

14 Burton Road

Design and Access Statement

JULY 2026





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1. Introduction

1.1 Executive Summary

1.1.1 This Design & Access Statement has been prepared in support of a householder planning application for the conversion of the existing roof space to habitable use at 14 Burton Road, Uxbridge UB10 0YE.

1.1.2 This document should be read in conjunction with all drawings and associated documentation included in this submission.

1.1.3 It is proposed to convert the loft into habitable accommodation served entirely by conservation rooflights, retaining the existing roof form, ridge height and eaves line in their entirety. No dormer is proposed. The scheme has been developed directly in response to pre-application advice from the London Borough of Hillingdon (ref. 77124/PRC/2026/9) and to the findings of the Planning Inspector under appeal reference APP/R5510/D/24/3348899.

1.1.4 The proposal has been carefully considered in relation to the character of the host terrace and the wider street scene, and against relevant national, regional and local planning policy.

1.2 The Applicant

1.2.1 The application is made on behalf of the owner-occupier of the property. This Statement and the accompanying drawings have been prepared by TKR Global Ltd.

1.3 Scope

1.3.1 The works to which this application relates comprise the following:

- conversion of the existing roof space to habitable use, within the existing roof envelope;
- installation of 4 no. conservation rooflights (two to the front and two to the rear roof slopes), fitted flush with the plane of the roof;
- provision of a bedroom and ensuite within the loft, accessed by a new internal staircase.

1.3.2 No change is proposed to the ridge height, eaves line or external roof form. No dormer is proposed. Permitted development rights having been removed from the property, the works are brought forward as a full householder application.



View of the rear of the property from the garden.

2. Site

2.1 Location

2.1.1 The full address of the site is 14 Burton Road, Uxbridge UB10 0YE.

2.1.2 The property is a two-storey mid-terraced house on the southern side of Burton Road. It forms part of a relatively recently constructed residential estate built on former RAF Uxbridge land. The surrounding area is residential in character.

2.1.3 The rear garden measures approximately 45 square metres. Vehicle parking is provided within a separate garage block serving the estate.

2.2 Access

2.2.1 The site is accessed from Burton Road. The proposal relates solely to internal roof-space conversion and rooflights and does not alter the existing means of access to the dwelling or the highway. There is no impact on parking provision.

2.3 Heritage and Conservation

2.3.1 The property is not listed and does not lie within a Conservation Area or Area of Special Local Character. There is an area Tree Preservation Order in the vicinity; however, no trees of amenity value would be affected by the proposed works.

2.4 Planning Policy

2.4.1 The proposal falls to be assessed against the development plan for the area, comprising the Hillingdon Local Plan: Part 1 – Strategic Policies (2012) and Part 2 – Development Management Policies (2020), together with the London Plan (2021) and the National Planning Policy Framework (2024).

2.4.2 The policies of particular relevance are:

– **PT1.BE1 (2012) – Built Environment:** seeks a quality of design that enhances and contributes to the area in terms of form, scale and materials and respects local character.

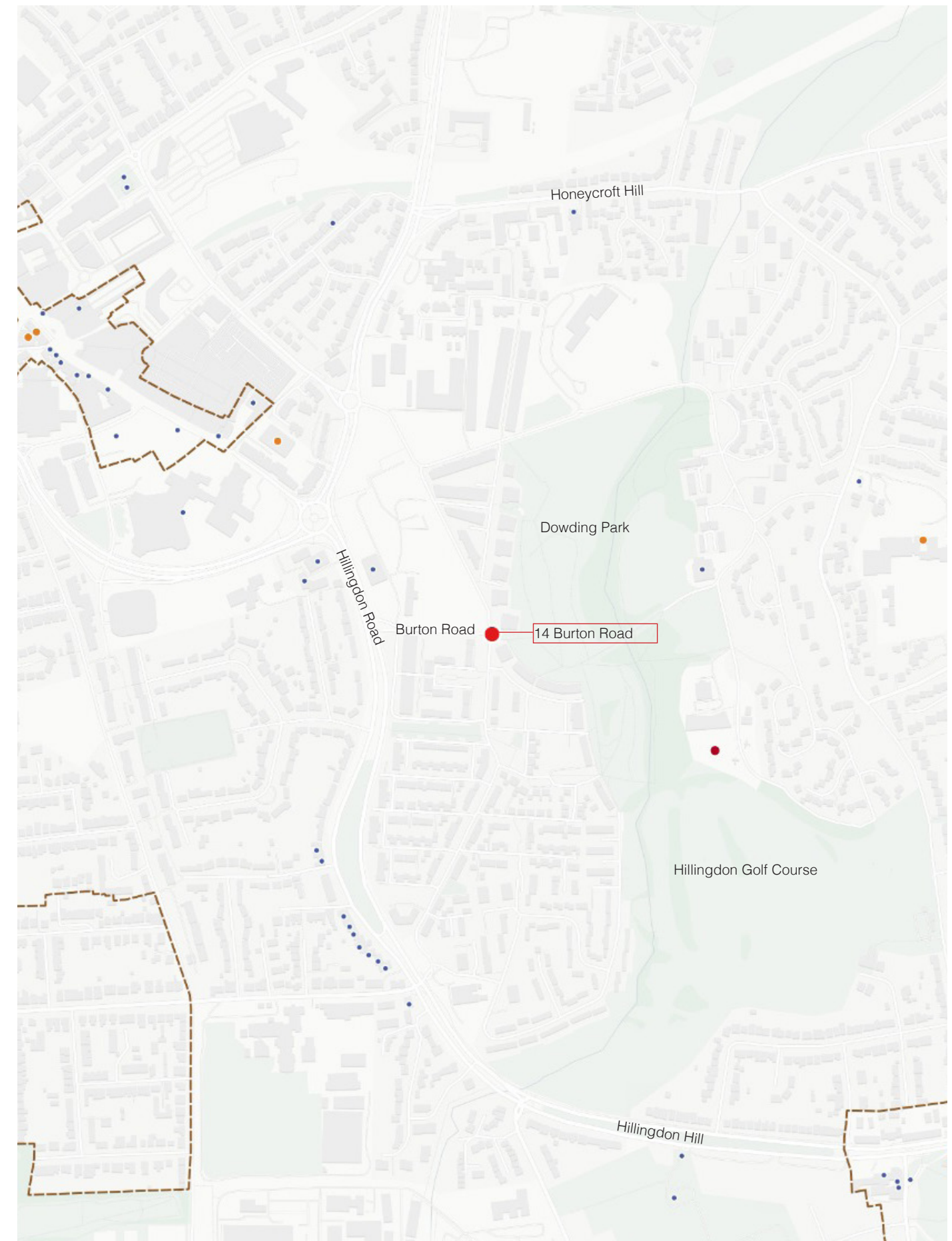
– **DMHB 11 (2020) – Design of New Development:** requires development to be designed to the highest standards, having regard to the scale, height, mass and bulk of adjacent structures and to streetscape rhythm.

– **DMHD 1 (2020) – Alterations and Extensions to Residential Dwellings:** sets out the Council's detailed requirements for roof extensions and alterations, including the expectation that such works appear subordinate to the host dwelling.

– **DMHB 18 (2020) – Private Outdoor Amenity Space:** sets minimum amenity space standards.

– **London Plan Policies D3, D4 and D6 (2021):** require a design-led approach, good design that enhances local context, and acceptable housing quality and standards.

– **NPPF (2024):** paragraph 135 requires development to function well, be visually attractive and be sympathetic to local character, and the Framework applies a presumption in favour of sustainable development.



2.5 Relevant Planning History

2.5.1 **77124/APP/2024/1256** – Erection of a single storey rear extension and conversion of roof space into habitable use to include a rear dormer and 2 x front rooflights. Refused. The reason for refusal relating to the loft conversion concerned the incongruous and visually prominent rear dormer, which was found to fail to harmonise with the architectural composition of the terrace and to harm the character and appearance of the area, contrary to Policies BE1, DMHB 11, DMHD 1 and London Plan Policy D3.

