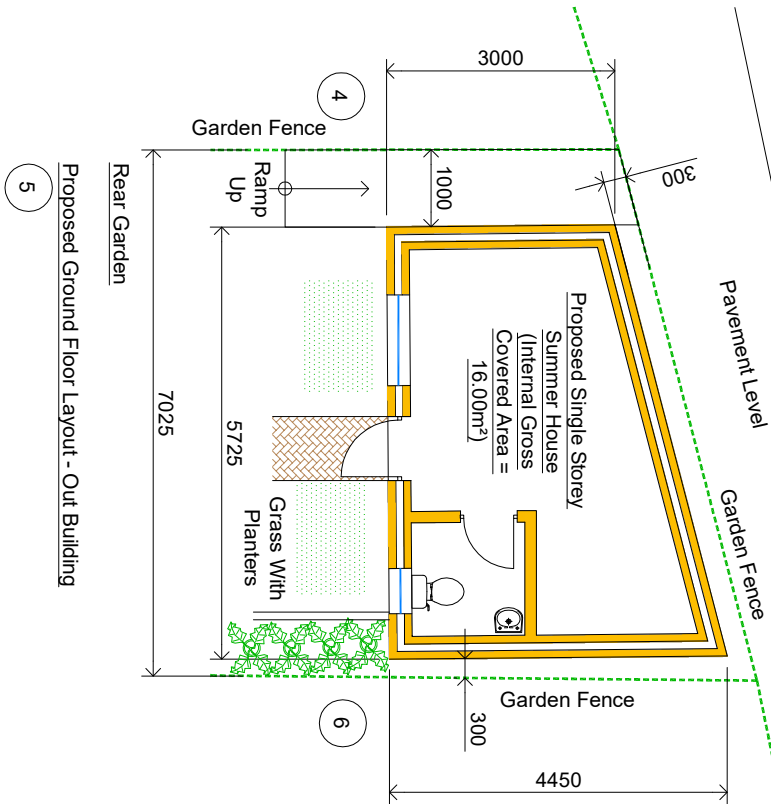
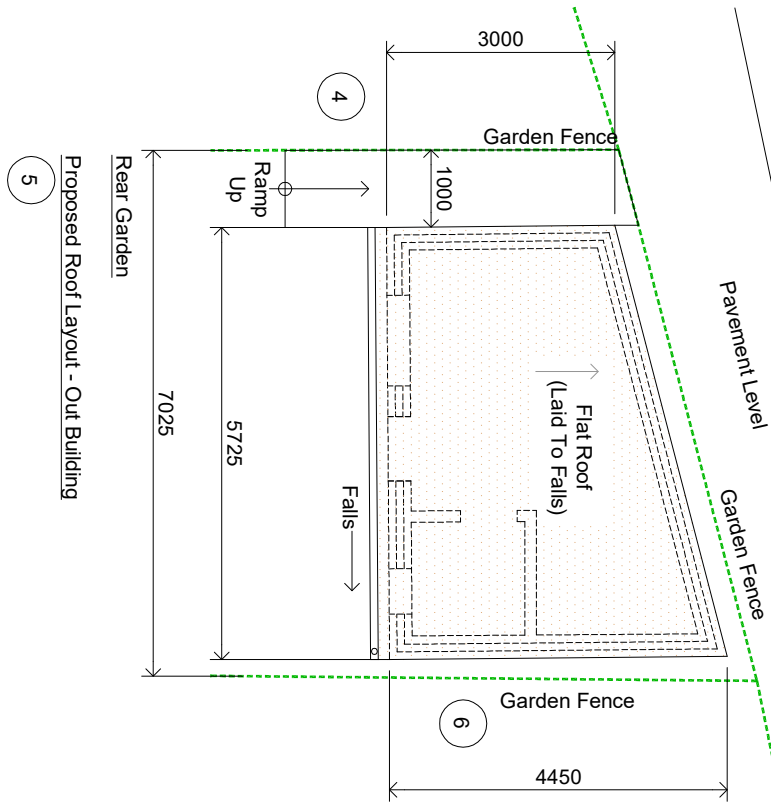


ROYAL LANE



- All New Facing Brickwork / Render. Flat Roof To Match Existing Dwelling
- Final Position Of New Doors & Windows To Clients Requirements
- Rain Water Guttering Not To Encroach Neighbours Property
- Out Building: Not to be used for habitable purposes
- All Setting Out Of Works By Principal Builder & We undertake No Responsibilities Of Any Matters Arising From The Above (Land Scapping To Suit Natural Ground Profile)
- Final Position & Size Of Proposed Washroom To Clients Requirements With Obscure Glass Window Pane

ROYAL LANE



NOTES
CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS
DO NOT SCALE FROM THIS DRAWING
RS AT&A COPYRIGHT

- Notes:
- Do not scale this drawing
 - All dimensions to be verified on site and any discrepancy reported to the client
 - This drawing to be read in conjunction with all relevant drawings

owners to serve party wall act notice on owners of adjacent property and obtain written agreement, prior to commencement of any works

client/builder to obtain all planning permission approvals from the relevant authority, commencement of building works prior to the planning & building control approvals is to client/builders own risk

