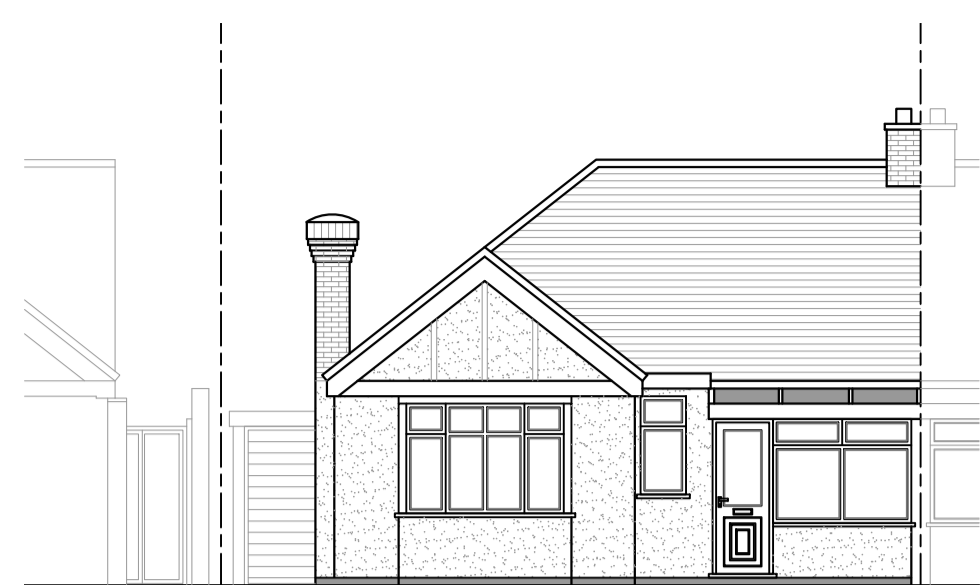
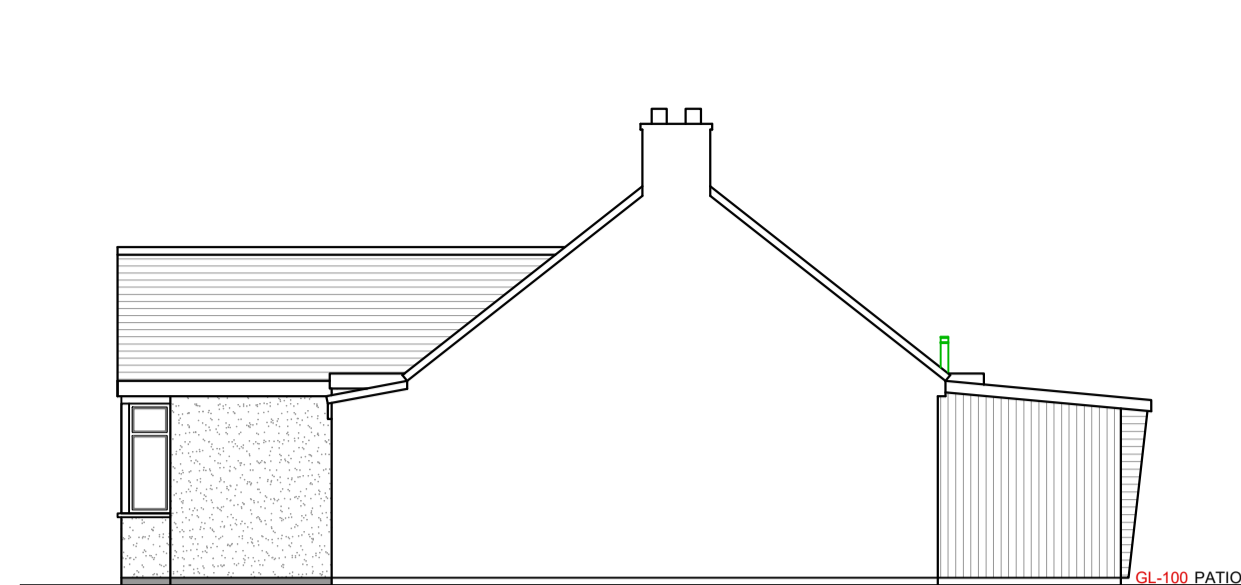