2.5.2 **APP/R5510/D/24/3348899** – The subsequent appeal was dismissed. The Inspector found that, although the dormer complied with the dimensional limits of Policy DMHD 1 and would be invisible in frontal views from Burton Road, it would be the only dormer in the terrace and would be readily seen from properties to the rear, where it would appear as an incongruous addition harmful to the simple and harmonious character of the terrace.

2.5.3 **77124/PRC/2026/9** – Pre-application advice was sought in respect of a revised loft conversion. The Council's feedback (case officer Nicola Taplin, 25 March 2026) is addressed in Section 6 of this Statement. The present application has been prepared in direct response to that advice.

2.5.4 **74665/APP/2019/850** (13 Brand Avenue, Uxbridge) — Approved. Planning permission was granted by the London Borough of Hillingdon for the conversion of loft space to habitable use incorporating two front and two rear rooflights, on a comparable two-storey terraced dwelling within the borough. As with the present proposal, permitted development rights had been removed by condition (there, Condition 33 of the original consent ref. 585/APP/2009/2752), so the rooflights required full permission. The Council found that the rooflights, by virtue of their flush finish and siting within the confines of the roof slopes, were modest in nature, would satisfactorily integrate with the host dwelling and would not detract from the visual amenities of the area. The same reasoning applies directly to the rooflight-only scheme now proposed.

This approval illustrates the Council's established acceptance of rooflight-only loft conversions, within the existing roof plane, on terraced dwellings of this type. It is offered as corroboration of the assessment in Section 4 rather than as a determinative consideration in its own right.

2.6 Pre-Applications

2.6.1 TKR Global engaged positively with the London Borough of Hillingdon through the pre-application advice service under reference 77124/PRC/2026/9. The advice received has shaped the scheme now submitted; in particular, the rear dormer previously proposed has been omitted in its entirety. Commentary on the pre-application advice is set out in Section 6.

2.7 Flood Risk

2.7.1 The site lies within Flood Zone 1 as defined by the Environment Agency and the development is well below 1 hectare in area. The proposal does not increase the building footprint or the area of hard surfacing and does not materially increase surface water run-off. This paragraph constitutes the applicant's statement in respect of flood risk, consistent with Policies DME1 9 and EM6 of the Local Plan and London Plan Policy SI 12.

3. Existing Building

3.1 Typology

3.1.1 14 Burton Road is a two-storey mid-terraced dwelling of modern construction, forming part of a uniform terrace group within a planned residential estate developed on former RAF Uxbridge land.

3.1.2 The terrace is characterised by a simple, regular and unbroken roofline. The repetition of form and the absence of roof-level alterations across the group is a defining feature of its character and contributes to the harmonious appearance of the street scene.

3.2 Appearance

3.2.1 The dwelling is constructed in facing brickwork beneath a pitched, tiled roof, with regularly proportioned window openings. The terrace presents a consistent and undisturbed roof plane to both the front (Burton Road) and the rear.



View of the front of the property from the street.

3.3 Condition

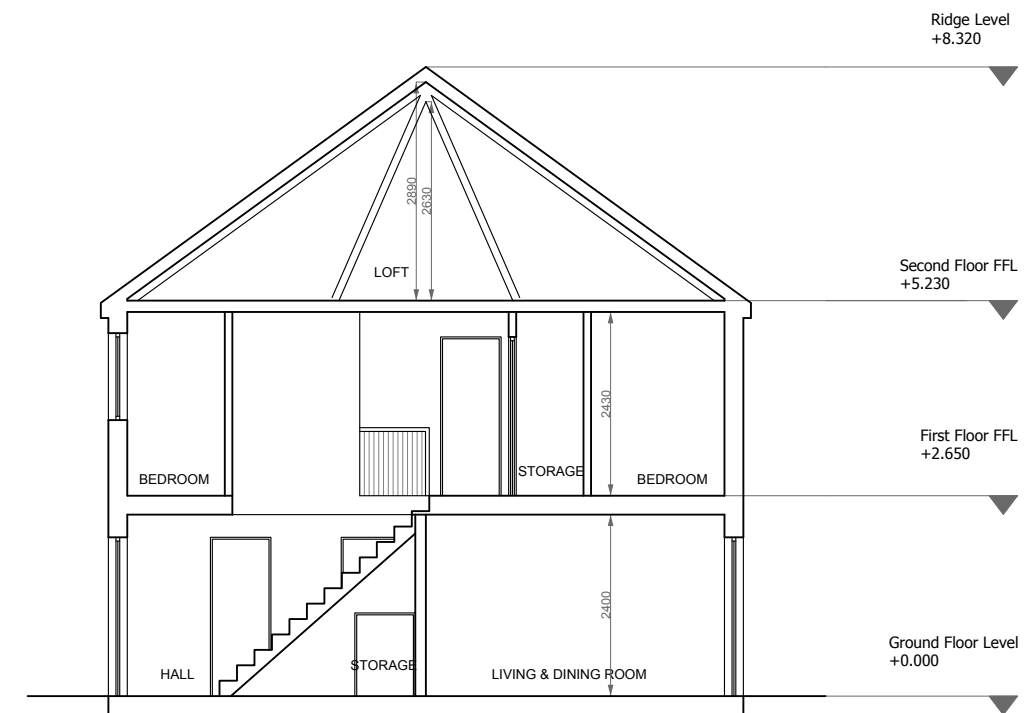
3.3.1 The property is in good structural and decorative condition, consistent with its modern construction date. The existing roof structure is sound and capable of accommodating habitable conversion within its existing volume.

3.4 Surveyed Drawings

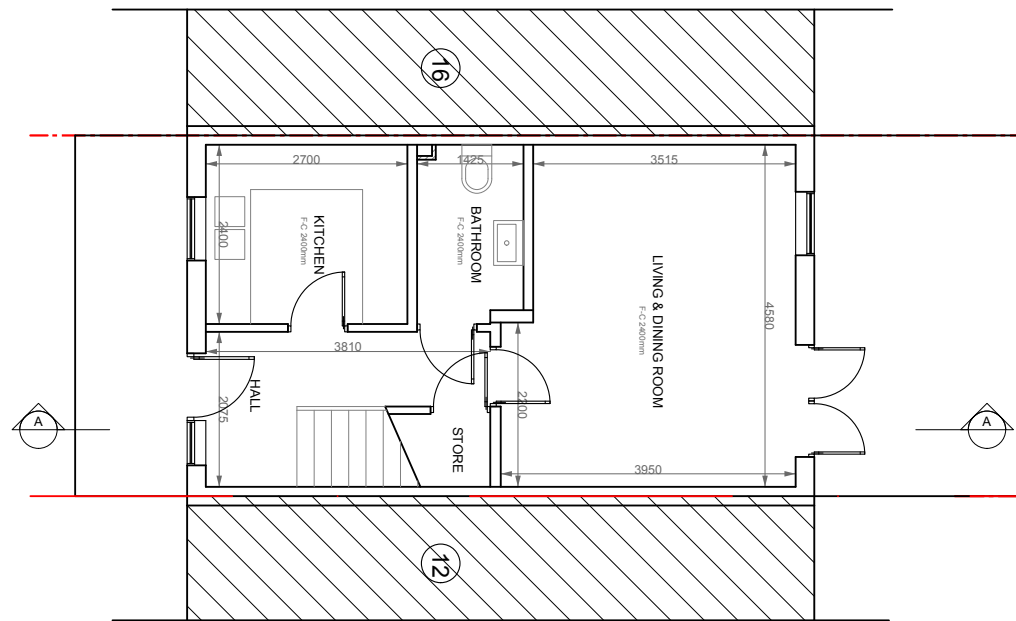
3.4.1 Existing floor plans, roof plan, elevations and section are provided within the accompanying drawing set and should be read alongside this Statement.