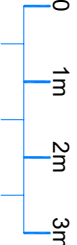
roof lights:
final size and position of roof lights to clients requirements

all rainwater guttering, down pipes locations to be confirmed by architect & not to encroach neighbors property

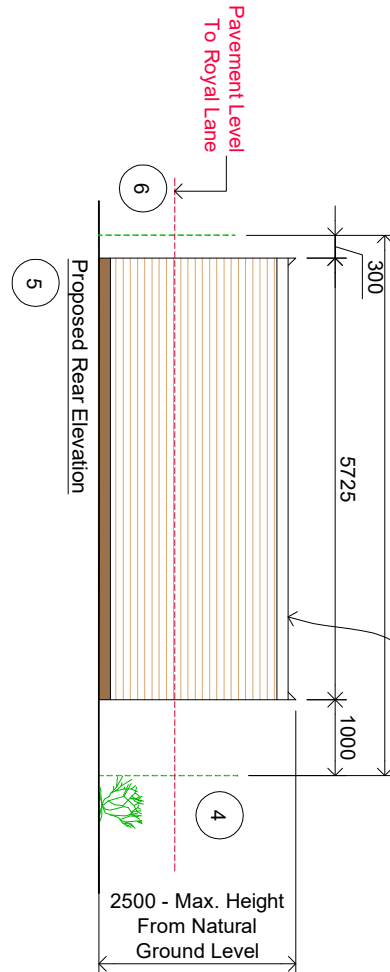
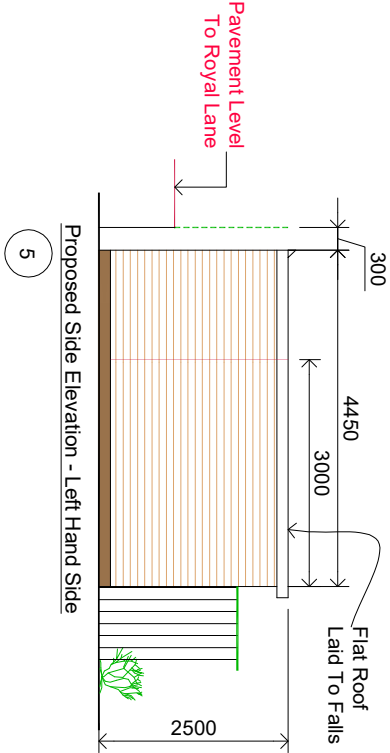
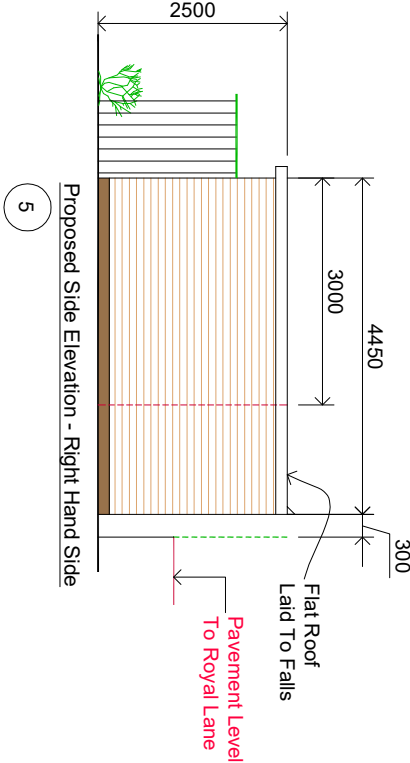
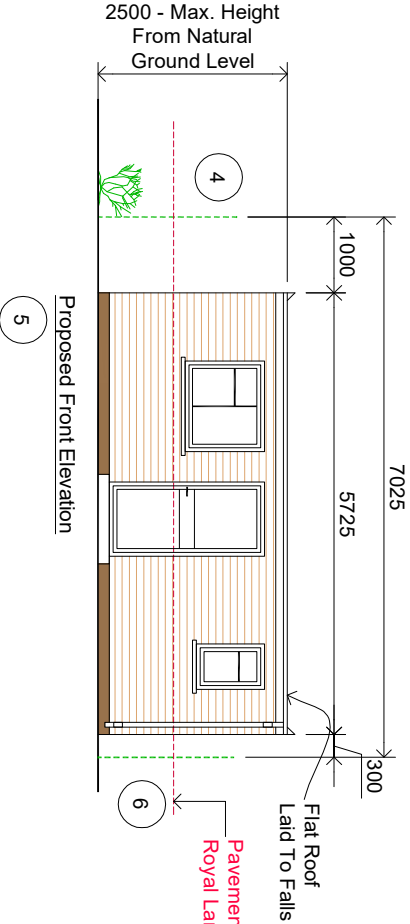
client/builder to liaise with local water board for any new works on or within the public sewer or drain runs and obtain approval from the local authority prior to commencement of any works

Proposed Out Building

REV	AMENDMENT	DATE	CHNO
A	Planning Issue	30.11.23	RS



Scale Bar



Planning Issue

SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1	RS	RS	30.11.23
1:100 @ A3			
DRAWING NUMBER			REVISION
2023 - 159 - 01			A