

PRP

# HAYES TOWN CENTRE ESTATE

DESIGN CODE



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Architecture  
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Masterplanning  
Landscape  
Development Consultancy  
Research



## PRP Job Reference

BA9794

## Issuing Date / Office

Jan 2026 / London

## Revision Number / Date Checked

Rev A / 20.01.2026

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## CONTENTS

### 1. INTRODUCTION

1.1	PURPOSE OF THE CODE	5
1.2	THE VISION (FOR THE REGENERATION OF THE ESTATE)	6
1.3	THE SITE (AND ITS CONTEXT)	7
1.4	STRUCTURE OF THE CODE	8
1.5	INSTRUCTIONS FOR USE	8

### 2. OVERARCHING DESIGN CODE PRINCIPLES

2.1	INTRODUCTION	10
2.2	BUILT FORM	11
2.2.1	Massing and Townscape	11
2.2.2	Building Height and Setbacks	14
2.2.3	Roofscapes	14
2.2.4	Balconies	15
2.2.5	Active Frontages	15
2.2.6	Elevations	16
2.2.7	Entrances	17
2.2.8	Windows	17
2.2.9	Privacy	18
2.2.10	Materiality and Appearance	18
2.2.11	Residential Quality	19
2.2.12	Housing Types	20

### 2.3 ACCESSIBILITY 21

### 2.4 MOVEMENT AND CONNECTIVITY 22

2.4.1	Parking	22
2.4.2	Access	23

### 2.5 LANDSCAPE, AMENITY AND STREETScape 24

2.5.3	Public Realm and Open Spaces	24
2.5.4	Streetscapes	24
2.5.5	Private Amenity and Defensible Space	25
2.5.6	Communal Courtyards	26
2.5.7	Play, Fitness and Recreation	27
2.5.8	Materials and Street Furniture	28
2.5.9	Trees and Planting	29
2.5.10	Biodiversity and Ecology	30
2.5.11	Urban Greening Factor	30
2.5.12	SuDS, Water Management and Irrigation	31
2.5.13	Safe and Secure Environment	31

### 2.6 SUSTAINABILITY 32

2.6.14	Daylight, Sunlight and Overheating	32
2.6.15	Energy	32

### 2.7 HERITAGE 33

### 3. CHARACTER AREAS AND STREET TYPES

#### 3.1 CHARACTER AND APPROACH 35

#### 3.2 AUSTIN ROAD 37

#### 3.2.1 Introduction 37

#### 3.2.2 Built Form 38

#### 3.2.3 Open Space and Public Realm 40

### 3.3 CANALSIDE 42

#### 3.3.1 Introduction 42

#### 3.3.2 Built Form 43

#### 3.3.3 Open Space and Public Realm 45

### 3.4 CROWN CLOSE 46

#### 3.4.1 Introduction 46

#### 3.4.2 Built Form 47

#### 3.4.3 Open Space and Public Realm 49

### 3.5 COMMUNITY SQUARE 51

#### 3.5.1 Introduction 51

#### 3.5.2 Built Form 52

#### 3.5.3 Open Space and Public Realm 54

### 3.6 SILVERDALE ROAD 56

#### 3.6.1 Introduction 56

#### 3.6.2 Built Form 57

#### 3.6.3 Open Space and Public Realm 59

### 4. GLOSSARY OF TERMS

#### 4.1 GLOSSARY OF TERMS 62

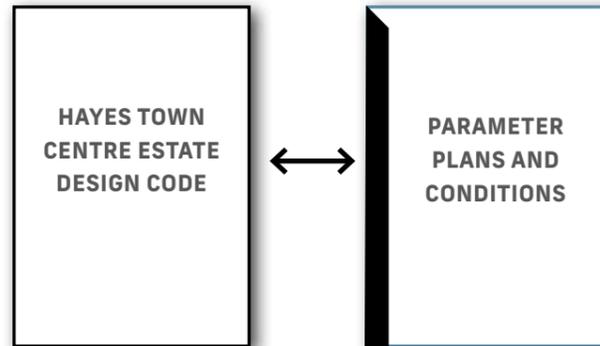
# 1. INTRODUCTION

# 1.1 PURPOSE OF THE CODE

This Design Code has been prepared pursuant to planning condition 8 attached to the 2022 hybrid planning permission (as amended) for the redevelopment of the Hayes Town Centre Estate. Condition 8 requires that:

"Prior to commencement of any works (except for demolition, ground and enabling works) for each relevant development phase, a detailed Design Code shall be submitted and approved in writing and Reserved Matters applications shall conform with the approved Design Code."

The Design Code therefore is a controlling document against which subsequent Reserved Matters Applications must demonstrate compliance. It should be read in accordance with the approved parameter plans listed under Condition 3, the Phasing Plan secured by Condition 9 and various compliance conditions set out on the decision notice including conditions 4 (Approved Documents); 5 (Maximum Quantum of Development), 6 (Housing Mix), 9 (Residential Density) 10 (Building Heights), 21 (Accessible Housing), 17 (Trees, Hedges and Shrubs).



ILLUSTRATIVE VIEW ALONG THE GRAND UNION CANAL

## 1.2 THE VISION (FOR THE REGENERATION OF THE ESTATE)

The Design Code proposes a series of mandatory coding and advisory guidance to ensure the Vision and aspirations for the Hayes Town Centre Estate are achieved in the future development of the site.

### A NEW PIECE OF TOWN

The spaces between the buildings are as important as the buildings themselves and should create a positive network of streets and spaces. The regenerated estate will create a legible new neighbourhood with streets and outdoor spaces at difference scales and a sense of place.

### CHARACTER AND IDENTITY

The regenerated estate will have a character and identity unique to Hayes. We envisage the new neighbourhood as a canalside quarter drawing inspiration from the Grand Union Canal and industrial heritage in the local area.

### A STREET BASED DESIGN

The design of streets and the first 3-5 floors of buildings are the most important elements providing the pedestrian experience critical to the success of the scheme. Proposals are developed around the design of new streets with a focus on the quality of the pedestrian experience at ground and lower floor levels.

### HIGH QUALITY NEW HOMES

New homes must be designed to meet the needs and aspirations of existing and future residents. Every dwelling will be a person's home and must be designed to the highest quality. New homes will be built to modern standards using the latest high quality construction and meet all safety standards.

### SUPPORT THE WIDER REGENERATION OF HAYES

Proposals will not only regenerate the estate itself but will make a significant contribution to the wider regeneration of Hayes, strengthening connectivity to the town centre and surrounding redevelopment. New and more diverse tenure homes will support local facilities in Hayes, including the Town Centre.

### SAFETY AND SECURITY

The regenerated estate must be designed with safety and security at its core. Proposals will be developed in liaison with the Crime Prevention Design Officer to design out opportunities for crime and anti-social behaviour.

### A SUSTAINABLE NEIGHBOURHOOD

The new neighbourhood will be designed to meet and if possible exceed targets for sustainability including Zero Carbon Homes and BREEAM. Proposals should adopt a 'fabric first' approach to low energy design, minimising reliance on costly and complex technologies.

### PLACES AND BUILDINGS THAT ARE DURABLE AND WILL IMPROVE WITH AGE.

The development should not just look good on paper or at the point of handover, but must go on looking good for many decades without excessive repair and maintenance. The best schemes can actually improve with age, as materials weather and mature, planting grows and signs of occupation add variety and character.



ILLUSTRATIVE VIEW TOWARDS COMMUNITY CENTRE FROM CROWN CLOSE



ILLUSTRATIVE VIEW ALONG AUSTIN ROAD

# 1.3 THE SITE (AND ITS CONTEXT)

The Site is 2.5 hectares in area and is bound by Pump Lane to the north, Crown Close to the west, and the canal tow path to the south. The site is currently occupied by the Austin Road Estate, also known by residents as the Hayes Town Centre Estate.