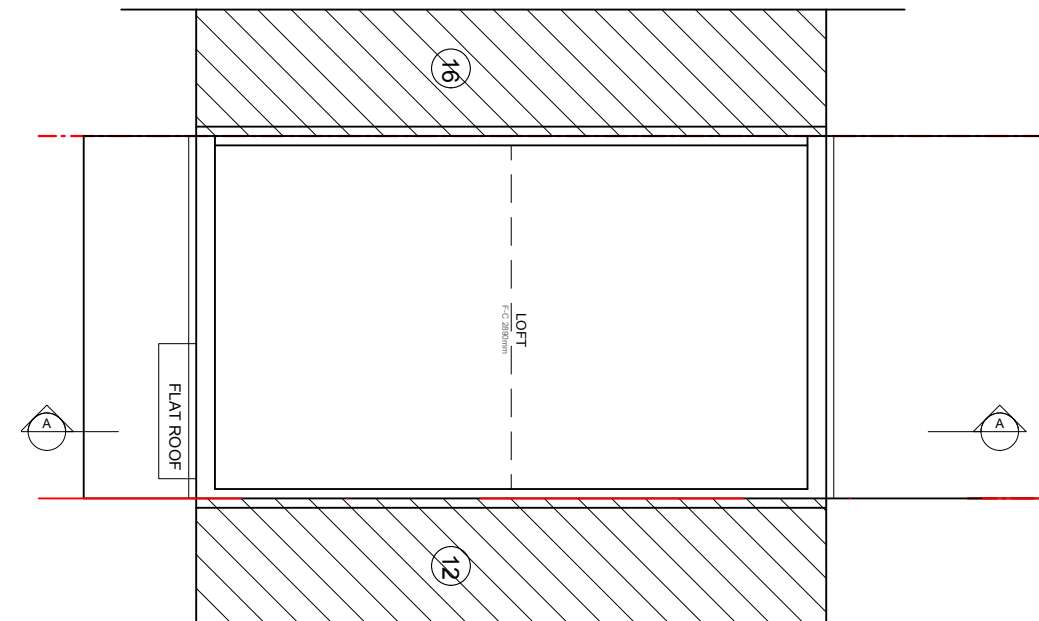
Close view of the roof.



