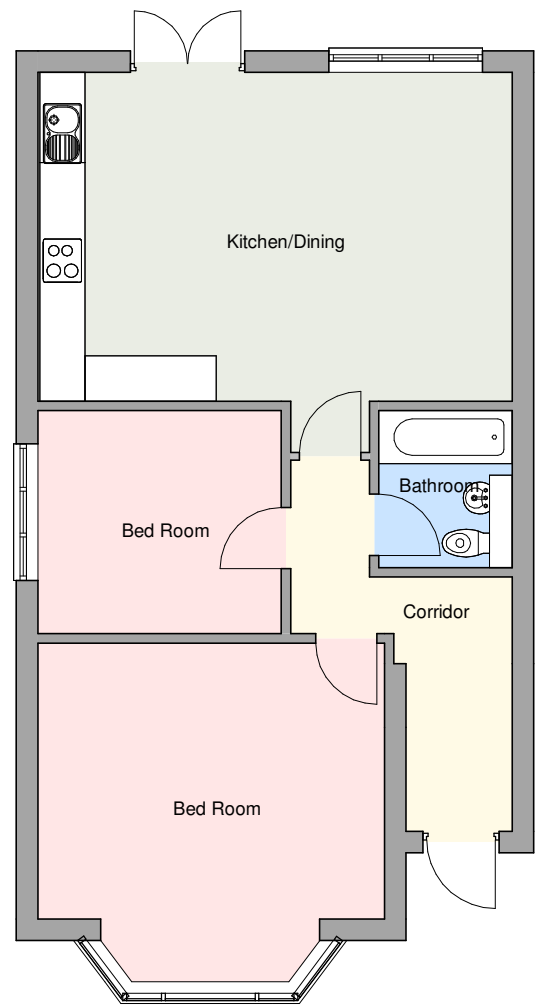
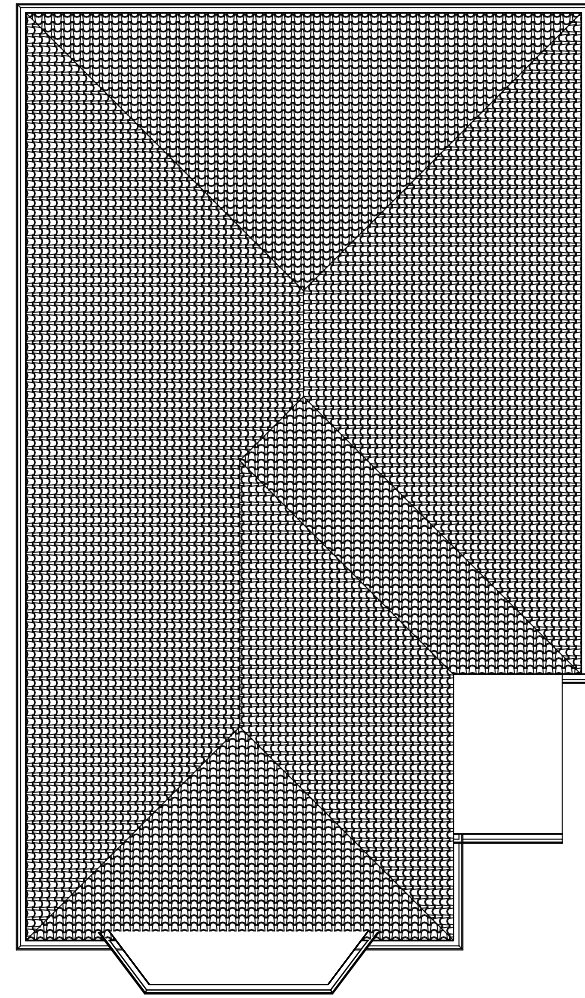
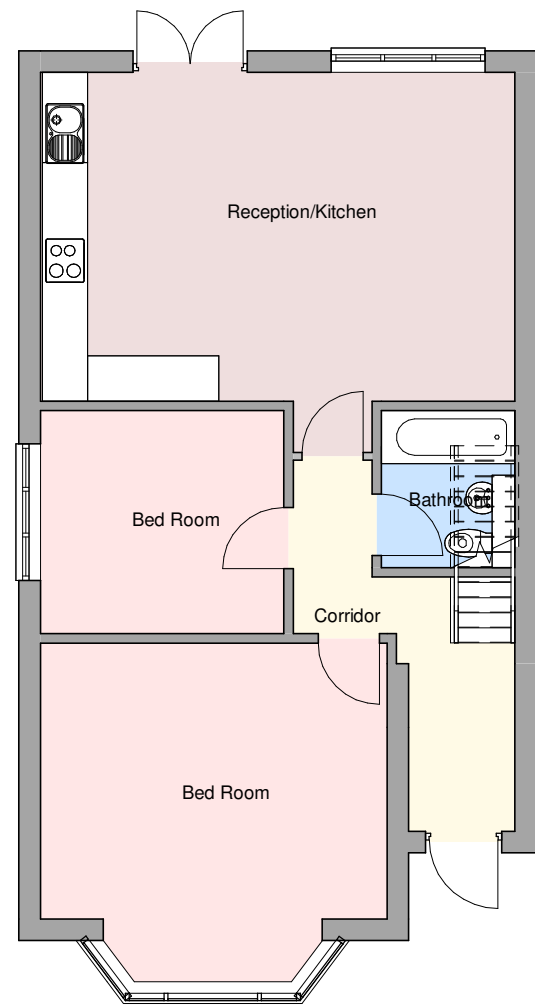




