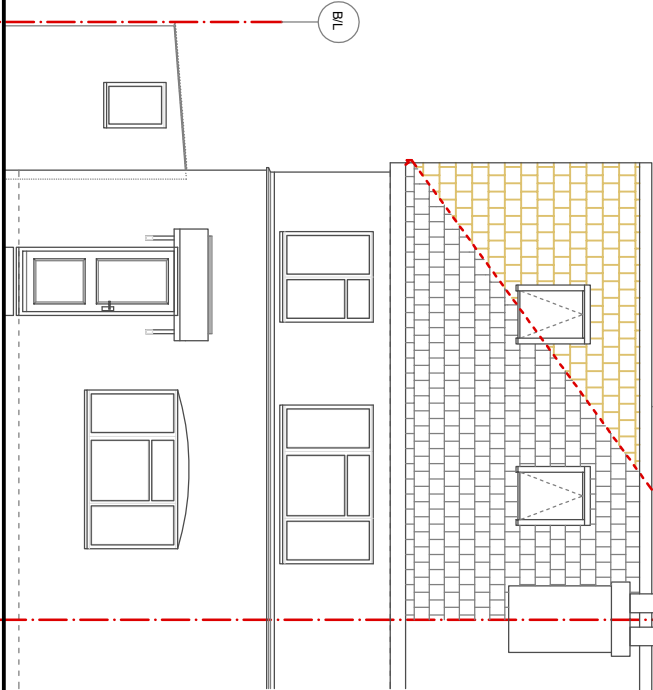
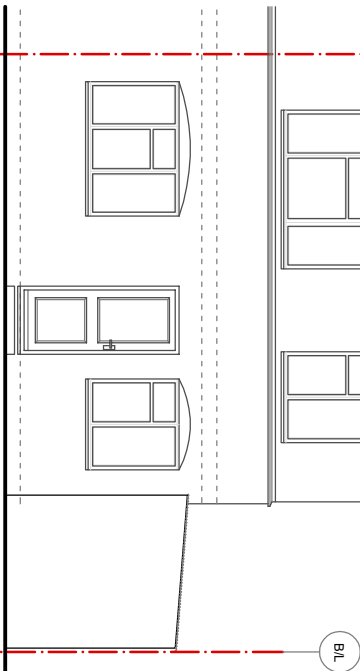
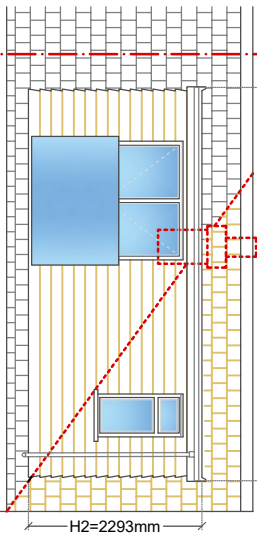


All the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing house.
Ensure front roof lights shall not protrude more than 150mm from the front roof slope



FRONT ELEVATION AS PROPOSED
02 ALMOND CLOSE, HAYES - UB3 1UQ

All the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing house.
Front of dormer wall to be set back to maintain a minimum of 200mm between front of dormer window and along roof plane.



REAR ELEVATION AS PROPOSED
02 ALMOND CLOSE, HAYES - UB3 1UQ

HIP TO GABLE LOFT CONVERSION VOLUME CALCULATIONS

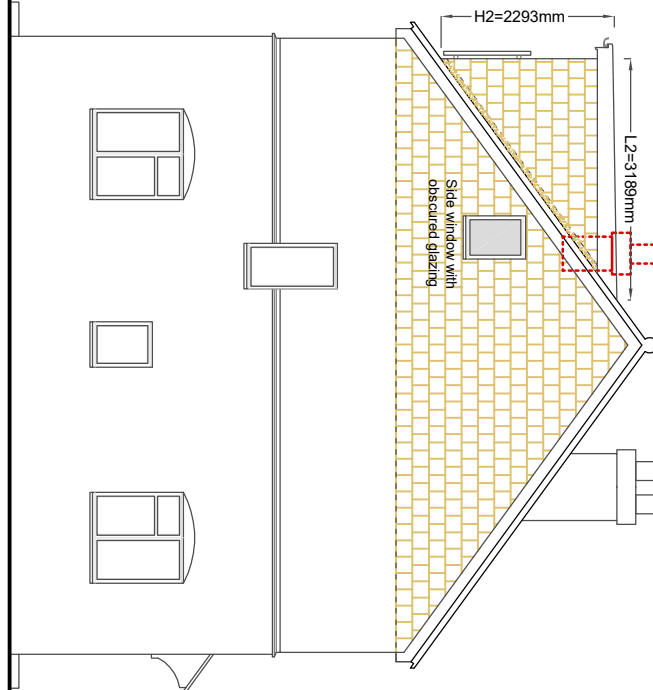
VOLUME OF HIP TO GABLE = V1
$$\{L1 \times W1 \times H1\} \div 6$$
$$4.46m \times 8.12m \times 3.25m \div 6$$
$$117.699$$
$$= 19.616m^3$$