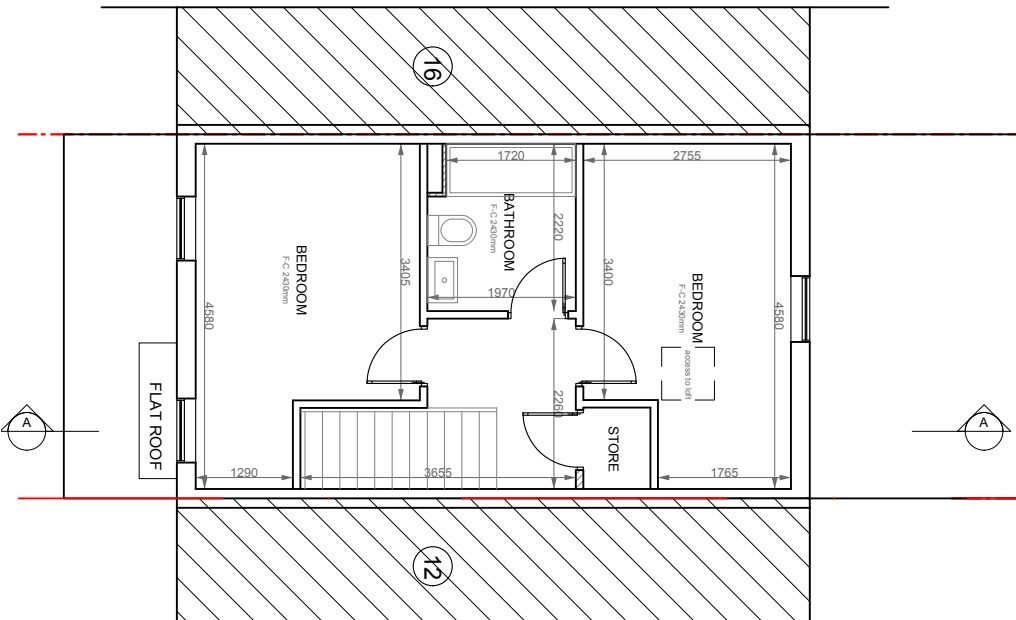
Existing Section, Scale 1:100



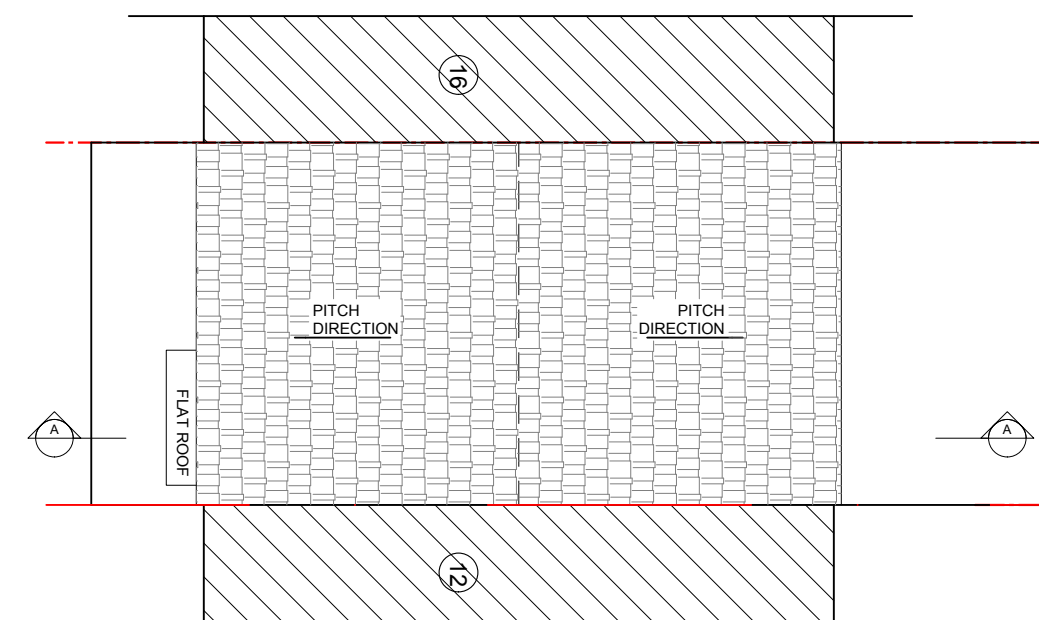
Existing Ground Floor Plan, Scale 1:100



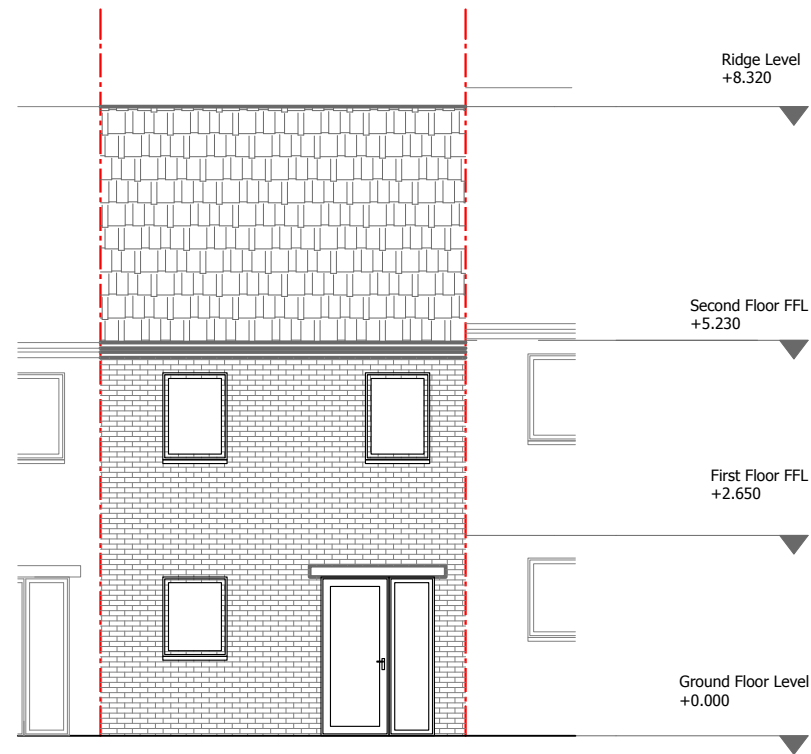
Existing Loft Plan, Scale 1:100



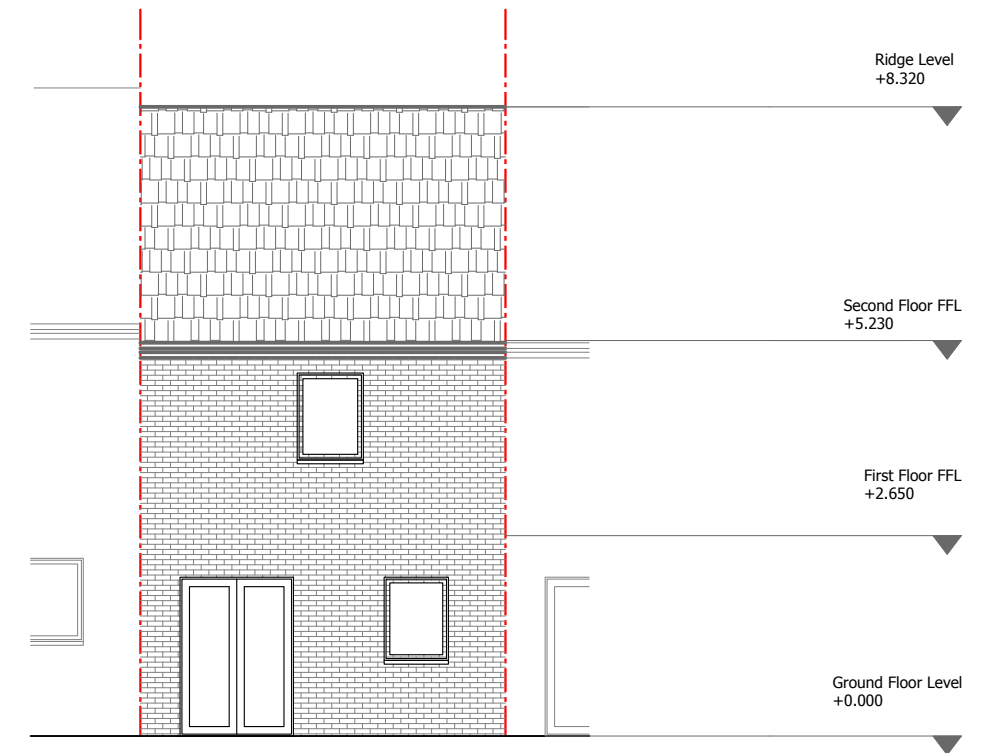
Existing First Floor Plan, Scale 1:100



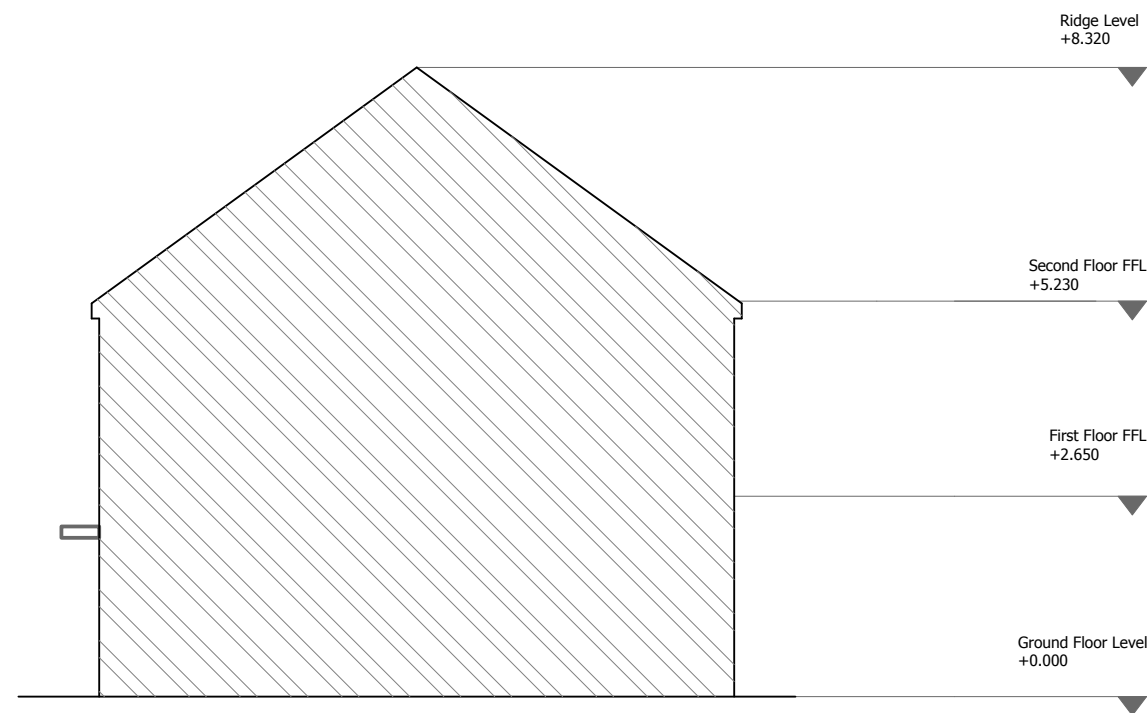
Existing Roof Plan, Scale 1:100



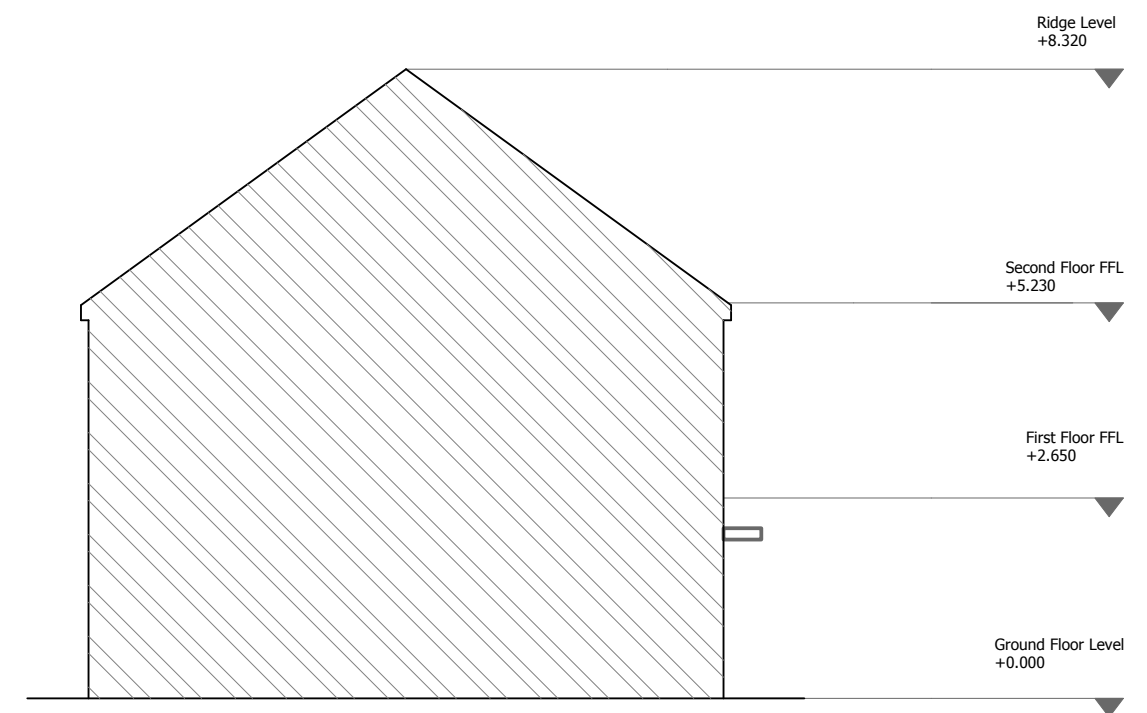
Existing Front Elevation, Scale 1:100



Existing Rear Elevation, Scale 1:100



Existing Side Elevation (from N.12), Scale 1:100



Existing Side Elevation (from N.16), Scale 1:100

4. Proposed Works

4.1. Proposed Works

4.1.1 It is proposed to convert the existing roof space into habitable accommodation, providing a bedroom and ensuite, accessed by a new internal staircase. The accommodation is contained entirely within the existing roof volume.