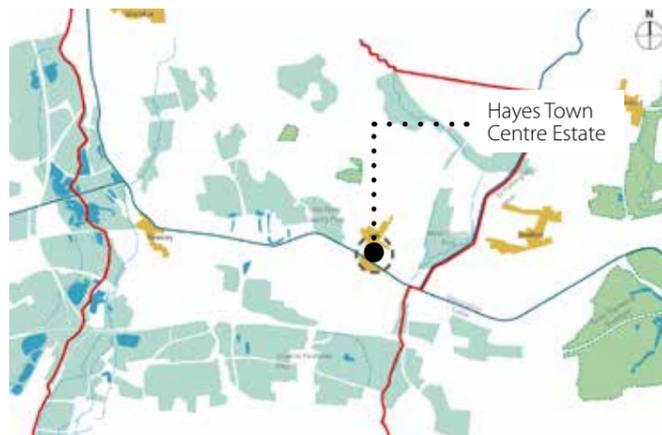
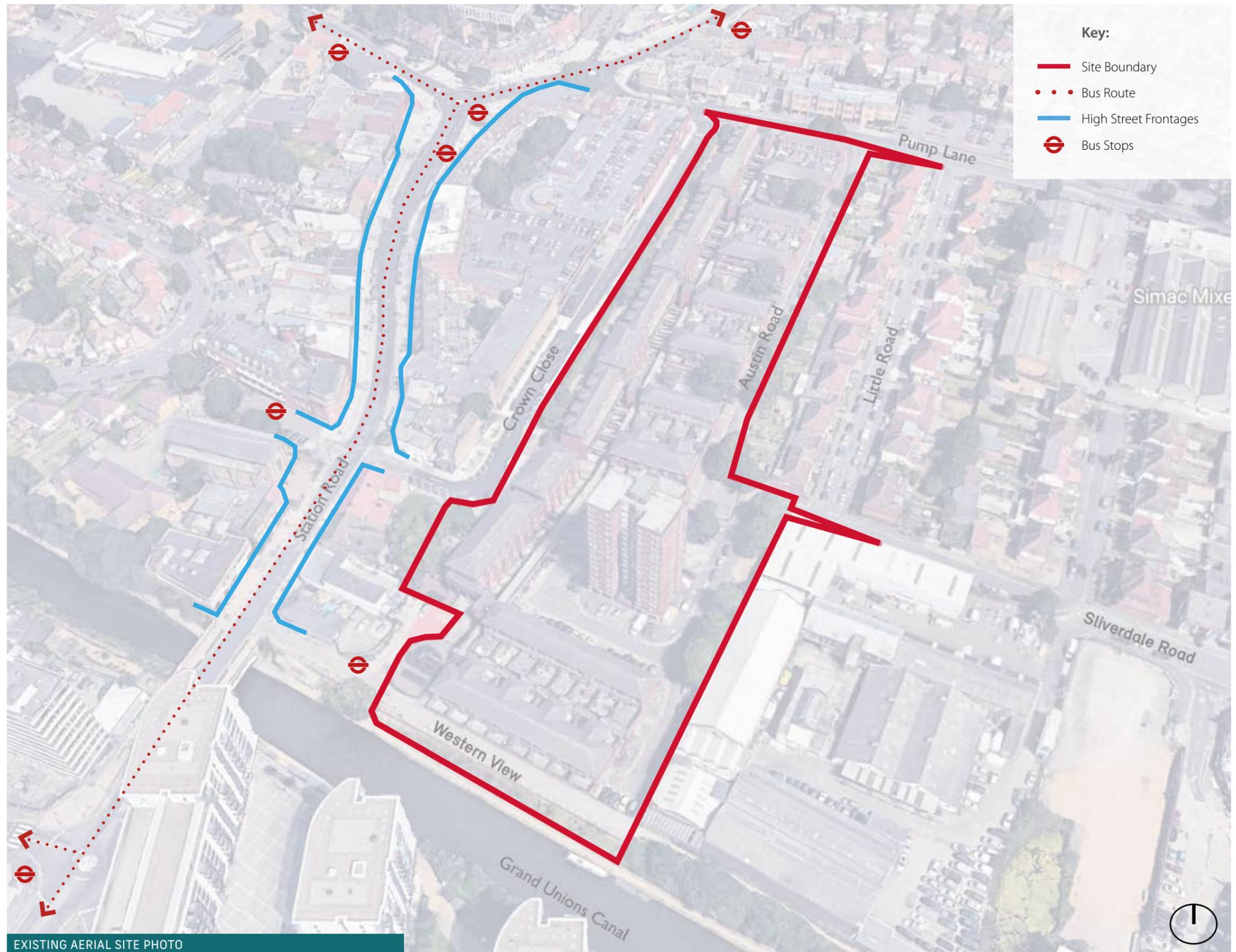
A brick boundary wall to adjoining rear gardens bounds the site to the east. The site is relatively level apart from a c.2m level change between the site and Western View which is supported by a brick retaining wall.

The site is surrounded by a wide variety of uses, type and eras of development. Hayes Town Centre is focused along Station Road and Coldharbour Lane to the west of the site (less than one minute walk). Hayes Town Centre consists mainly of 2-3 storey 1950s buildings with retail use at ground floor level and accommodation on upper level.

Beyond the high street is a mixture of residential and industrial use. Industrial uses developed historically along the canal and are still existing to this day. The industrial uses primarily consist of single storey metal sheds, however some historic industrial buildings remain.

The surrounding residential area consists of mainly 1950s semi detached housing with modern apartment buildings located on redeveloped sites along the Grand Union Canal.

The Site benefits from excellent accessibility and has a very good Public Transport Accessibility Level (PTAL), of between 4 and 5, with the higher rating achieved toward the Site's southern edge, based on the appointed transport consultant's manual PTAL calculation (noting TFL's 2031 forecast of entirely PTAL 4-5 for the Estate as a whole).



SITE LOCATION WITHIN LB HILLINGDON

EXISTING AERIAL SITE PHOTO

## 1.4 STRUCTURE OF THE CODE

The design code is structured into four sections which are described below:

### 01 INTRODUCTION

This section aims to give the reader an understanding and overview of how to read and follow the Design Code.

This section includes:

- **Purpose of the Code;**
- **The Vision (for the regeneration of the estate)**
- **The Site**
- **Structure of the Code**
- **Instructions for Use**

### 02 OVERARCHING CODING

This section outlines overarching codes that should be considered across the whole Hayes Town Centre Estate masterplan. The codes are structured across a series of sub-sections covering the following design subjects:

- **Built Form**
- **Accessibility**
- **Movement & Connectivity**
- **Landscape, Amenity and Streetscape**
- **Sustainability**

### 03 CHARACTER AREAS AND STREET TYPES

In this section a series of distinct **character areas** are identified across the Hayes Town Centre Estate masterplan. This section outlines specific design codes that should be considered in each character area. The codes of each character area are described consistently under the following sub-components;

- **Character and Approach**
- **Austin Road**
- **Canalside**
- **Crown Close**
- **Community Square**
- **Silverdale Road**

### 04 GLOSSARY

This section provides a list of key terms that are either frequently used or newly introduced by the document and confirms a definition or explanation as to what is meant by them. Terms that are defined in the glossary are shown in bold throughout the document.

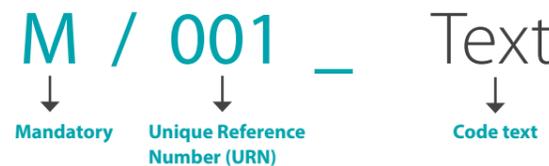
## 1.5 INSTRUCTIONS FOR USE

There are two categories in this document - Mandatory codes and Advisory guidance. Please see below the definition of each category and how these are presented across the document. Any exemptions from the mandatory requirements set by the Code must be justified through the reserved matters process.

#### Mandatory code

All mandatory codes **must be followed** in developing the design.

