINED MAINS OPERATED INTERLINKED OPTICAL SMOKE DETECTOR SYSTEM IN ACCORDANCE WITH BS5839 OR BS5446. ALARMS TO HAVE BATTERY BACK UP. DETECTORS 300min FROM WALLS

ALL FIRE DOORS TO BE FITTED WITH INTUMESCENT STRIPS TO DOOR OR FRAME. 3no 100mm STEEL BUTT HINGES WITH MELTING POINT IN EXCESS OF 800 DEG C

GENERAL SPECIFICATION
(unless noted otherwise on drawings or engineer's design)

UPGRADING OF EXISTING PARTY WALL – Neighbouring loft not converted

Dry line wall with 42.5 thick Kingspan Kooltherm K18 insulation backed plasterboard fixed to 25x50 battens on 1200 gauge DPM sheet. Additional 25 insulation between battens 3 skim. Wall to achieve U-value of 0.28W/m2K.

SOUND INSULATION TO PARTY WALL - Neighbouring loft previously converted

Provide sound insulation to party wall with either 52mm Gyproc Triline board adhered directly to brickwork or Gyproc Gypliner universal system of 25mm Isover APR 1200 acoustic insulation between lining channels clad with 2x 12.5mm Gyproc Soundblock plasterboard. All to manufacturers instructions and to satisfaction of building inspector.

STEELWORK

Beams to be clad with 12.5 fireline plasterboard + skim to provide 30 min fire rating. Alternatively steelwork to be painted with intumescent paint by suitably trained person to approval of building inspector on site.

LOFT FLOOR STRUCTURE

220x50 C24 joists at 400 cts (unless noted otherwise on engineers design). 22mm moisture resistant T&G particle board (18 WBP ply to bathrooms). 100 acoustic quilt located between joists fixed with chicken wire. 5x30 steel restraint straps at 2000 cts over 2 joists & located in brick or blockwork. 200x38 straight strutting between joists. Loft floor to be 30 minute fire rated. Building inspector to inspect first floor ceiling and approve as adequate for fire and sound insulation. Overlay with additional layer of 12.5 soundblock plasterboard + skim if required.

STAIRCASE

32 engineered pine strings. 22 MDF treads. 9 ply risers. 90x90 newels. Tread & riser provisionally as plan but to be confirmed on site. Pitch not to exceed 42 degrees. 50 min tread length at turns. Open banisters to have spindles spaced to prevent 100 dia sphere from passing at any point. Handrails 900-1000 high. 2000 min headroom over stairs. Can be reduced to 1900 at midpoint reducing to 1800 on side for a staircase accessing a loft conversion.

INTERNAL PARTITIONS

75x50 stud. 1981x762 doorways unless shown otherwise on plan. Lay DPC under sole plates where on concrete ground floor. Double up joists under partition bolting together with M12 bolts @ 600cts if on timber floor. All partitions to contain 75 acoustic quilt. Clad stairwell partitions with 12.5 fireline or 2x12.5 plasterboard. Clad bath/shower room partitions with 12.5 soundblock. Clad other partitions with 12.5 plasterboard. Skim all plasterboard.

EXISTING MAIN ROOF RAFTERS (PITCHED WITH SLOPING SOFFIT) - UNVENTILATED

Existing rafters 100x50 at 400 cts. Double up/replace with 120x50 C16 @ 400cts. 110mm Celotex XR4000 insulation between rafters & 40mm Celotex TB4000 insulation slab beneath rafters to achieve U-value of 0.18W/m2K. Tyvek breathable membrane. 19x38 battens. Roof tiles to match existing. New ridge tiles to be bedded on mortar in addition to a mechanical fixing

FLAT ROOF (COLD DECK CONSTRUCTION)

200x50 C16 joists at 400 cts on 200 steel joist hangers. 5x30 MS anchor straps at 2000 max cts. 18 WBP plywood firred to fall min 1 in 40. 3 layers roof felt to BS747 hot bonded to ply decking. Finish with bitumen bedded stone chippings covering the whole surface to a depth of 12.5mm. 150mm Celotex XR4000 insulation between joists with 50 ventilation gap over. 12 Celotex TB4000 below joists. Ceiling 9 plasterboard + skim. 25 continuous vent at eaves and abutment. Roof to achieve U-value of 0.18W/m2K.

DORMER REAR WALL & CHEEKS

125x50 C16 timber stud. 100mm Celotex GA4000 between studs leaving 25 cavity. Timber framed walls to achieve U-value of 0.28W/m2K. Fix 1000 gauge polythene membrane over studs and seal perimeter with mastic to provide a VCL. 12.5 plasterboard + 3 skim internally. Screw 9 WBP ply to external face of studs. 9 Superlux board in lieu of ply to areas within 1m of boundary. Vertical hung tiles.