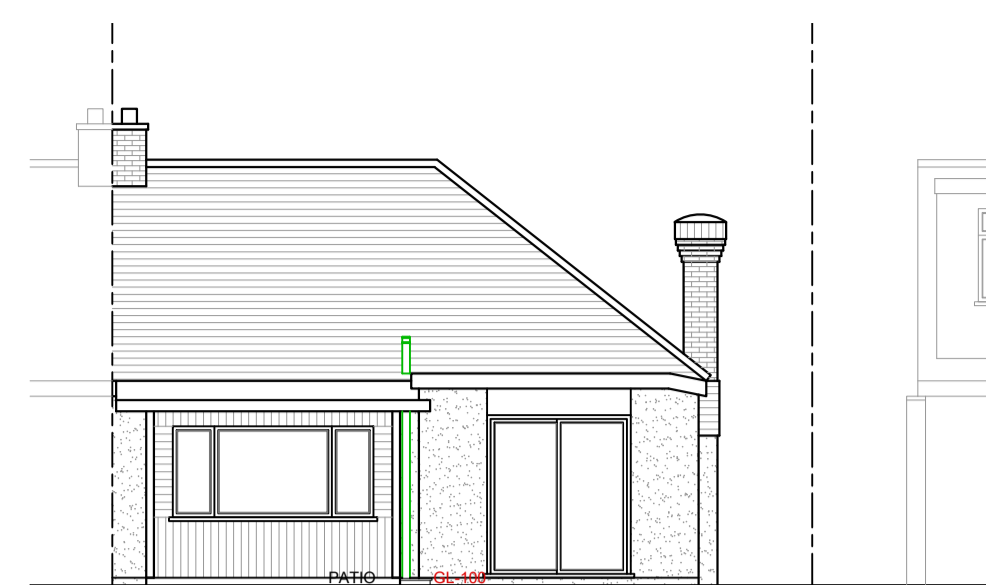
IMPORTANT NOTE
 The specification is to be read in conjunction with the plans/section details, and other associated Structural details as may be provided.
 All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary. All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in work. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person's immediately.
 The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions.
 The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.



EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION



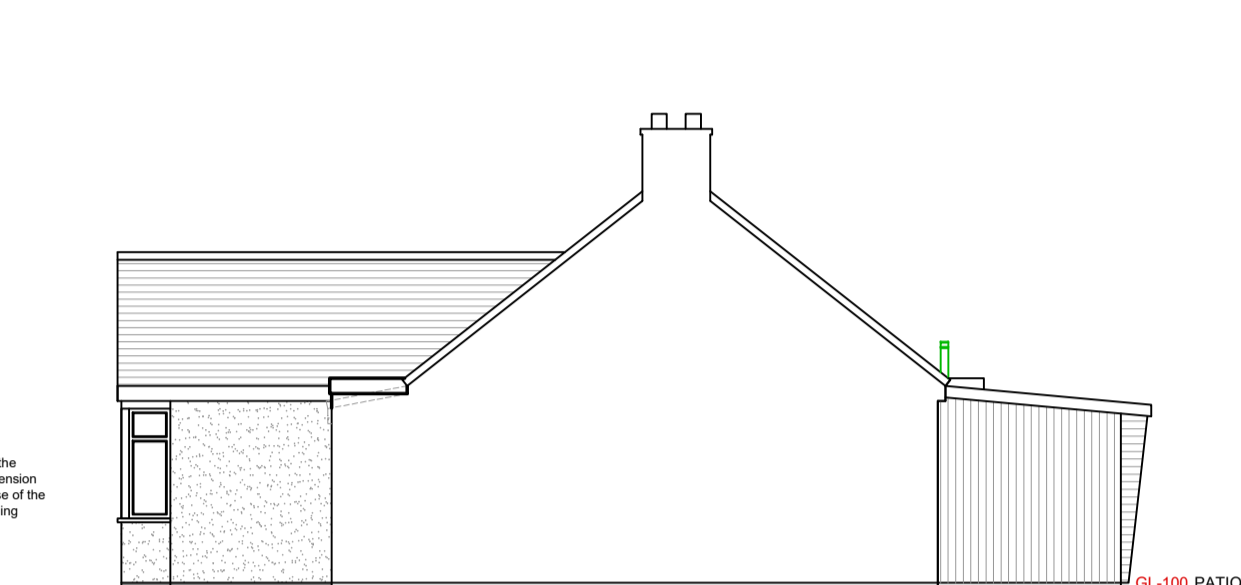
EXISTING REAR ELEVATION



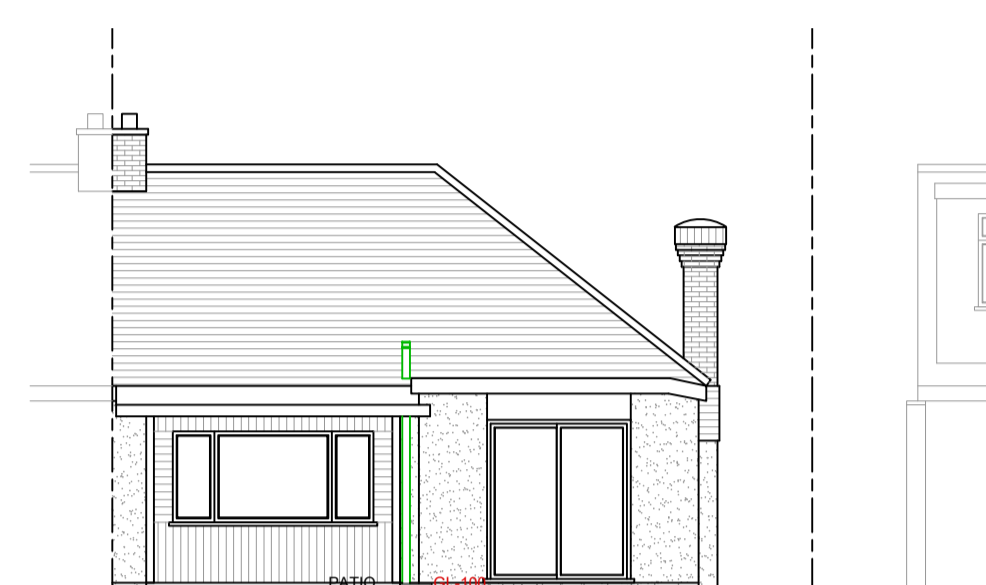
EXISTING SIDE ELEVATION