Mandatory codes are indicated with the below format and colour and are numbered across the whole document.



#### Advisory guidance

Advisory guidance reflecting best practice and good design principles **should be considered** in developing the design.

*A series of commonly used key terms are being used throughout the document that aim to simplify the coding for the Hayes Town Centre Estate masterplan.*

*The terms are highlighted across the document and their definition can be found in Section 4 (Glossary).*

## **2. OVERARCHING DESIGN CODE PRINCIPLES**

## 2.1 INTRODUCTION

This section outlines the overarching codes that should be applied across the whole Hayes Town Centre Estate development. This section includes mandatory overarching codes that must be followed and additional advisory guidance that should be taken into account across the whole masterplan. Designers who wish to depart from the Mandatory Code must justify such departures through the Reserved Matters process.

### Mandatory code

All mandatory codes **must be followed** in developing the design.

### Advisory guidance

Advisory guidance reflecting best practice and good design principles **should be considered** in developing the design.

The overarching codes are explained across a series of sub sections covering the following design elements and subjects:

#### 2.2 Built Form

#### 2.3 Accessibility

#### 2.4 Movement & Connectivity

#### 2.5 Landscape, Amenity and Streetscape

#### 2.6 Sustainability

Simple diagrams accompany the codes to aid understanding and illustrate how a successful design approach can be brought forward.



ILLUSTRATIVE VIEW ALONG SILVERDALE ROAD

## 2.2 BUILT FORM

### 2.2.1 Massing and Townscape

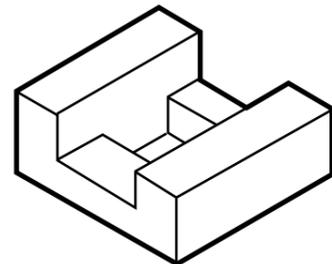
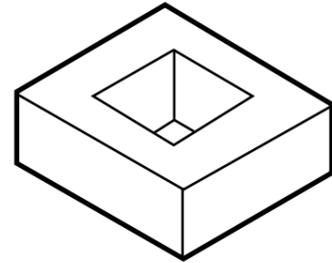
#### M / 001

Development proposals must not exceed the maximum **development zone** area (Maximum Development Zone Parameter Plan).

#### M / 002

Perimeter blocks must introduce variation in the massing as indicative diagram to the right and respond to:

- Bespoke coding elements for each character area.
- Orientation and daylight/sunlight provision within the external amenity spaces, including play provision within each plot.
- Access to daylight and sunlight within new homes.
- Provide a sensitive massing approach that considers the massing, height and scale of the adjacent blocks within the Site and the immediate surroundings.



VARIATION TO HEIGHTS AND MASSING OF DEVELOPMENT BLOCKS (INDICATIVE)

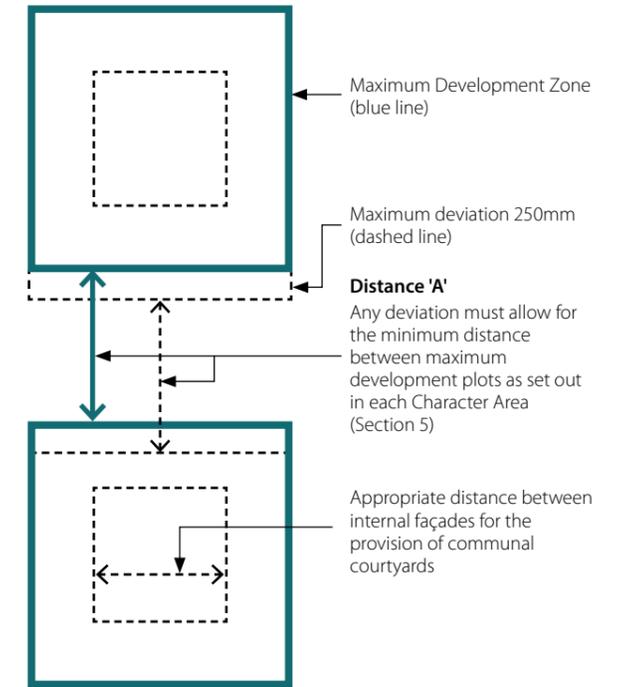
#### M / 003

The Maximum Development Zone Parameter Plan allows a deviation from the Building Outline of **250mm** for **construction tolerance** only. Any deviation must provide:

- Minimum distances between maximum development zones as set out within each character area (Section 3).
- Minimum distances required for the provision of open spaces and public realm as set out within each character area (Section 3).
- Minimum distances between internal façades to provide acceptable levels of daylight and sunlight within communal courtyards and to ensure privacy to dwellings.

#### Advisory guidance

Where possible **building breaks or steps** should be introduced to create a finer urban grain to blocks longer than 50m.



ALLOWABLE DEVIATION IN THE MAXIMUM DEVELOPMENT PLOT BOUNDARIES

## 2.2 BUILT FORM

### 2.2.1 Massing and Townscape

#### MARKER BUILDINGS AND KEY VIEWS

##### M / 004

**Marker buildings** within the development must contribute to the identification of key routes and paces. **Marker buildings** signify locations of visual importance, add variety within the built form, contribute to wayfinding and add value to the different character areas. **Marker buildings** must present unique physical characteristics that make them easily identifiable and memorable in relation to the immediate surroundings. **Marker buildings** should be differentiated and distinguishable from the surroundings through the application of one or more unique design characteristic such as massing, height, scale, facade treatment, materiality and architectural function.

##### M / 005

In order to aid legibility and wayfinding the following **marker buildings** (illustrated on the plan adjacent) within the Site must be provided:

- **Marker Building 01 - Development Zone 4:** To aid wayfinding on approach into the Site from Station Road.
- **Marker Building 02 - Development Zone 4:** To aid legibility in views along the Grand Union Canal (including from Station Road bridge and the canal path).
- **Marker Building 03 - Development Zone 3:** To aid legibility and wayfinding on the approach to the Site along Silverdale Road, and to provide a backdrop to the central Community Square.

##### M / 006

A few key townscape views are identified in the diagram on the right to ensure the legibility and to help enhancing the character of Hayes Town centre. Development proposals at RMA stage must ensure that the facade treatment and materiality of the scheme reflect the design principles set out within this Design Code and demonstrate how the scheme will enhance the local townscape with reference to the following **mandatory views** to be included within the DAS. The views are to be tested using CGIs or illustrations.

- **Mandatory View 01 (MV01)** - Long view along the Grand Union Canal from the bridge crossing the canal on Station Road.
- **Mandatory View 02 (MV02)** - Long view along the existing canal path towards town centre
- **Mandatory View 03 (MV03)** - View from community square to canalside walk along Silverdale Road with improved level access

- **Mandatory View 04 (MV04)** - View from Station Road towards Marker Building 1
- **Mandatory View 05 (MV05)** - View along Crown Close
- **Mandatory View 06 (MV06)** - View from community square to community centre
- **Mandatory View 07 (MV07)** - View along Austin Road