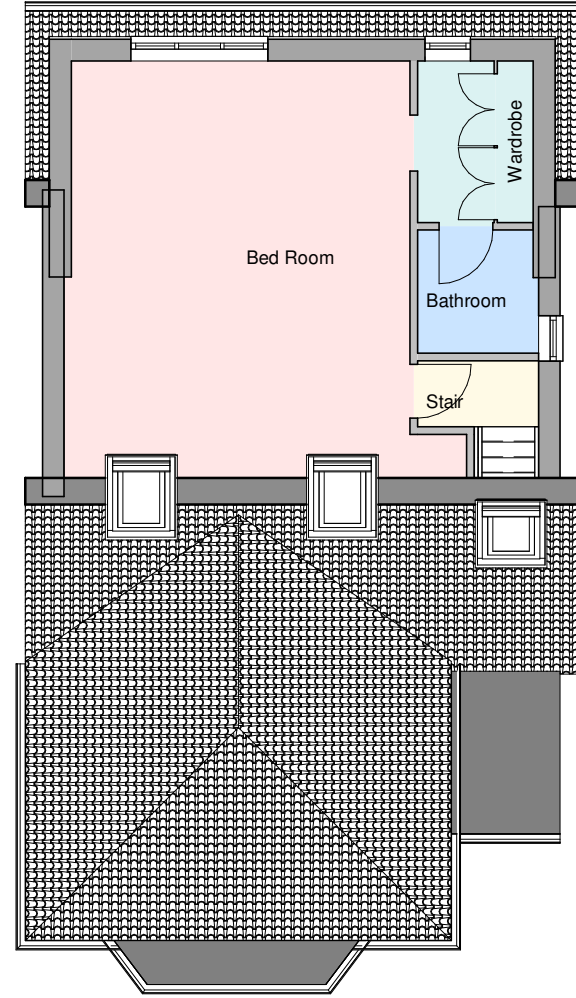
1 Ground Floor (Existing)
2302-A-200 1 : 100