**VOLUME OF PROPOSED
MAIN DORMER= V2**
$$\{L2 \times W2 \times H2\} \div 2$$
$$3.2m \times 5.2m \times 3m \div 2$$
$$38.272$$
$$= 19.136m^3$$

**TOTAL VOLUME OF PROPOSED
DORMER = V1+V2**
$$19.136m^3 + 19.699m^3$$
$$38.835m^3$$

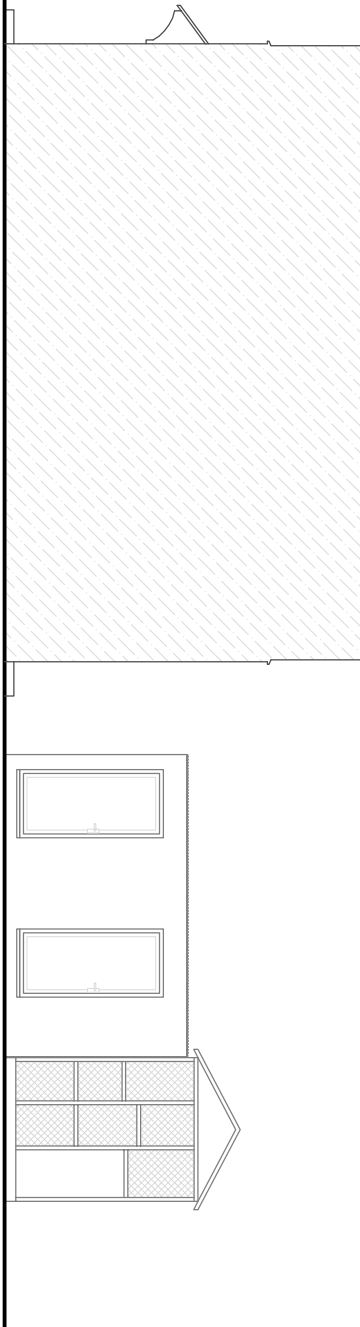
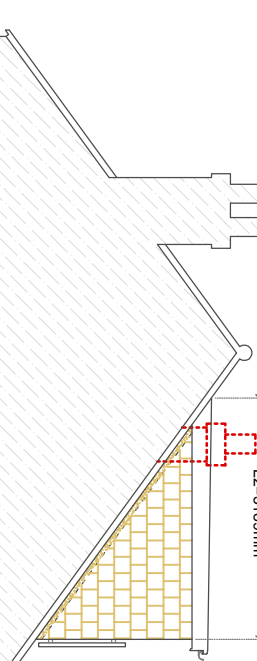
i.e: $38.835m^3 < 40.0m^3$
40.0m³ PDR a volume allowance for terraced houses

All the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing house.



SIDE ELEVATION AS PROPOSED
02 ALMOND CLOSE, HAYES - UB3 1UQ

All the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing house.
Front of dormer wall to be set back to maintain a minimum of 200mm between front of dormer window and along roof plane.



FLANK SIDE ELEVATION AS PROPOSED
02 ALMOND CLOSE, HAYES - UB3 1UQ

NOTE:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

DIMENSIONS
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

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DO NOT SCALE FROM THIS DRAWING. DIMENSIONS STATED ARE FOR GUIDANCE ONLY. CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS. MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

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THE USE OF PERMITTED DEVELOPMENT RIGHT IN LOFT IS SUBJECT TO INFORMATION PROVIDED BY OWNER. REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND ANY EXISTING EXTENSIONS.
IT IS THE RESPONSIBILITY OF OWNER TO DEMOLISH ANY EXTENSIONS WHICH WERE NOT PART OF ORIGINAL HOUSE BEFORE THE WORK ON PROPOSED LOFT COMMENCES.

NOTES:
This drawing is for statutory planning purposes only. All measurements to be checked on site.

The owner has a duty under the Party Wall Act 1996 to serve a Party structure Notice to any adjoining owner if building work on or near an existing Party Wall involves:

- Support of Beam
- Insertion of DPC through wall
- Raising a wall or cutting off projections
- Demolition and rebuilding
- Underpinning
- Insertion of lead flashing
- Excavation within 3m of an existing structure where foundations or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is required to be in place prior to construction work on site.

P L A N N I N G I S S U E

- NOTES:
- THIS DRAWING IS COPYRIGHT AND SHOULD NOT BE REPRODUCED WITHOUT THE WRITTEN APPROVAL OF ARCADIA DESIGN CONSULTANTS
 - ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE ARCADIA DESIGN CONSULTANTS
 - NO DIMENSIONS TO BE SCALED
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS, SERVICE ENGINEERS AND STRUCTURAL / CIVIL ENGINEERS DRAWINGS AND SPECIFICATIONS.
 - ALL RIGHTS RESERVED.

| A | 17/7/23 | Updated to planning officer's comment | PROJECT |
|---------|-------------|---------------------------------------|---|
| REV. | DATE | DESCRIPTION | LOFT CONVERSION WITH REAR DORMER AT 1 ALMOND CLOSE, HAYES - UB3 1UQ |
| DWG NO: | CLP/A632/05 | SCALE | DRAWING TITLE |
| DATE | JUN. 2023 | DRAWN BY | PROPOSED ELEVATIONS |
| | | MQ | |



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