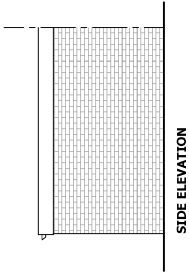
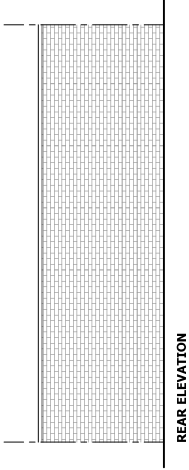
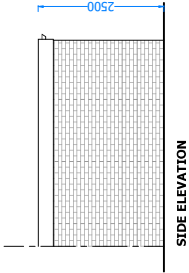
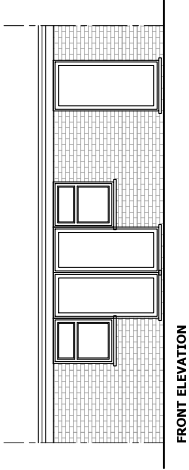
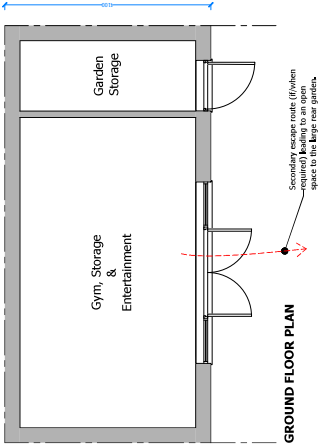


Do not scale. These drawings (except those the Planning Department) are for information only and must be checked in detail by a contractor/third party prior to commencement. Any discrepancy in the drawings should be reported to the architect before proceeding. All works are to be completed in accordance with the Building Regulations and must not be copied or transmitted without our prior written consent. The drawings are the property of the architect and must be kept confidential. No part of these drawings should be used for any other purpose without the written consent of the architect. Works should not commence before a Planning Building Control approval has been received. The architect is not responsible for any delays or alterations due to commencement of works prior to an approval.



| Date | Rev. | Details |
|------|------|---------|
|      |      |         |



1. Total cantilage = 260.42m<sup>2</sup> (excluding original building).
2. Area of proposed is 34.03m<sup>2</sup>.
3. Percentage of garden space used by proposed is less than 13% which is far less than the 50% limit.  
(all figures are approximate values)

#### Why CLD should be granted?

The proposed complies with the guidelines set out in the following, Under Class E (Part 101.2) of the Use Class Order 2004:  
E.1(a) the development is less than 13% which is less than the specified 50% limit.  
(b) the development does not breach forward of the principal elevation  
(c) proposed is single storey  
(d) maximum height is 2.5m (as defined above)  
(e) eaves height is less than 2.5m (as defined above)  
(f) existing building is not listed  
(g) no balconies, verandas or raised platforms  
(h) not an extension to the main building nor an antenna  
(i) not a container. Furthermore, the proposed is sited far greater than 5m away from the nearest part of the existing building.

|                                                                          |                                                   |
|--------------------------------------------------------------------------|---------------------------------------------------|
| PROJECT                                                                  | Loft conversion and outbuilding                   |
| ADDRESS                                                                  | 24 Oakwood Road, Pinner HA5 3UE                   |
| DRAWING                                                                  | Proposed GA - Outbuilding                         |
| REV                                                                      | SCALE 1/100                                       |
| PAGE 05                                                                  | DATE 04/2022                                      |
| PAPER A3                                                                 |                                                   |
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