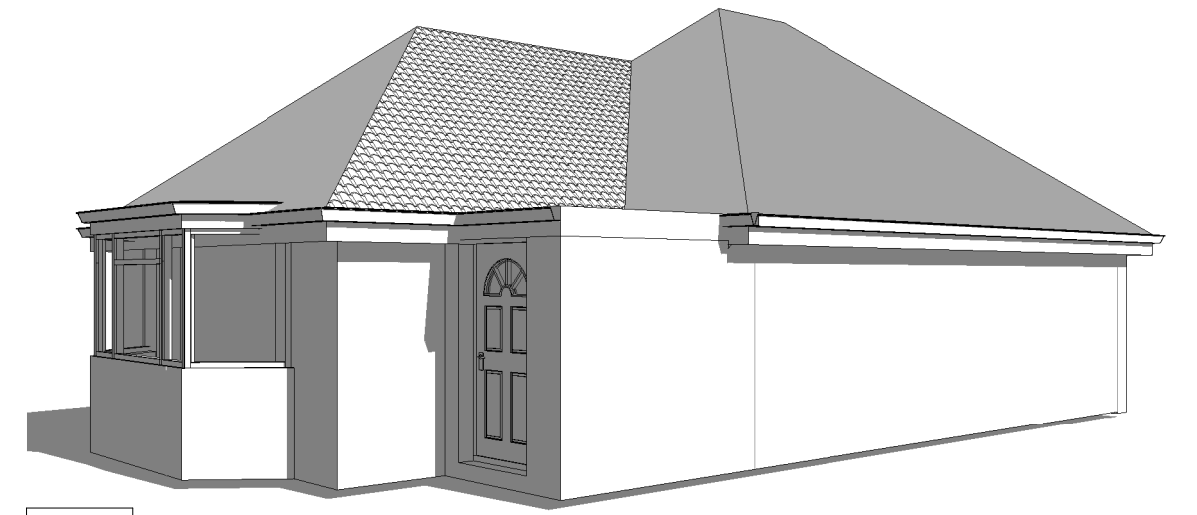
2 First Floor (Existing)
2302-A-200 1 : 100



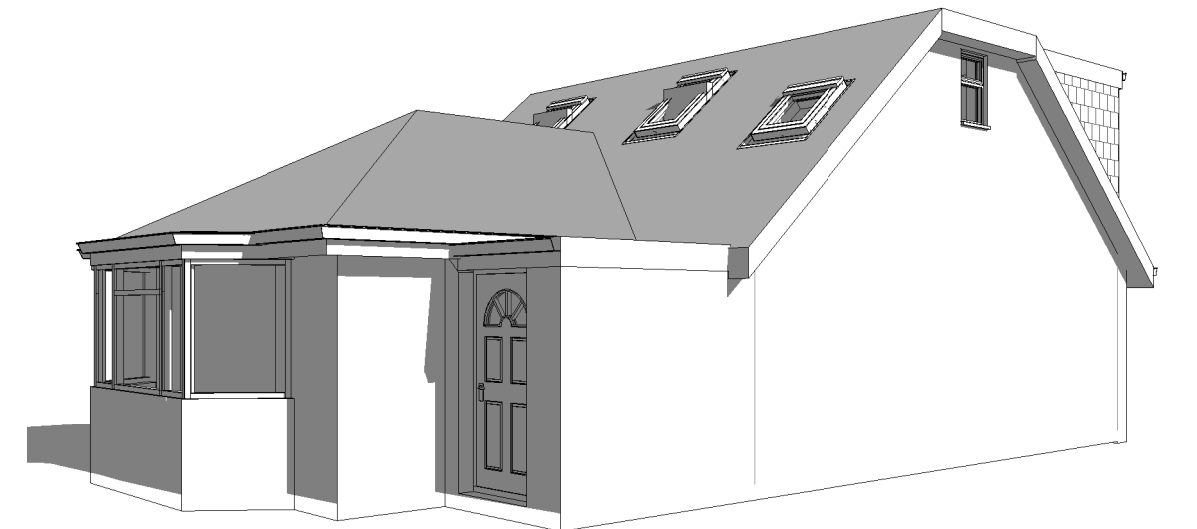
7 Ground Floor (Proposed)
2302-A-200 1 : 100