PROPOSED FRONT ELEVATION



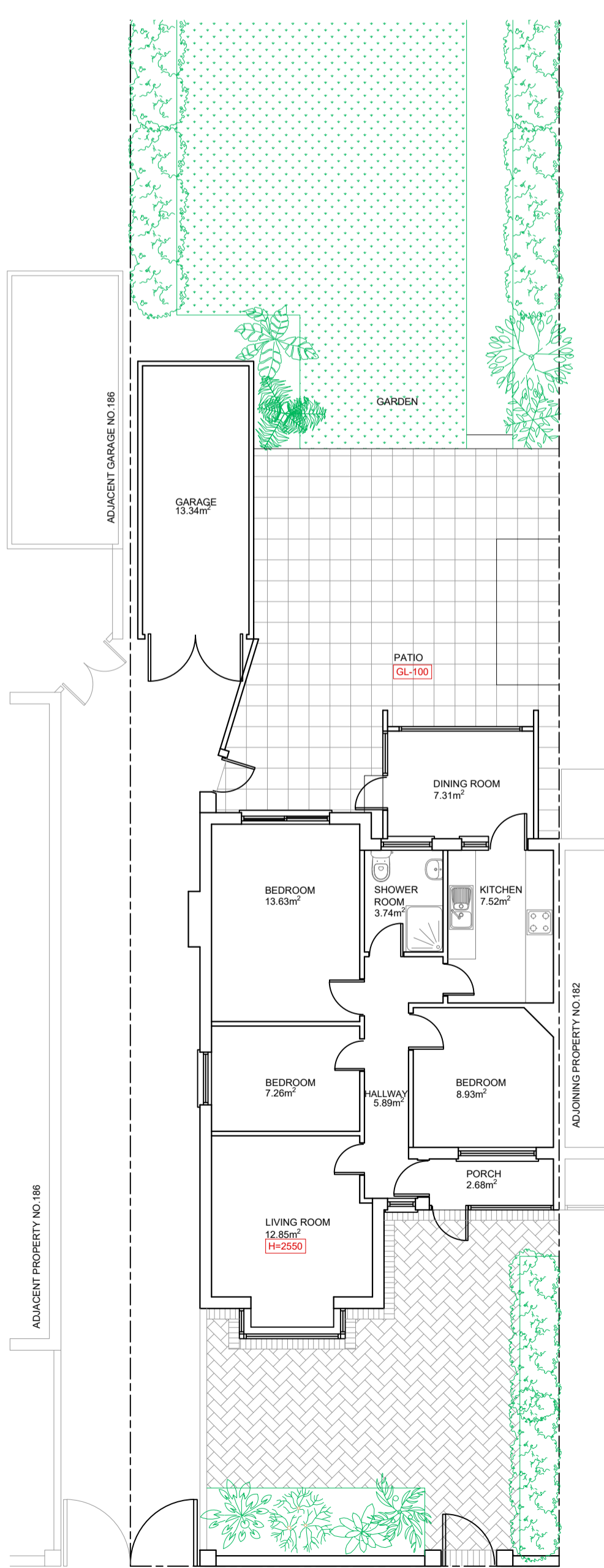
PROPOSED SIDE ELEVATION



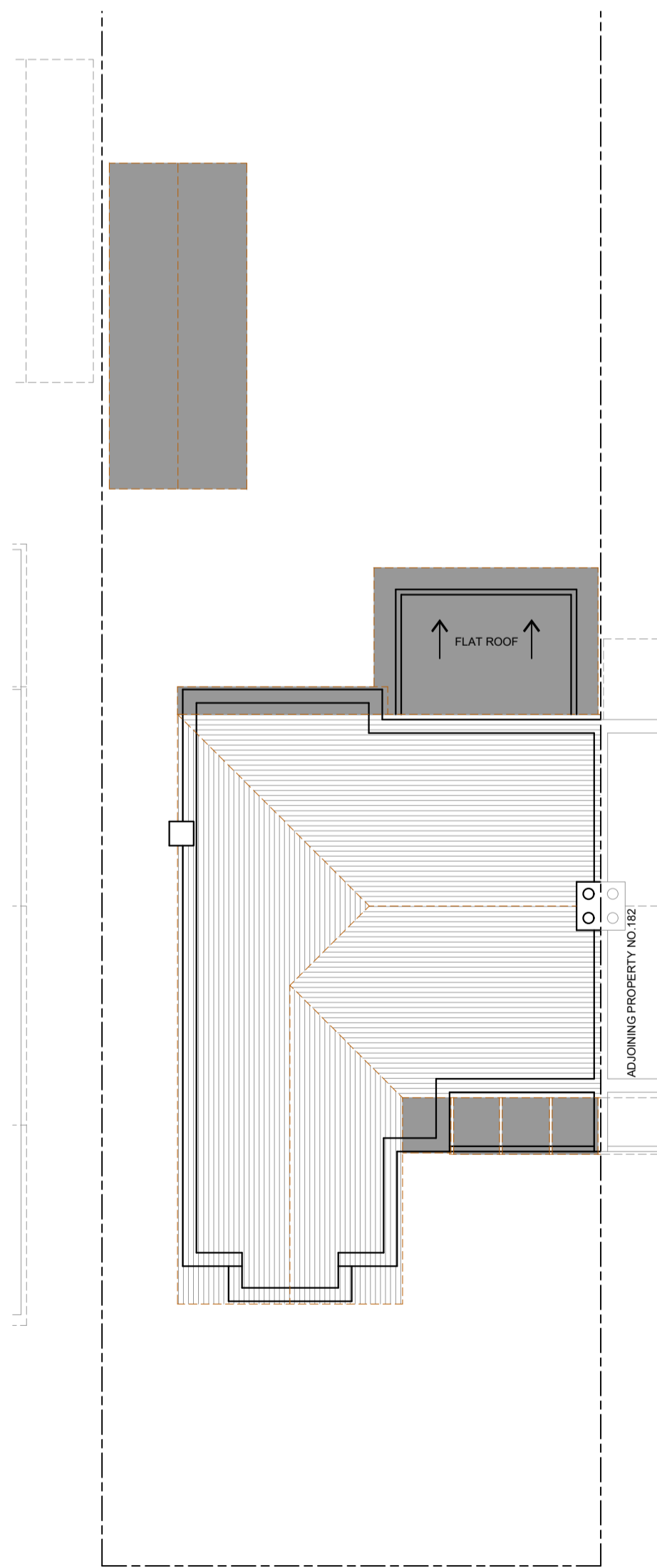
PROPOSED REAR ELEVATION (RETAINED)