#### KEY CORNERS

##### M / 007

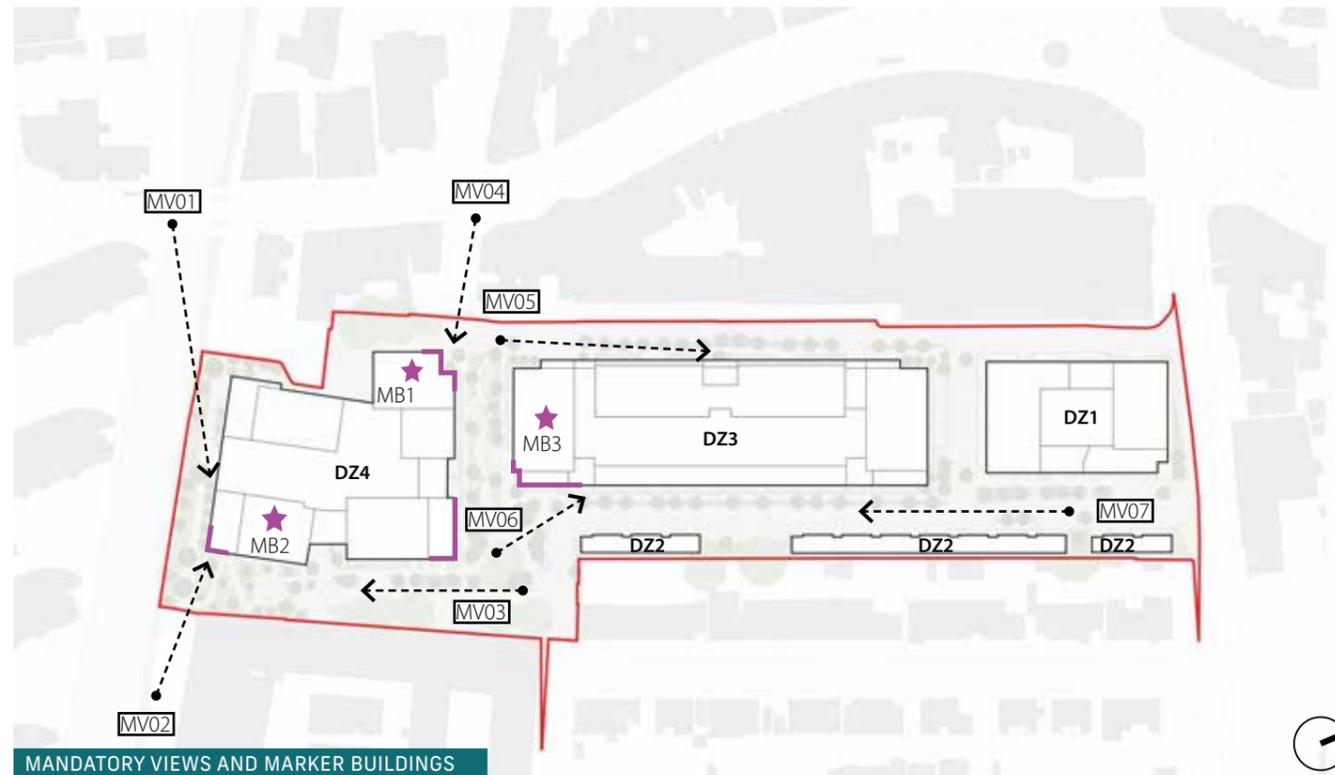
Blank frontages must be avoided on all **key corners**.

#### Advisory guidance

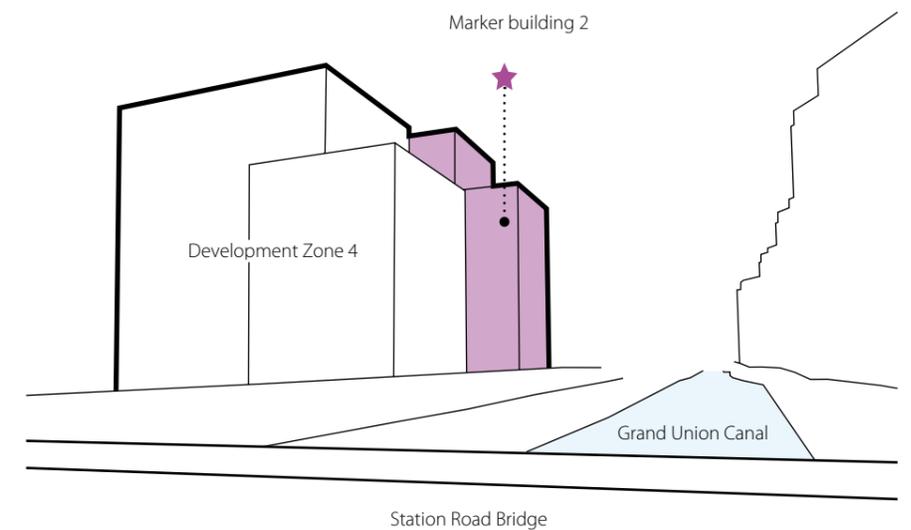
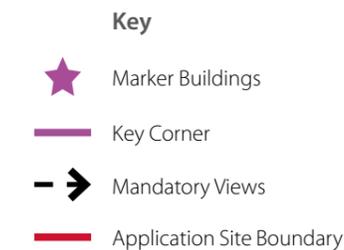
**Key corners** should mark turning points ("turned corners") and contribute to wayfinding, to provide the transition between the characters of two different streets.

**Key corners** could consider the introduction of angles, different massing or distinct treatments to the façades to celebrate the key junctions.