4.1.2 Natural light and ventilation to the loft are provided by four conservation rooflights, two to each of the front and rear roof slopes. The rooflights are fitted flush with the roof plane and are of a conservation pattern with a central glazing bar, minimising their visual presence on the roof.

4.1.3 Critically, and in direct response to pre-application advice, no dormer is proposed, and the existing ridge height (+8.320), eaves line and roof form are retained without alteration. The roofline of the terrace therefore remains entirely unbroken and undisturbed by the proposal.

4.1.4 External materials and detailing remain as existing. The rooflights are the only external alteration and are designed to match the appearance of comparable conservation rooflight installations.

4.2 Impact Assessment

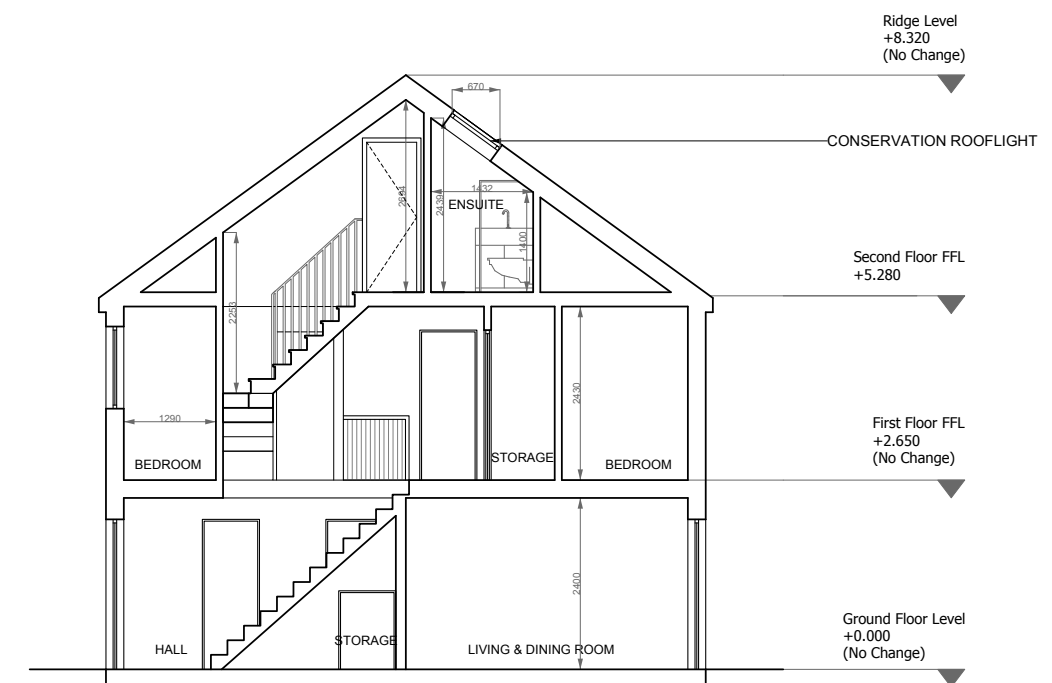
4.2.1 **Character and appearance.** The defining feature of the terrace is its simple, unbroken roofline. The proposal retains that roofline in full. By relying solely on flush conservation rooflights and omitting any dormer, the scheme avoids the incongruous roof-level addition that led to the refusal of 77124/APP/2024/1256 and the dismissal of appeal APP/R5510/D/24/3348899. The proposal preserves the group value and architectural integrity of the terrace and complies with Policies BE1, DMHB 11 and DMHD 1 and London Plan Policy D3.

The conclusion that flush conservation rooflights preserve the character of the terrace is one the Council has itself reached on comparable schemes within the borough. In 74665/APP/2019/850 the Council found that rooflights of a flush finish, set within the confines of the roof slopes, were modest in nature and would not detract from visual amenity. That the same authority has accepted materially similar development lends weight to the present assessment, the substance of which rests on the removal of the dormer that formed the sole basis of the previous refusal and dismissed appeal.

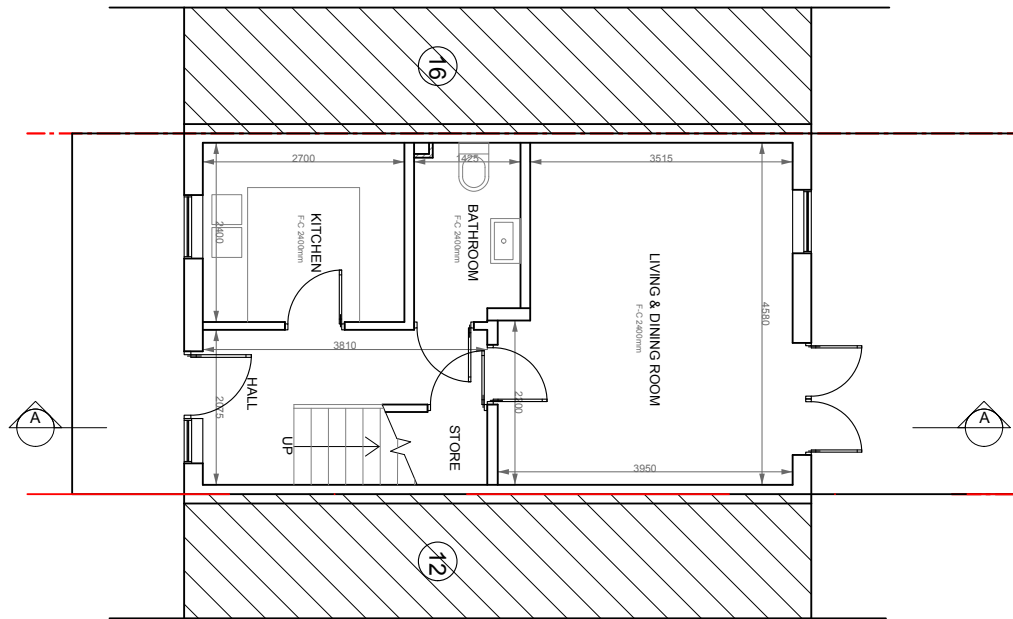
4.2.2 **Compliance with DMHD 1.** Policy DMHD 1 provides that the raising of a main roof above the existing ridgeline will generally not be supported, and that roof alterations should be subordinate to the host dwelling. The proposal involves no change to the ridge or eaves and no dormer, and is therefore fully consistent with the policy. Conservation rooflights of the type proposed are an accepted and unobtrusive form of roof lighting that does not interrupt the roof plane.

4.2.3 **Residential amenity.** The works are contained within the existing roof envelope and introduce no new massing. There is no material impact on the outlook, privacy, daylight or sunlight of neighbouring occupiers. The pre-application advice confirmed that even the previously proposed dormer would not have harmed neighbouring living conditions; the current, more restrained scheme plainly accords with London Plan Policies D3 and D6 and Policies DMHD 1 and DMHB 11 in this respect.

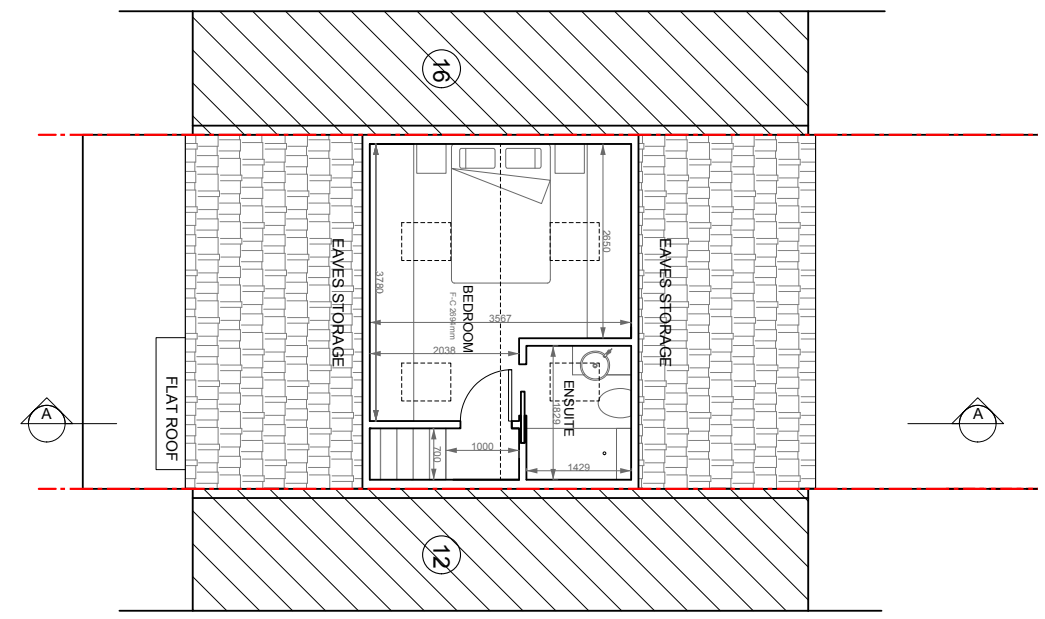
4.2.4 **Amenity space, highways and CIL.** The proposal does not reduce the existing private garden space and generates no additional amenity-space requirement; it accords with Policies DMHB 18 and DMHD 1 and Table 5.3 of the Local Plan. There is no impact on highways or parking. The development would not attract a CIL liability.