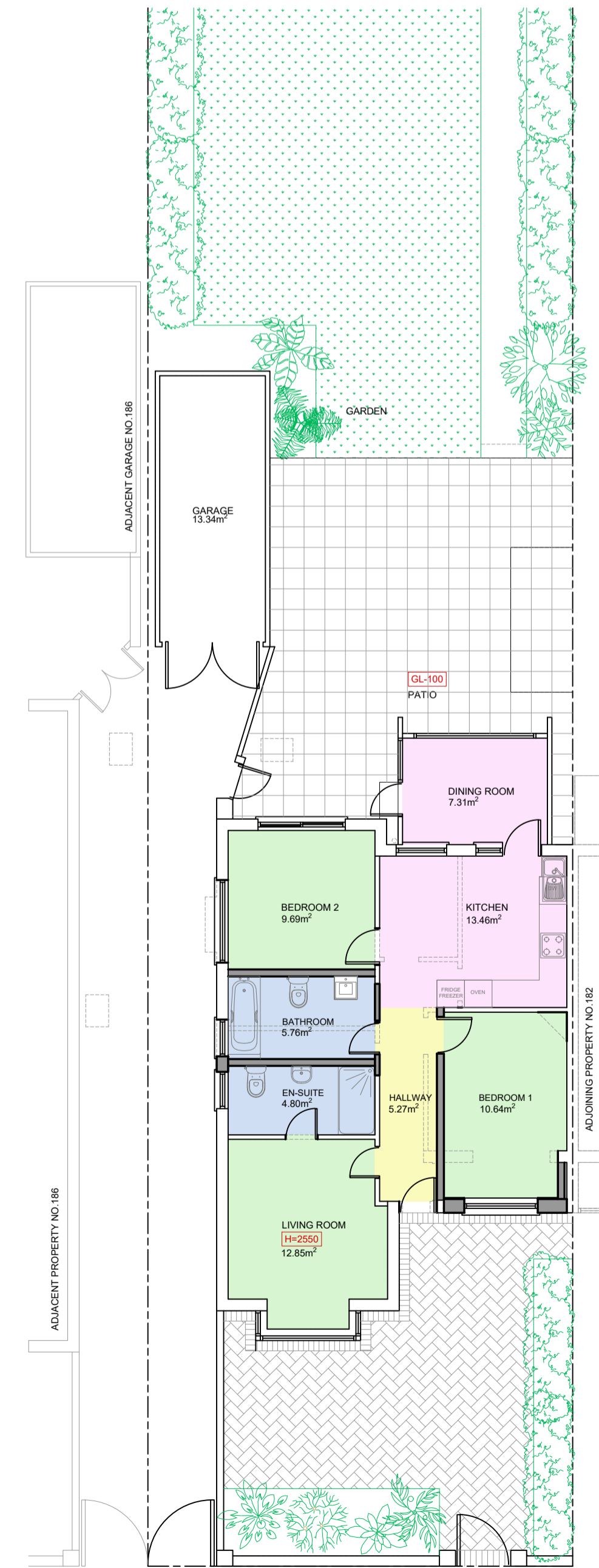
PROPOSED SIDE ELEVATION



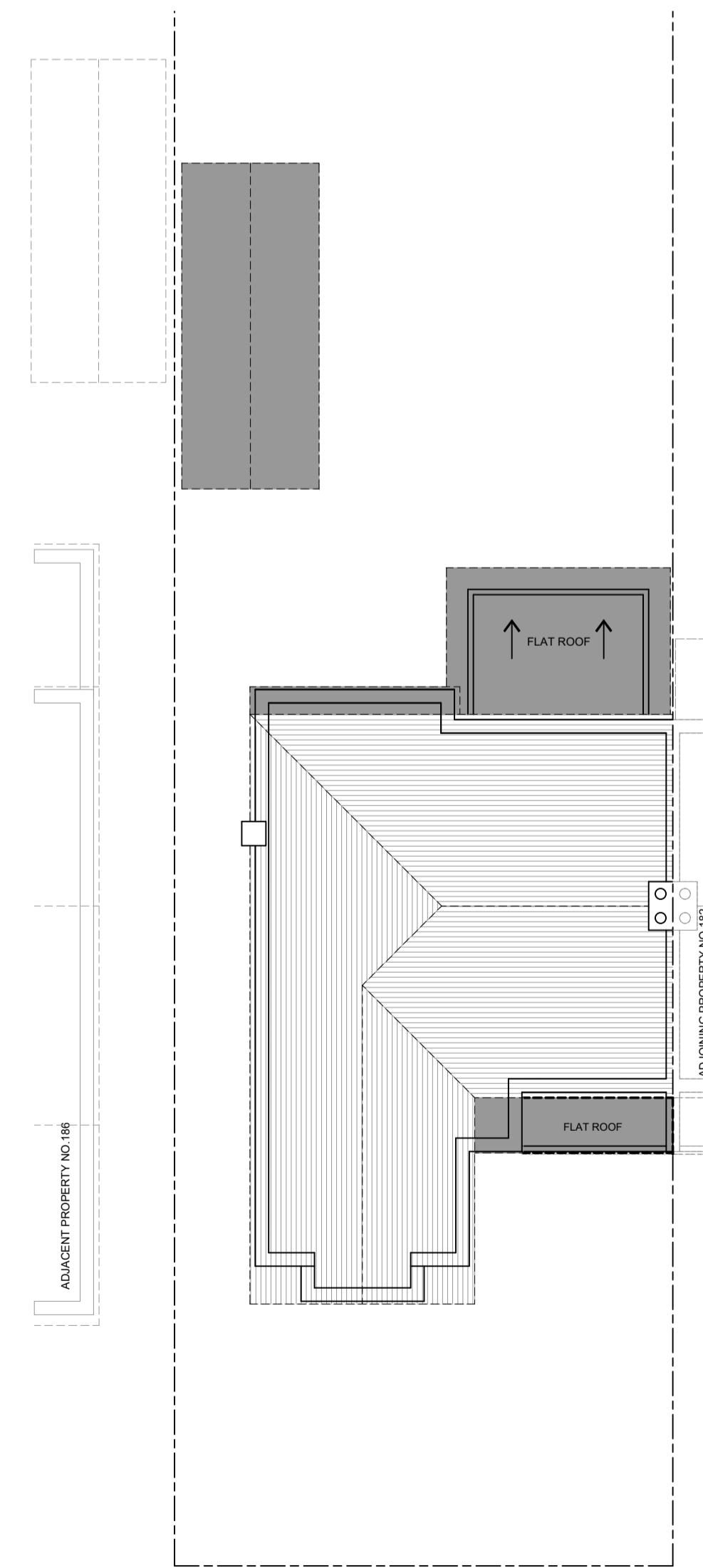
EXISTING GROUND FLOOR PLAN



EXISTING ROOF PLAN



PROPOSED GROUND FLOOR PLAN



PROPOSED ROOF PLAN



SITE PLAN (1:1250)

Rev.	Date	Comment
1-00		

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Client: SHITAL VARSANI
 Site Address: 184 HERLWYN AVENUE
 RUISLIP
 HA4 6HJ
 Project Title: SINGLE STOREY PART FRONT EXTENSION AND INTERNAL ALTERATIONS

Status: PLANNING
 Drawn: JS
 Checked: KB
 Date: 01.05.2026
 Scale: 1:100 @ A1

Job No: HERA184
 Drawing No: PL-A-01
 Rev: