

All the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing house.
Ensure front roof lights shall not protrude more than 150mm from the front roof slope

HIP TO GABLE LOFT CONVERSION VOLUME CALCULATIONS

$$\text{VOLUME OF PROPOSED HIP TO GABLE} = V_1$$

$$4.46m \times 8.12m \times 3.25m \div 6$$

$$117.699 \div 6$$

$$= 19.616m^3$$

$$\text{VOLUME OF PROPOSED MAIN DORMER} = V_2$$

$$\frac{\{L_2 \times W_2 \times H_2\} \div 2}{3.2m \times 5.2m \times 2.3m \div 2}$$

$$38.272 \div 2$$

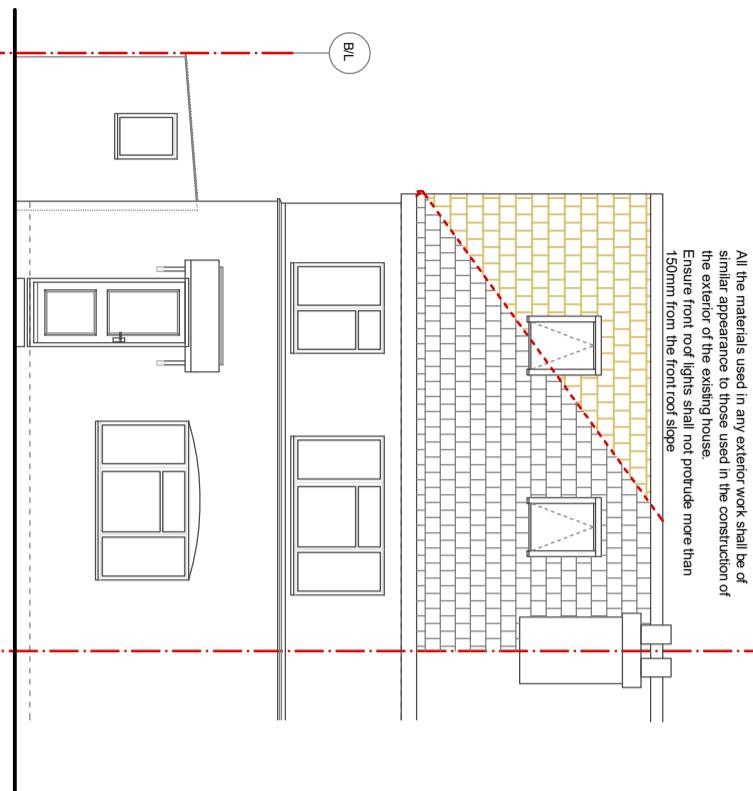
$$= 19.136m^3$$

$$\text{TOTAL VOLUME OF PROPOSED DORMER} = V_1 + V_2$$

$$19.136m^3 + 19.699m^3$$

$$38.835m^3 < 40.0m^3$$

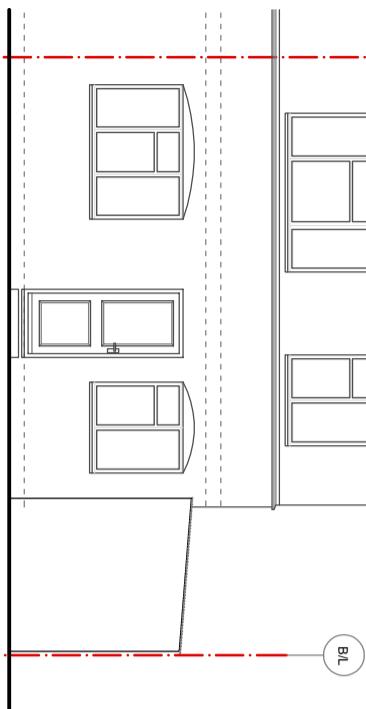
i.e. 38.835m³ < 40.0m³
40.0m³ PDR a volume allowance for terraced houses