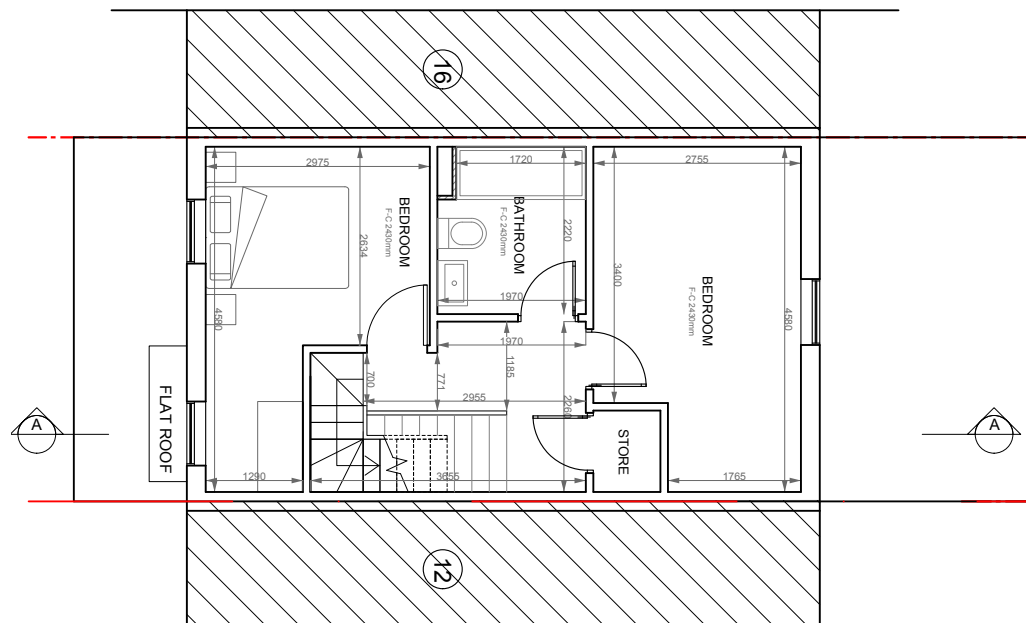
Proposed Section, Scale 1:100



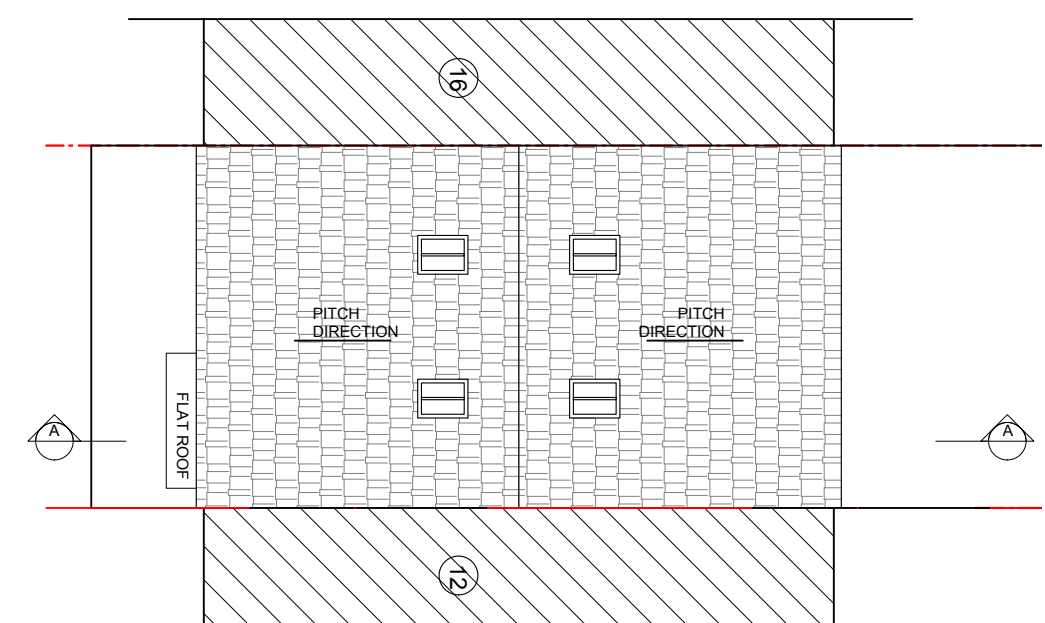
Proposed Ground Floor Plan, Scale 1:100



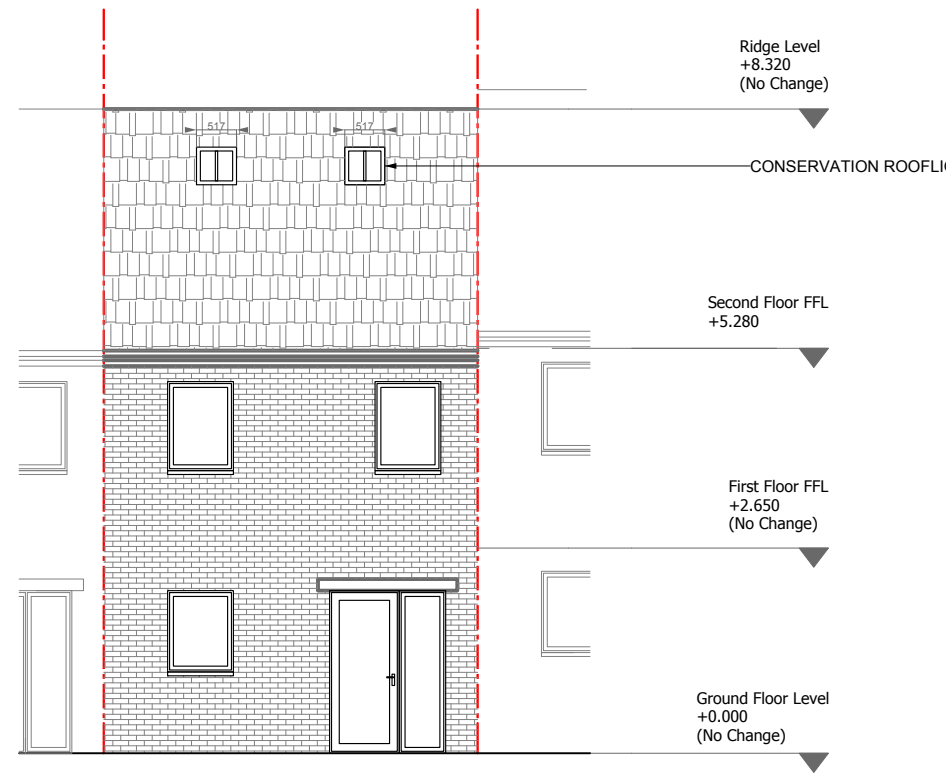
Proposed Loft Plan, Scale 1:100



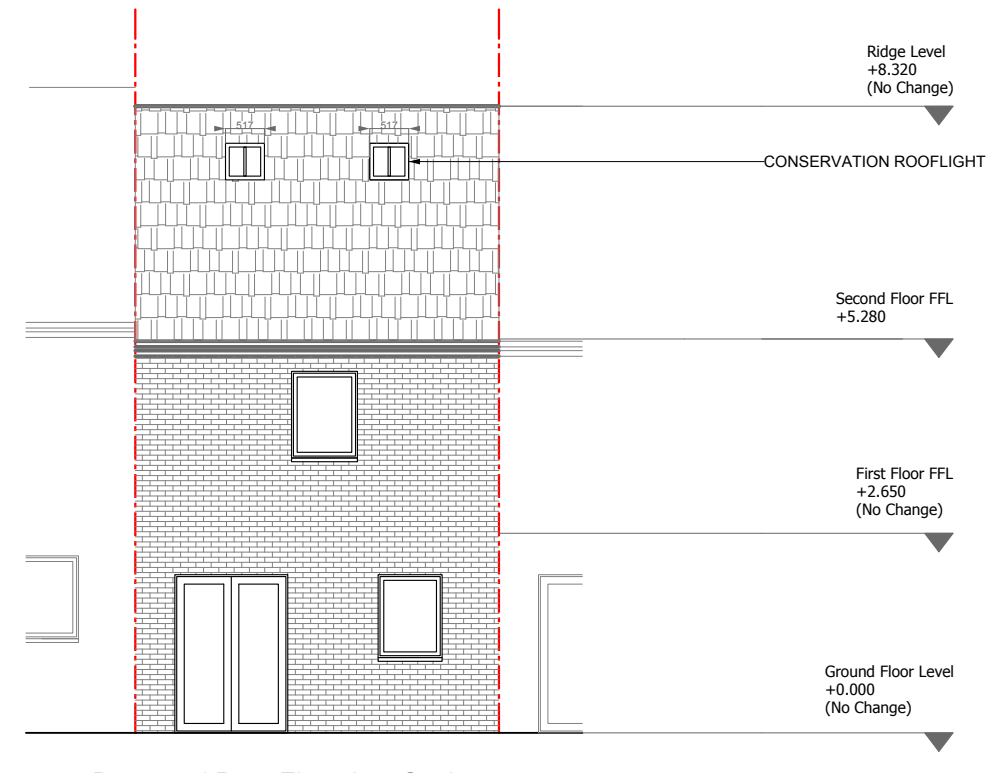
Proposed First Floor Plan, Scale 1:100



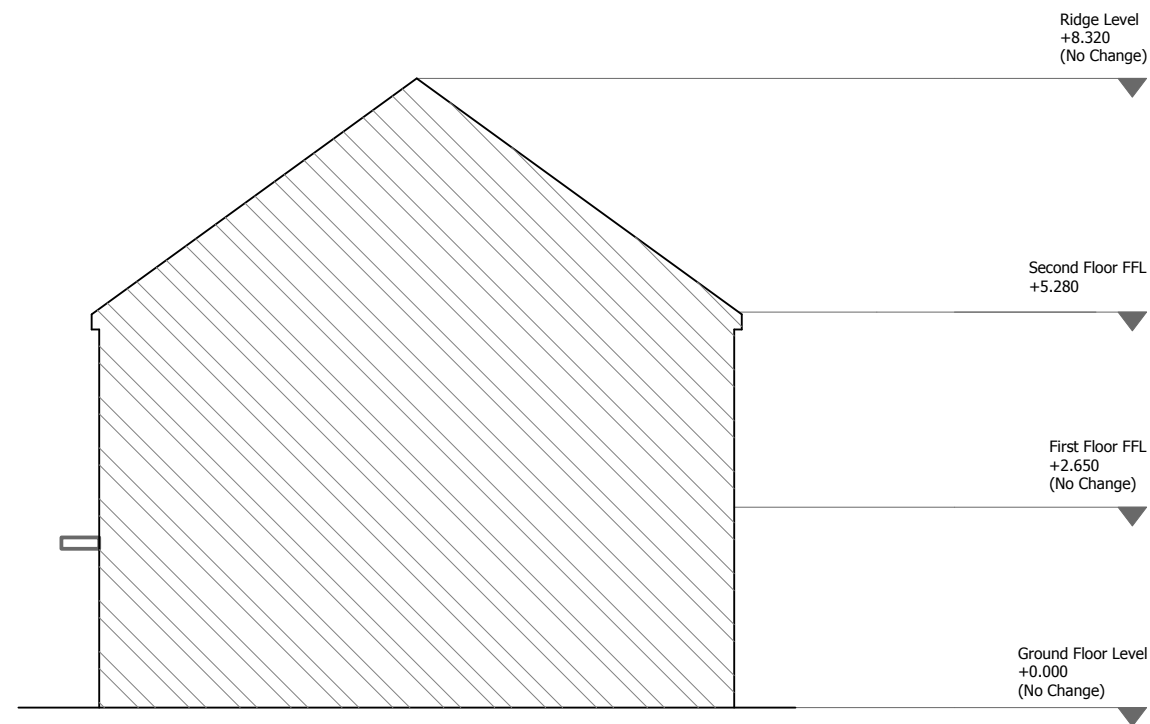
Proposed Roof Plan, Scale 1:100



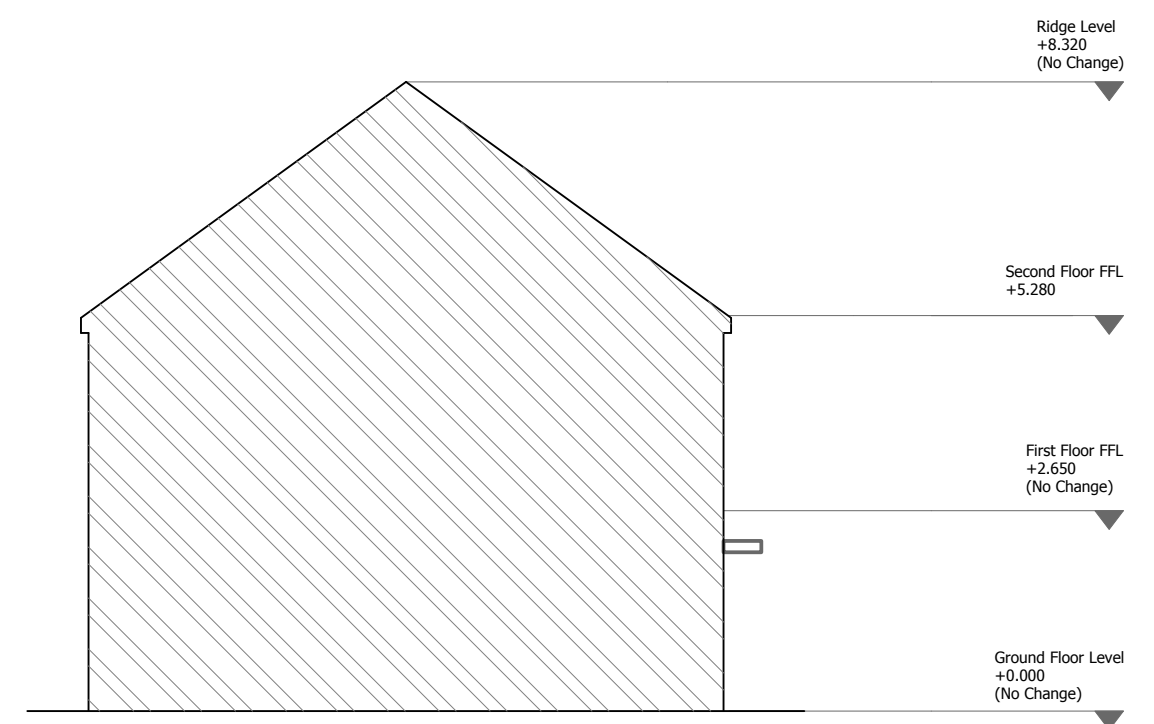
Proposed Front Elevation, Scale 1:100



Proposed Rear Elevation, Scale 1:100



Proposed Side Elevation (from N.12), Scale 1:100



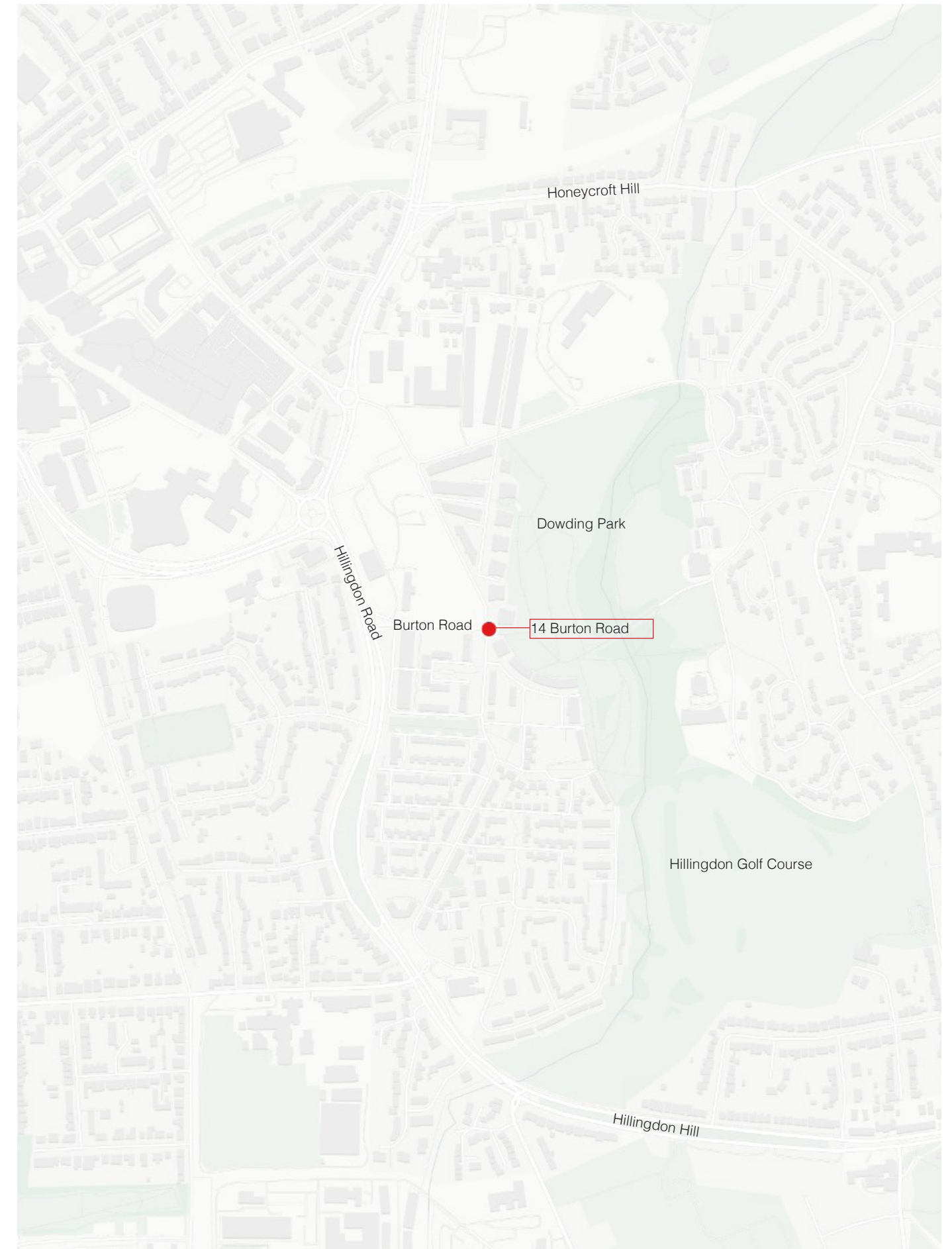
Proposed Side Elevation (from N.16), Scale 1:100

5. Access

5.1 Access

5.1.1 The proposal does not alter the existing means of access to the dwelling or to the public highway. Pedestrian and vehicular access arrangements remain as existing.

5.1.2 Internally, the new loft accommodation is reached via a new staircase rising from the existing first-floor landing, designed to comply with the relevant requirements of the Building Regulations, including Part B (fire safety) and Part K (protection from falling).



Location Map, scale 1:10 000 on A3

6. Consultation

6.1 Pre-application advice

6.1.1 TKR Global requested pre-application advice from the London Borough of Hillingdon and received a written response from case officer Nicola Taplin on 25 March 2026 under reference 77124/PRC/2026/9. The advice related to a scheme that, at that stage, included a full-width rear dormer.

6.1.2 The Council's principal comments and the applicant's response are summarised below. The scheme now submitted has been amended to address the advice in full.

Principle of development

LBH *The site lies within the built-up area and the principle of converting the roof space to habitable use is acceptable, subject to compliance with the policies of the development plan.*

TKR The applicant welcomes the Council's confirmation that the principle of a loft conversion is acceptable. The application is brought forward on that basis.

Design – rear dormer

LBH *The previously proposed rear dormer, extending across the full width of the property in a staggered form, did not address the concerns of the appeal Inspector under APP/R5510/D/24/3348899, failed to comply with Policy DMHD 1, would be prominent in rear public views and would result in an incongruous addition to the street scene. It could not be supported.*

TKR This advice has been accepted in full. The rear dormer has been omitted from the scheme in its entirety. The application now relies solely on conservation rooflights, with no alteration to the roof form, ridge height or eaves. The objection that led to the previous refusal and dismissed appeal is therefore wholly removed.

Design – roofline and group value