**Key corners** should seek to optimise active frontages to both façades, especially on the ground floor.



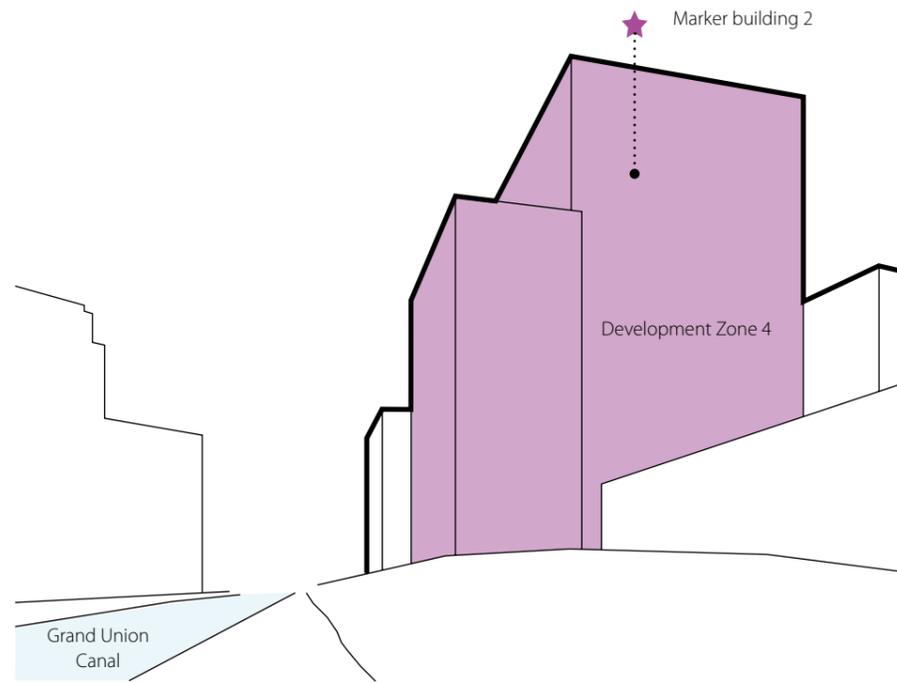
MANDATORY VIEWS AND MARKER BUILDINGS



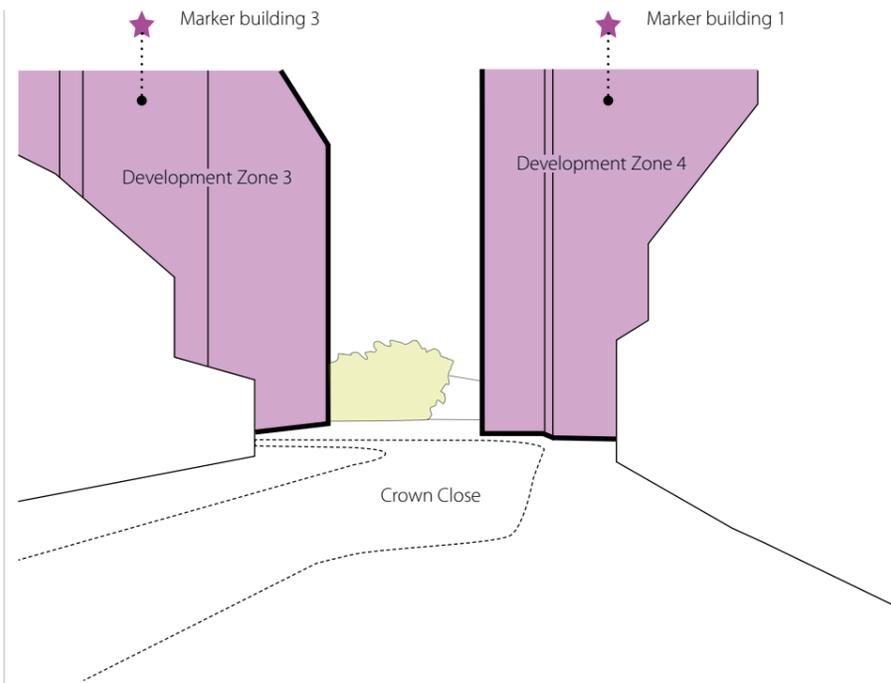
MANDATORY VIEW 01

# 2.2 BUILT FORM

## 2.2.1 Massing and Townscape



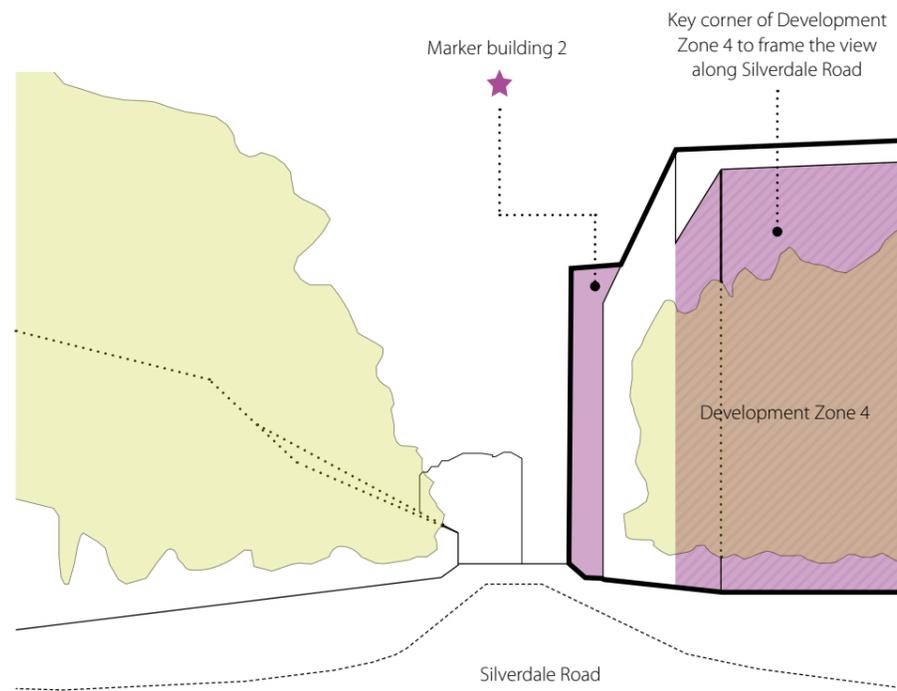
MANDATORY VIEW 02



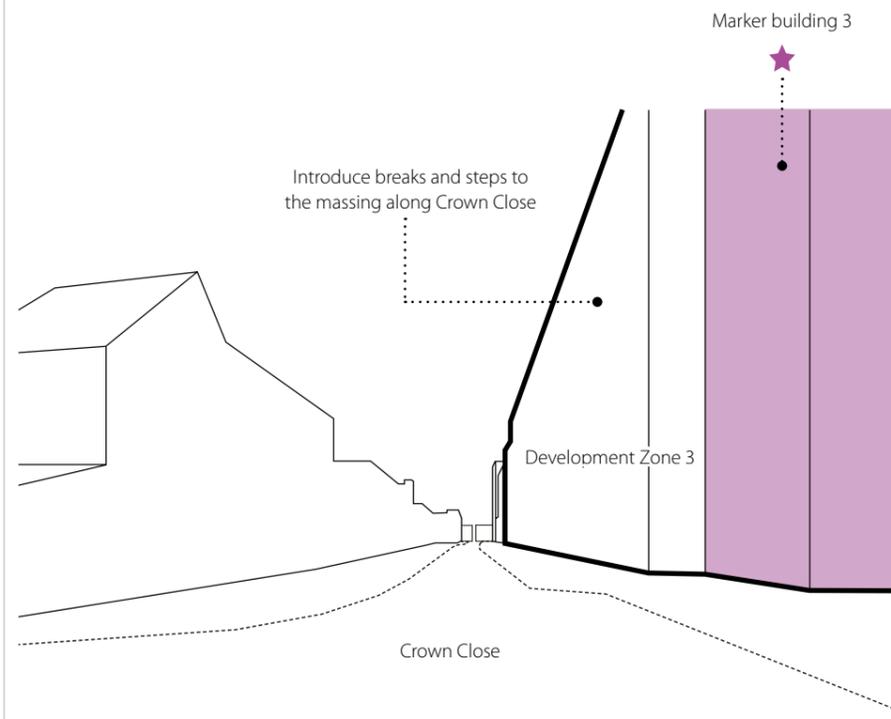
MANDATORY VIEW 04



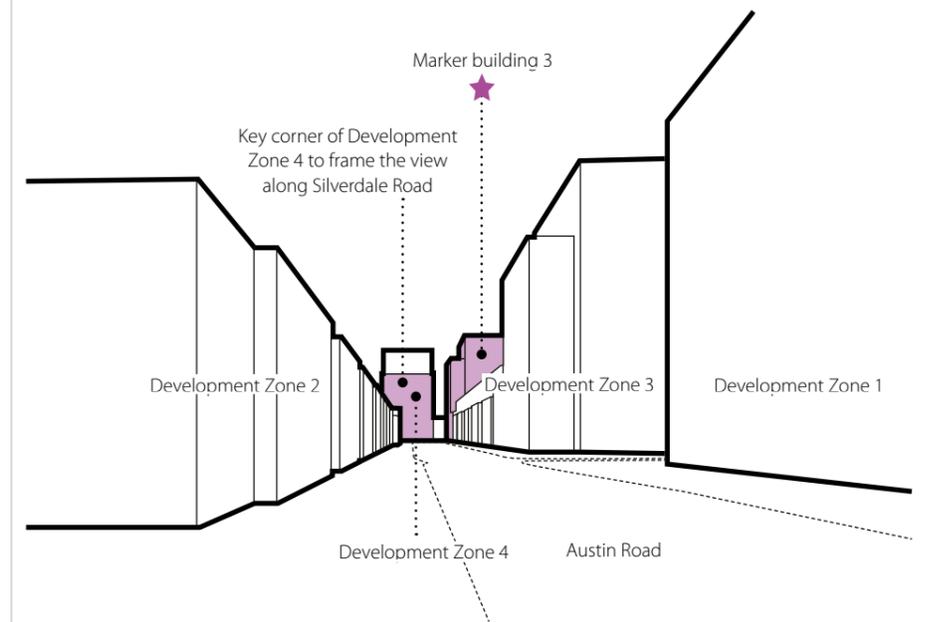
MANDATORY VIEW 06



MANDATORY VIEW 03



MANDATORY VIEW 05



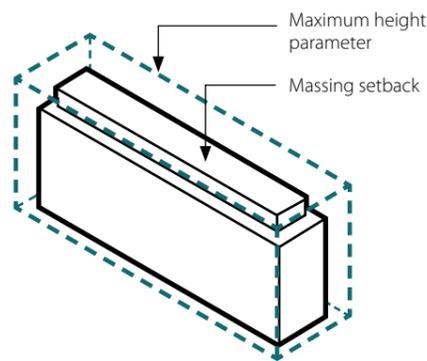
MANDATORY VIEW 07

## 2.2 BUILT FORM

### 2.2.2 Building Height and Setbacks

**M / 008**

The proposed building heights including setbacks must be in accordance with the maximum **AOD's** specified within the Building Heights Parameter Plan. Lift overruns, flues, staircase access to roof for maintenance and roof plant are excluded and can be above the stated maximum AODs.