8 First Floor (Proposed)
2302-A-200 1 : 100



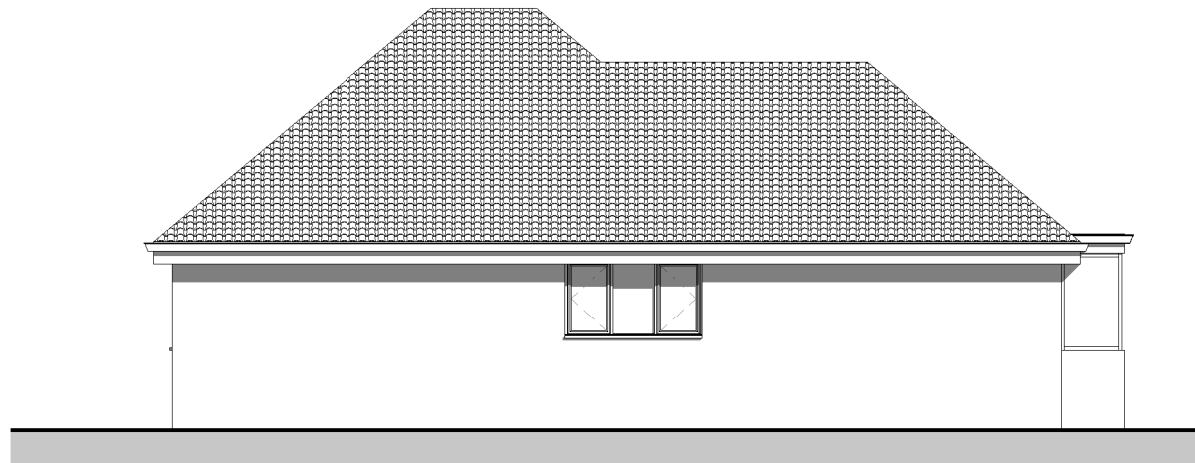
13 Existing View
2302-A-200



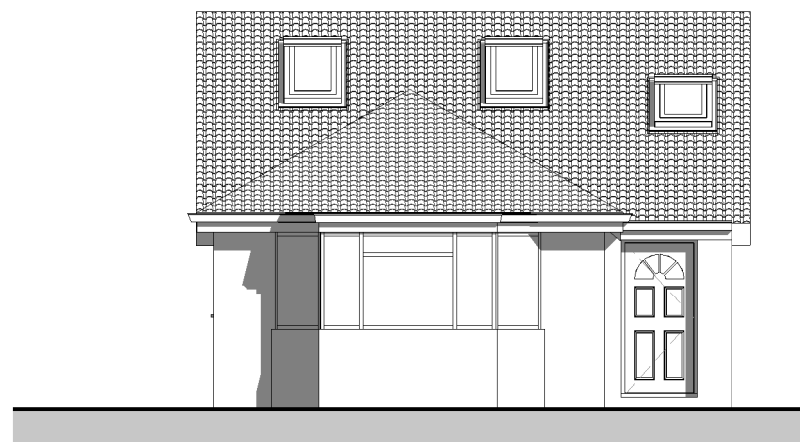
14 Proposed View
2302-A-200



3 Front Elevation (Existing)
2302-A-200 1 : 100



4 Side Elevation 01 (Existing)
2302-A-200 1 : 100



9 Front Elevation (Proposed)