FRONT ELEVATION AS PROPOSED

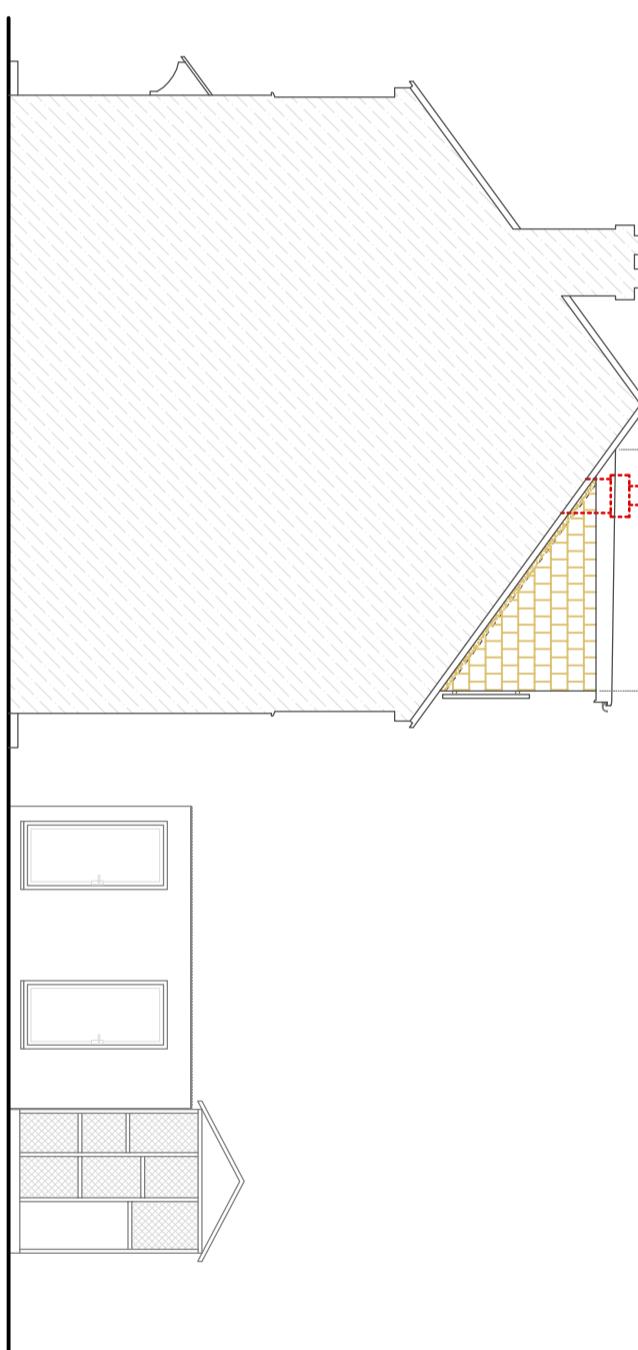
02 ALMOND CLOSE, HAYES - UB3 1JQ

All the materials used in any exterior work shall be of similar appearance to those used in the construction of the exterior of the existing house.
Front of dormer wall to be set back to maintain a minimum of 200mm between front of dormer window and along roof plane.
W2=5200mm
H2=2293mm



REAR ELEVATION AS PROPOSED

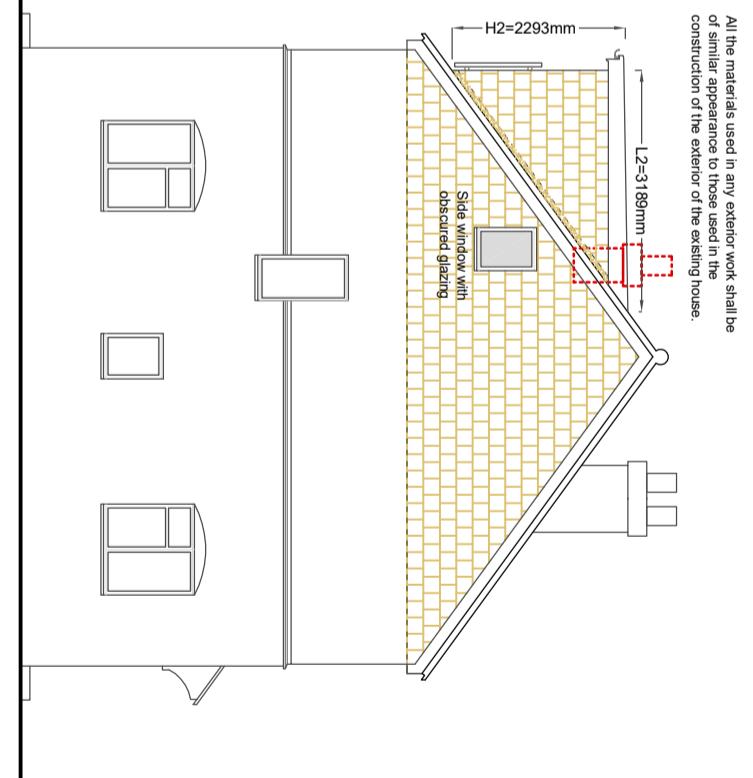
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SIDE ELEVATION AS PROPOSED

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SIDE ELEVATION AS PROPOSED

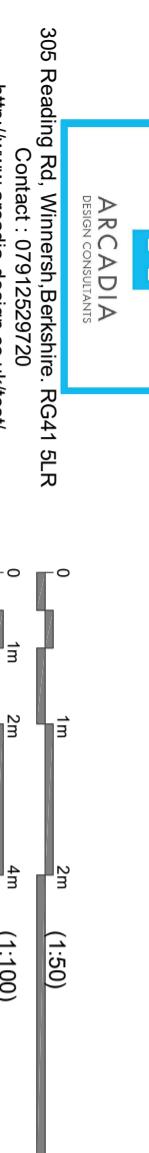
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NOTES:
This drawing is for statutory planning purposes only. All measurements to be checked on site.
The owner has a duty under the Party Wall Act 1996 to serve a Party Structure Notice to any adjoining owner if building work on or near an existing Party Wall involves:
Demolition and rebuilding
Underpinning
Insertion of lead flashing
Excavation within 3m of an existing structure where new foundations or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.
It is the responsibility of owner to demolish any extensions which were not part of original house before the work on proposed loft commences.

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Demolition and rebuilding
Underpinning
Insertion of lead flashing
Excavation within 3m of an existing structure where new foundations or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.
A Party Wall Agreement is required to be in place prior to construction work on site.

PLANNING ISSUE



PROJECT
LOFT CONVERSION WITH REAR DORMER AT
1 ALMOND CLOSE, HAYES - UB3 1JQ