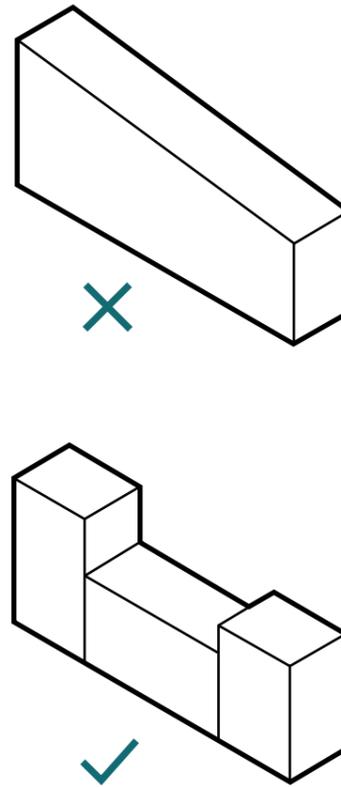
SETBACK MASSING WITHIN THE MAXIMUM PARAMETERS

**M / 009**

No part of any building or structure shall exceed the maximum building height set out in planning condition 10.

**M / 010**

Transitions in heights within the development must be of stepped form, not sloped or curved.



ACCEPTABLE TRANSITIONS IN HEIGHT

**M / 011**

Transitions in heights within a development zone must be noticeable and meaningful in relation to building scale. One storey as a minimum height transition is recommended.

**Advisory guidance**

Where **setbacks** and/ or roof/ top floor treatments are introduced they should be architecturally expressed to minimise the impact of building mass at street level.

### 2.2.3 Roofscapes

**M / 012**

Roofscapes must be articulated as an integral part of the building and facade design, and contribute to the variety of each **character area**.

**Advisory guidance**

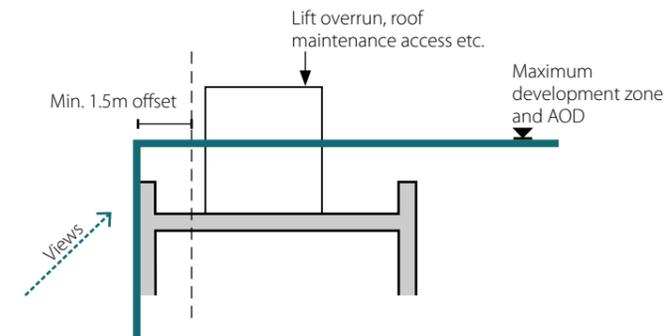
Roof designs should integrate in a cohesive manner all required features, such as roof access, green or brown roofs, solar panels and any plant equipment.

**PARAPETS AND ROOF-TOP EQUIPMENT**

**M / 013**

The location of lift overruns, staircase access to roof for maintenance, roof plant, etc. which exceed the height of the building parapet must consider a minimum 1.5m offset from Primary Elevations (as set out by Section 2.2.6). Along with flues, they are excluded from the maximum **AOD** set out within the Building Heights Parameter Plan.

Appropriate access should be provided for the maintenance of roofs, PVs and any other equipment located on the roof of the buildings.



ROOF-TOP EQUIPMENT EXTENDING ABOVE THE MAXIMUM AOD

**Advisory guidance**

Communication services equipment such as phone masts, satellite dishes and other similar devices should be integrated as part of the design.

**GREEN, BROWN AND BIODIVERSE ROOFS**

**M / 014**

Green, brown and biodiverse roofs must be included where appropriate to enhance the benefits of wildlife across the Site.

**Advisory guidance**

Green, brown and biodiverse roofs may be planted on their own or in combination with Photo Voltaic cells located on the roof space and should be compliant with the Energy strategy and the overall Sustainability strategy.

## 2.2 BUILT FORM

### 2.2.4 Balconies

**M / 015**

Projected and semi-projected balconies may extend beyond the maximum boundary of the developable zone (+/- 2m) where these sit within the Projection Zones noted on the Development Zones Parameter Plan. Minimum projection distances noted on the Development Zones Parameter Plan must be respected.

**M / 016**

Provide a minimum of 5m<sup>2</sup> of step-free **private external amenity space** for homes with one or two bedspaces in the form of a balcony, terrace or garden, with a minimum depth /width of 1.5m (in accordance with GLA Policy). An extra 1m<sup>2</sup> should be provided for every additional bedspace.

**M / 017**

Design and location of balconies must consider:

- Environmental considerations. So that dwellings can have appropriate access to daylight and sunlight, amenity spaces that are sheltered from wind, and they provide adequate response to potential noise and air quality pollution.
- Overheating and internal thermal comfort. Sometimes balcony positioning could contribute to the solar shading of the rooms below.
- The provision of privacy from neighbouring properties.
- Block orientation.

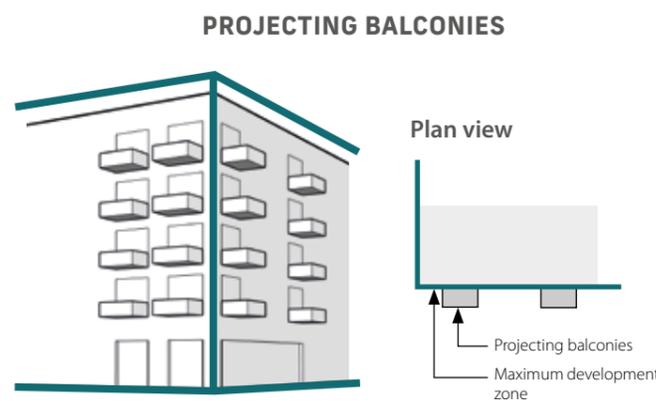
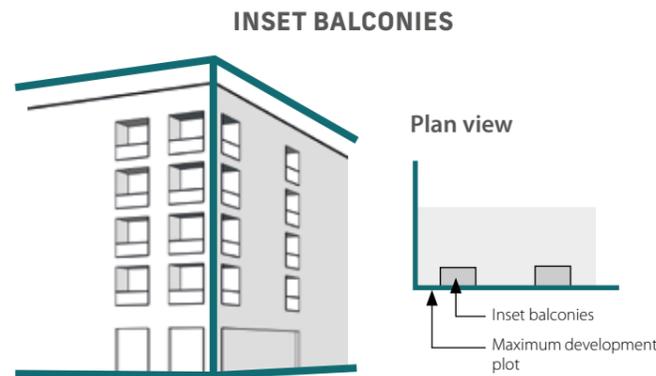
A combination of balcony types may be suitable to respond to the immediate context and the requirements of specific **character areas** (refer to Section 3).

**M / 018**

Balconies must be tenure blind and be designed in line with the architecture of the building and facade design to achieve a cohesive approach.

**Advisory guidance**

Inset balconies should be considered to tall buildings and wind impacts should be taken into account to ensure these spaces are usable.



INDICATIVE BALCONY TYPES

### 2.2.5 Active Frontages

**M / 019**

All building frontages must have habitable rooms overlooking the street to promote natural surveillance, active frontages and safe public spaces, as well as to provide interest along the street.

**M / 020**

Communal and individual residential entrances must be directly accessible from the street with appropriate level to further activate building frontages.

**M / 021**

The frequency of ground floor individual and communal entrances must be maximised to create **active frontages**.