2302-A-200 1 : 100

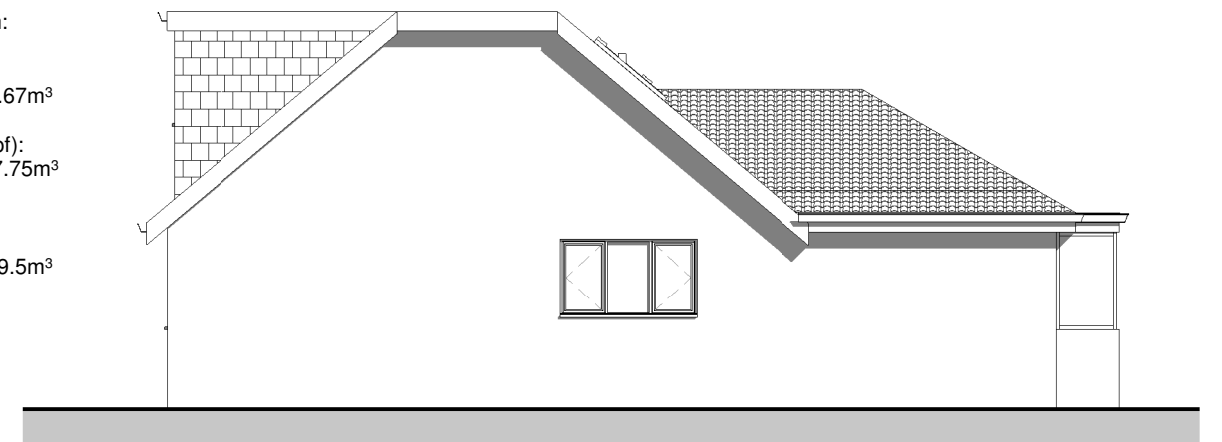
Roof volume calculation:

Rear Dormer:
 $6.69 \times 2.95 \times 2.5/2 = 24.67\text{m}^3$

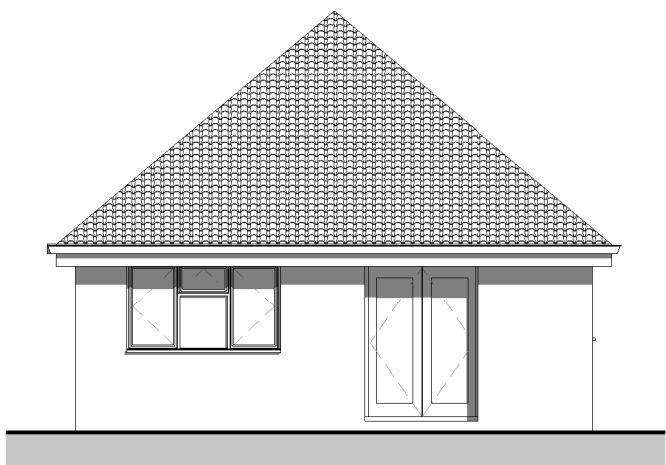
Hip to Gable (sloped roof):
 $2.76 \times 6.13 \times 2.75 / 6 = 7.75\text{m}^3$
 $8.53 \times 2 = 15.5\text{m}^3$