ROOFLIGHTS – PITCHED ROOFS

Install with manufacturers upstand/flashing kit and all to manufacturers instructions. Doubled up rafters and trimmers around opening to be bolted together with M12 bolts @ 600cts.

VENTILATION

Windows to match existing & provide vent of min 1/20 floor area & built in adjustable 8000mm^2 min vent. Install power vent to bath/shower room to achieve 15 litres/sec and be connected to light switch with 15 min overrun. Vent to be ducted at ceiling level to outside air.

SURFACE WATER

112 dia PVC gutters. 68 dia PVC downpipes. Surface water downpipes connected into existing surface water drain. If not possible construct soakaway minimum 5 metres from any building. Volume of 1 cubic metre per 16.5 square metres of roof area served. Fill with hardcore.

ABUTMENTS

All exterior abutments to have code 4 lead min 150 flashing.

WINDOWS & DOORS

Double glazed with 16 air gap and soft low E coating. Built in 8000mm^2 adjustable vent. Windows to achieve U value of 1.6 w/m2K. Doors to achieve U value of 1.8 w/m2K. All glass below 800mm, glass in doors or within 300mm of a door to be toughened safety glass.

ABOVE GROUND DRAINAGE AND PLUMBING

Bath/shower to have 40 dia waste. Basin with 32 dia waste. All with 75 D/S traps & rodding access at bends. WC with 110 dia waste. Plumbing to comply with British Standards. SVPs to vent 900 above any openable window within 3m. Wholesome water (ie water provided by statutory water supplier via a compliant water supply installation) to be provided to all taps. Baths & shower taps to be thermostatically controlled to ensure water does not exceed 48 deg C

ELECTRICAL WORK

All electrical work required to meet the requirements of Part P (Electrical Safety). Must be designed, installed, inspected & tested by a person competent to do so. Prior to completion the council should be satisfied the Part P has been complied with. This may require an appropriate BS7671 electrical installation certificate to be issued for the work by a person competent to do so. New light fittings to have LED bulbs. Electrical switches and sockets to be installed between 450mm and 1200mm from floor level where practical.

HEATING

New radiators to be fitted with thermostatic valves. Work to gas pipework, boilers & appliances to be carried out, tested and certified by Gas Safe registered person.

31 DARTMOUTH ROAD RUISLIP MIDDX HA4 0DD

LOFT CONVERSION

SCALE 1:50 / 1:100 @ A1

APRIL 2022

DRG No. 2308.2 REV A

JAMES RUSH ASSOCIATES LTD
54 JOINERS LANE CHALFONT ST PETER BUCKINGHAMSHIRE SL9 0AT TEL: 01923 775 761
EMAIL: jameswrush@hotmail.com

10.00 METRES @ 1:100

5.00 METRES @ 1:50

BOUNDARIES ESTIMATED AND TO BE CONFIRMED ON SITE. ALL NEW WORKS TO BE CONTAINED WITHIN TRUE BOUNDARIES UNLESS STATED OTHERWISE ON PLAN
ALL NEW WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS
DIMENSIONS IN MILLIMETRES AND TO BE CONFIRMED ON SITE
ALL STEEL DIMENSIONS TO BE CONFIRMED ON SITE AND NOT BE TAKEN FROM STRUCTURAL CALCULATIONS
ALL DRAINS & TREES ARE ESTIMATED AND ARE TO BE CHECKED & CONFIRMED ON SITE BEFORE ANY WORK COMMENCES
CLIENT TO SERVE PARTY WALL ACT NOTICE BEFORE WORK COMMENCES
ALL WORK TO BE CARRIED OUT & SUPERVISED BY COMPETENT OPERATIVES

DUE TO SURVEY LIMITATIONS EXISTING JOIST SPANS ASSUMED UNTIL CONFIRMED ON SITE. ALL WALLS & PARTITIONS TO BE CONSIDERED LOADBEARING UNTIL OPENED UP ON SITE AND CHECKED BY COMPETENT PERSON TO CONFIRM OTHERWISE. MUST BE CONFIRMED BEFORE ANY WORK COMMENCES
IF STRUCTURAL ENGINEERS DESIGN RELATING TO STRUCTURAL ELEMENTS CONTRADICTS ARCHITECTURAL DRAWING/SPEC - ENGINEERS DESIGN PREVAILS
THIS DRAWING IS FOR PLANNING & BUILDING REGULATION APPLICATION PURPOSES ONLY. BUILDER/CLIENT TO APPOINT CDM CONSULTANT TO ENSURE WORKS COMPLY WITH CDM REGULATIONS BEFORE WORK COMMENCES
SINCE WE HAVE NO ACCESS TO THE DEEDS OF THE PROPERTY IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE WORKS DO NOT CONTRAVENE ANY RESTRICTIVE COVENANTS CONTAINED IN THE DEEDS