**M / 022**

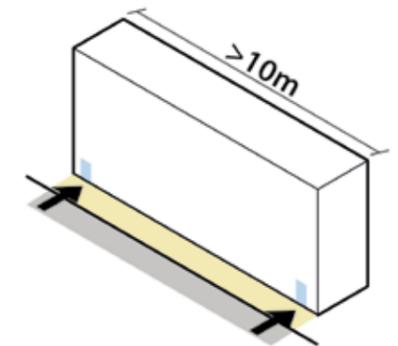
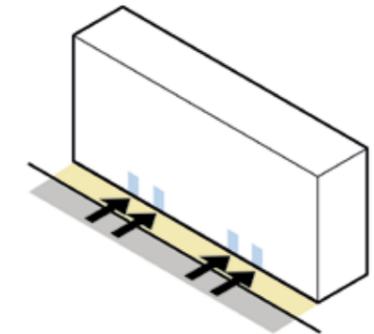
**Blank frontages** must be minimised. The only exemption to this would be the use of green walls or frontages used for activities or public art or lighting projections. Large tall fences to gardens and car parking frontages dominating the building frontages must be avoided.

**Advisory guidance**

**Blank frontages** should not exceed 10m.

Communal cycle storage facing into the street should explore designs that contribute to street activation. Communal cycle storage is considered an **active frontage** if they include:

- Glazing frontages to the street; and,
- Direct access from the street; and,
- Internal layouts that allow for views and overlooking to or from the street.



MAXIMUM EXTENTS OF INACTIVE FRONTAGES



Front doors and windows to the street should be maximised to create active frontages



Glazed façades of non-residential / community uses contribute to the creation of active frontages



Cycle storage with glazed façades and direct access from the street contribute to the street activation

METHODS FOR ACTIVATING BUILDING FRONTAGES

## 2.2 BUILT FORM

### 2.2.6 Elevations

**M / 023**

New development must create strong and well defined frontages and clearly define the street environment and **open space** they are fronting.

**M / 024**

Where elevations include car parking entrances, these must be gated and be integrally designed as part of the overall architectural approach of the facade. Considerations should be given to the design of the public realm to minimise impact of the vehicular access.

**M / 025**

**Primary elevations** must avoid car park entrances.

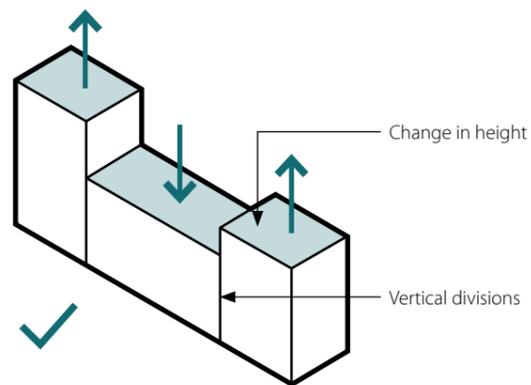
**M / 026**

Flank/rear walls on tall buildings that are visible from the street level must consider high quality designs, materials and finishes and a similar material palette to the **character areas** where they contribute to.

**Advisory guidance**

Frontages and elevations should be designed to ensure efficient use of materials.

Where a change in height within a building occurs, there should be a vertical division. Vertical division could be expressed architecturally in the facade design through the incorporation of massing breaks, change of type of material and/or tone/colour, and modest recess or protrusion of the facade.



VERTICAL DIVISIONS EMPHASISING CHANGES IN HEIGHT

Façades facing the Grand Union Canal, Community Square and Linear Park are considered **Primary elevations**. The design of these façades should consider:

- Contribute positively to the character of the Community Square and the primary open space they frame and define;
- Maximise **active frontages** for residential and non-residential uses and natural surveillance;
- Use high quality robust and easy to maintain materials and finishes, adopting a high quality palette of materials, and developing a varied approach to the design of the façades;
- Include clearly defined building entrances; and,
- Feel robust and grounded.

**Primary elevations** should minimise:

- Placing ventilation, servicing or air extract grilles on the façades; and
- Service access.

All other façades fronting the public street should be considered **Secondary elevations**. These elevations should seek to achieve the following:

- Provide **active frontages** and natural surveillance;
- Include clearly defined building entrances; and,
- Feel robust and grounded.

Attention should be given to different architectural treatments in areas of transition between **character areas**.

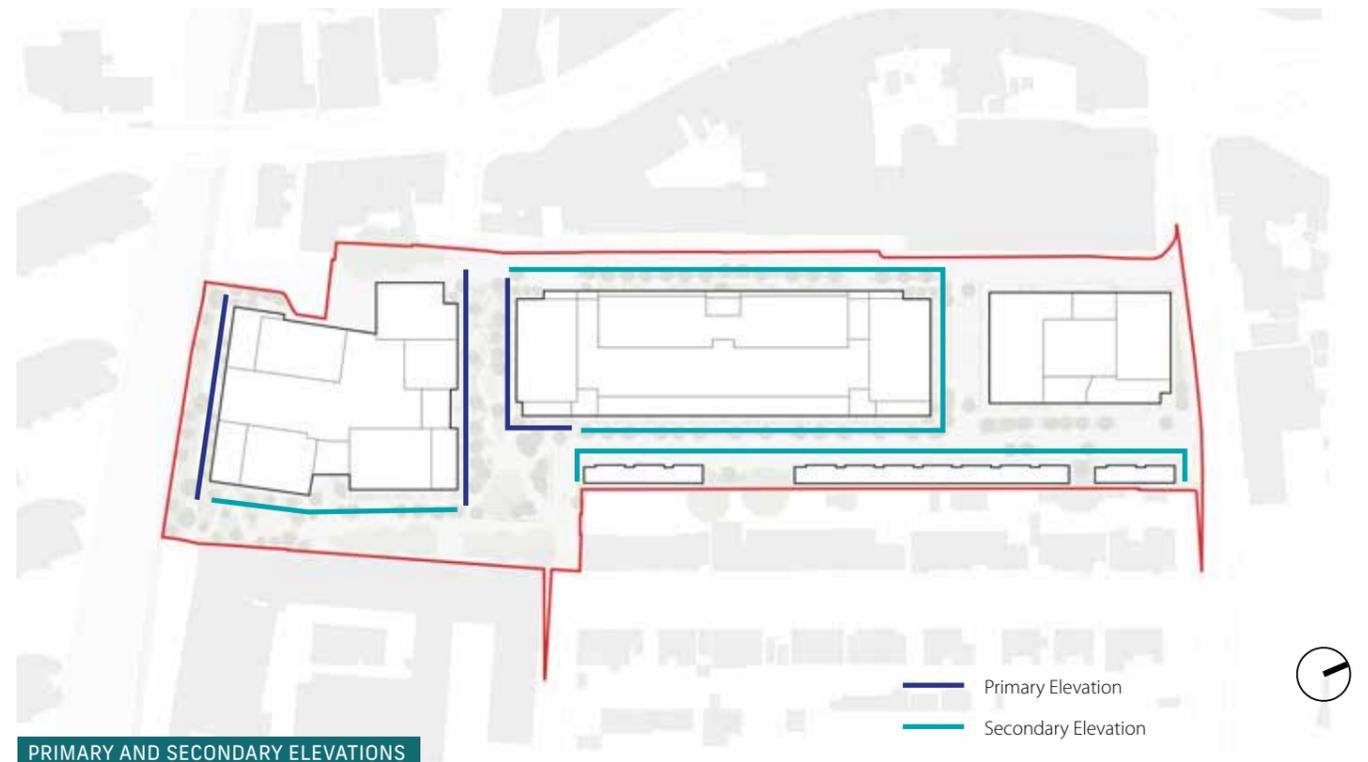
**VENTILATION, RAINWATER AND WASTE PIPES**

**M / 027**

Where ventilation and air extract grilles are required, these must be integrated into the facade design to minimise their visual impact.

**M / 028**

Rainwater downpipes and hoppers must be sensitively integrated into the building appearance and designed-in from the outset.



PRIMARY AND SECONDARY ELEVATIONS

## 2.2 BUILT FORM

### 2.2.7 Entrances

**M / 029**

All balconies above residential and non-residential entrances must provide sufficient positive drainage to prevent localised flooding.