LBH *The harm was compounded by the fact that the terrace group has an undisturbed and unaltered roofline; a dormer would undermine the group value of the properties and introduce an alien feature into the street scene.*

TKR The revised scheme expressly preserves the undisturbed roofline of the terrace. With no dormer and no change to the ridge or eaves, the group value and architectural integrity of the terrace are retained intact. The proposal introduces no feature that interrupts the roof plane when viewed from either the front or the rear.

Amenity

LBH *The proposed roof works would not result in harm to the living conditions of neighbouring occupiers in terms of outlook, privacy, daylight or sunlight, and the separation distance to the rear exceeds 21 metres.*

TKR The applicant notes the Council's positive conclusion on amenity. As the current scheme is more restrained than that assessed at pre-application stage, no amenity harm arises.

Amenity space, highways and CIL

LBH *The proposal would not result in the loss of garden space, would have no impact on highways or parking, and would not attract CIL.*

TKR These conclusions are unchanged by the revised scheme and are reflected in Section 4 of this Statement.

6.2 Neighbour engagement

6.2.1 The applicant remains willing to engage with neighbouring occupiers during the determination period. Given that the proposal retains the existing roof form and introduces only flush conservation rooflights, no material neighbour concerns are anticipated.

7. Conclusion

7.1 Summary

7.1.1 The proposal provides much-needed additional habitable accommodation within the existing roof volume of the dwelling, improving the usability of the family home without any external enlargement of the building.

7.1.2 The scheme has been prepared as a direct and considered response to the Council's pre-application advice and to the reasoning of the appeal Inspector. By omitting the rear dormer and retaining the existing ridge, eaves and roof form, the proposal removes the sole objection that previously arose and preserves the simple, harmonious and unbroken roofline that defines the terrace group.

7.1.3 Lit entirely by flush conservation rooflights, the development is subordinate to the host dwelling, has no adverse impact on the character and appearance of the area, and accords with Policies BE1, DMHB 11, DMHD 1 and DMHB 18 of the Hillingdon Local Plan, Policies D3, D4 and D6 of the London Plan (2021), and paragraph 135 of the NPPF (2024).

7.1.4 The proposal represents a sustainable and well-considered form of development that responds positively to the planning history of the site. It is respectfully submitted that planning permission should be granted.

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