Hip to Gable (flat roof):
 $6.69 \times 2.12 \times 2.75/2 = 19.5\text{m}^3$

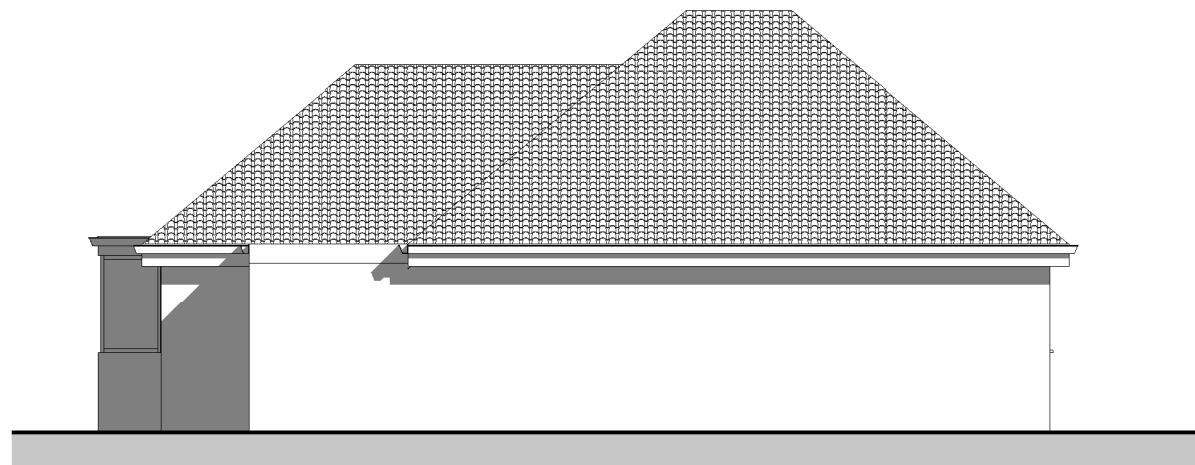
Total: 59.67m^3



10 Side Elevation 01 (Proposed)
2302-A-200 1 : 100



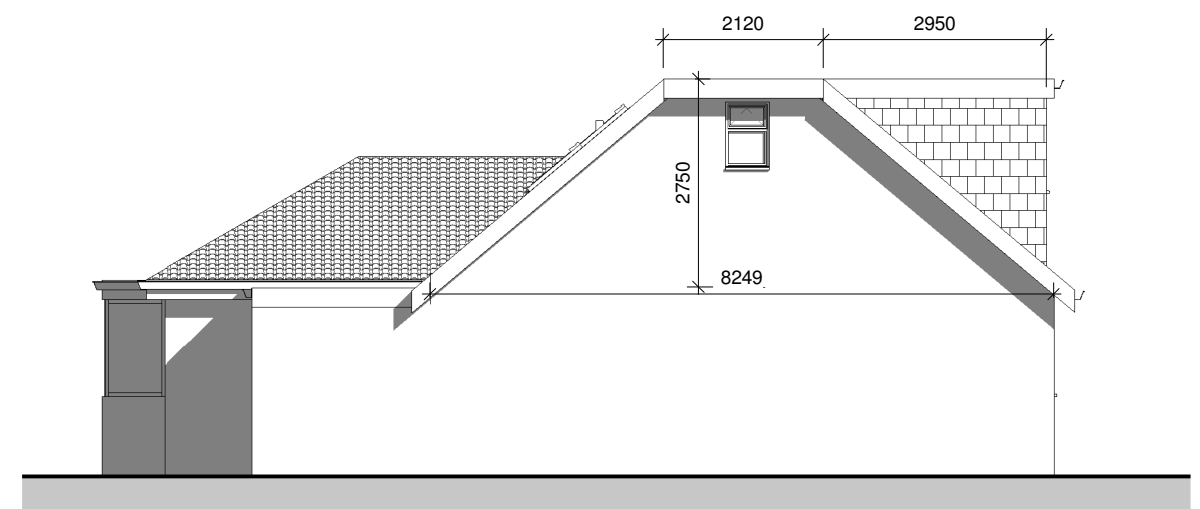
5 Rear Elevation (Existing)
2302-A-200 1 : 100



6 Side Elevation 02 (Existing)
2302-A-200 1 : 100



11 Rear Elevation (Proposed)
2302-A-200 1 : 100



12 Side Elevation 02 (Proposed)
2302-A-200 1 : 100



Rev. No.	Description	Date	
A	Layout amended to show loft only	21.02.23	

- Project: Conversion of Roof Space into Habitable Room and Rear Dormer
- Address: 18 Hazelwood Drive Pinner HA5 3TT
- Client: Ms. Pallavi Bakshi
- Title: Existing and Proposed Plans and Elevations
- Project No: 23P0511-002
- Drg No: 2302-A-200
- Rev: A
- Scale: 1 : 100
- @A2
- Date: 02/2023