**M / 030**

The design of all entrances must adhere to Secure by Design principles and provide natural surveillance to the street. Entrances should avoid the creation of blind spots and secluded areas.

**M / 031**

Residential and non-residential entrances must be located fronting the street, be legible and create a sense of arrival.

**NON-RESIDENTIAL ENTRANCES**

**M / 032**

Non-residential entrances must be well proportioned and visually distinguishable from residential entrances.

**RESIDENTIAL ENTRANCES**

**M / 033**

All residential entrances must be tenure blind.

**M / 034**

Communal entrances should be visually distinguishable from private residential entrances for legibility.

**Advisory guidance**

All residential entrances should be sheltered from above by use of integrated canopies, recesses or other building design features.

Canopies to residential and non-residential entrances may extend beyond the Maximum Development Zone Boundary as set out in the Development Zones Parameter Plan.

All elements associated to residential entrances (intercoms, lighting and signage) should be fully integrated to the overall design of the facade and entrance and be accessible to all potential users.

### 2.2.8 Windows

**M / 035**

The proportion, rhythm, location and articulation (vertical and horizontal) of proposed fenestrations must consider acceptable internal provision of daylight, sunlight and ventilation, while balancing overheating, allowing internal thermal comfort, flexible internal spaces and furniture arrangements.

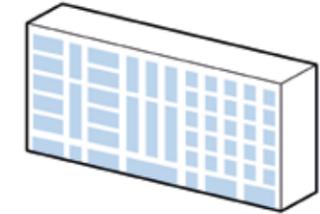
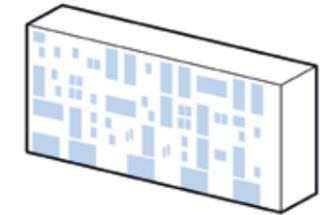
**M / 036**

Window cleaning strategy should be considered and embedded within window design.

**Advisory guidance**

Window proportions should be maintained where possible to keep continuity along building façades.

Window arrangements should contribute to the facade designs, exploring regular rhythms and grouping of windows to emphasise scale and contribute to street and long distance views.



**GROUPING OF WINDOWS SHOULD CONTRIBUTE TO THE DESIGN OF THE WIDER FACADE**



Ground floor private entrances with direct access from the street contribute to natural surveillance



Communal entrances should be visually distinguishable from private residential entrances



Entrances must be legible from the street and create a sense of arrival



Vertical articulation of windows contributes to the facade design



Grouping of windows to emphasise scale and contribute to long distance views



Window proportions and articulation must consider internal provision of daylight and sunlight

**DESIGN OF ENTRANCES**

**WINDOW PROPORTIONS AND ARTICULATION**

## 2.2 BUILT FORM

### 2.2.9 Privacy

**M / 037**

High quality design on the new development must address any potential impact on privacy and overlooking issues between residential properties, including:

- The size and location of windows;
- The size, form and location of balconies;
- The acceptable separation distance between windows/balconies to habitable rooms;
- The orientation of buildings;
- The size, design and positioning of habitable rooms (rooms should be staggered along narrow streets to avoid direct overlooking); and,
- The incorporation of design measures such as the use of screens, obscured glass, angled and fixed windows, etc. where necessary.

**M / 038**

**Defensible space** must be provided to all residential dwellings on ground floor facing the street and/or public realm and to all dwellings to the ground floor and/or podium level facing communal areas. Please refer to Section 2.5.3 within this document. Please note that **Defensible spaces** for residential uses can extend beyond the areas within the Maximum Development Zone as defined on the Parameter Plan.

**Advisory guidance**

Effective, innovative design measures may be adopted to preserve privacy and minimise overlooking of existing surrounding properties.

### 2.2.10 Materiality and Appearance

**M / 039**

The immediate and wider surrounding area is characterised by a strong prevalence of brick construction. From the historic industrial buildings that define the neighbourhood character to high street commercial buildings, brickwork forms the foundational visual and tactile language of the locality. Therefore, brick should be the primary building material unless there is a strong design narrative.

**M / 040**

Materials must be of high quality and must be robust enough to require little maintenance.

**M / 041**

All elements of the building design must form part of a coherent and coordinated appearance.

**M / 042**

The precedent images or sample images of the proposed materials must be included in the DAS of any future **Reserved Matters Application (RMA)**.

**Advisory guidance**

While specific brick types will be determined at later stage, future applications shall demonstrate:

- **Colour and Tone:** A palette of predominantly warm, earthy tones (e.g., reds, browns, ochres, muted greys) that either complement or directly reference the prevalent brick colours within the immediate context. Avoid harsh, overly uniform, or

highly contrasting colours unless justified by a specific design intent.

- **Texture:** Consideration of varied textures, including smooth, textured, or handmade finishes, to add depth and character to elevations.
- **Bonding Patterns:** Use of traditional and contemporary bonding patterns (e.g., stretcher, Flemish, English bond) to introduce rhythm and articulation.
- **Detailing:** Exploration of architectural brick detailing, such as soldier courses, plinths, recessed panels, corbelling, or expressed lintels and sills, to provide visual interest and quality.
- **Quality:** Specification of high-quality, frost-resistant, and sustainably sourced bricks suitable for the exposure conditions and intended lifespan of the development.

Materials selection should demonstrate consideration of responsible sourcing and sustainability supporting circularity and reducing whole life carbon.

The material, colour and texture palettes should contribute to the variety across **character areas**.

Detailing to key features should be considered in all buildings in an appropriate design in order to create interest and three-dimensional façade features (e.g. window surrounds, window reveals, ground floor definition, entrances, plinth).

uPVC window and door frames must be avoided in **Primary elevations**.

There is no recommended maximum number of materials per street scene. However, each street scene should have a consistent palette, use of colours and appearance.



Façades should consider durable and easily maintainable materials



Detailing to key features creates interest and three-dimensional façade treatments



Consistent palette of brick tones along the street scene

WINDOW PROPORTIONS AND ARTICULATION

## 2.2 BUILT FORM

### 2.2.11 Residential Quality

#### M / 043

Internal building designs and homes layouts must meet all relevant requirements and standards contained in the Nationally Described Space Standards (NDSS).

#### M / 044

The minimum floor to ceiling height in all dwellings must be 2.5m for at least 75 per cent of the Gross Internal Area.

#### M / 045

Building design (including layout, aspect, shading, windows size, glazing specification and ventilation) must ensure internal thermal comfort is maximised.

#### M / 046

All homes must be designed to address fire safety in accordance with the Buildings Regulations.

Design proposals should be in line with the principles and requirement set out in the approved Outline Fire Statement and Outline Fire Statement Addendum.

#### Advisory guidance

Where possible dwelling designs should provide adequate and easily accessible storage space that supports the separate storage and collection of dry recyclables (for at least card, paper, mixed plastics, metals, glass) and food waste as well as residual waste.

Dwelling plans should demonstrate that proposed homes can accommodate the furniture, access and amenity space requirements relating to the declared level of occupancy in order to demonstrate that dwelling layouts are effective and achieve good spatial design.

Design of storage spaces should optimise their usability and avoid narrow, deep configurations.

The internal design of dwellings should consider:

- Living rooms and kitchen layouts that cater for different preferences, lifestyles and cultural requirements;
- Living rooms that allow sufficient space for circulation around furniture;
- Bedrooms or other internal spaces that provide enough flexibility to be used for home working or study;
- Additional secure storage cupboards (on top of the standard requirements) for individual dwellings at ground or basement level in flatted developments, and external storage for outdoor equipment in dwellings with gardens;
- Where possible the provision of a dedicated utility space/ cupboard with space and services for a boiler, washing machine, etc.;
- Layout designs that are flexible enough to accommodate a range of possible changes in circumstances. Internal spaces should be flexible to be used in a variety of ways without altering the building fabric.

#### DUAL ASPECT UNITS

#### M / 047

Single aspect dwellings that are north facing, contain two or more bedrooms should be avoided.

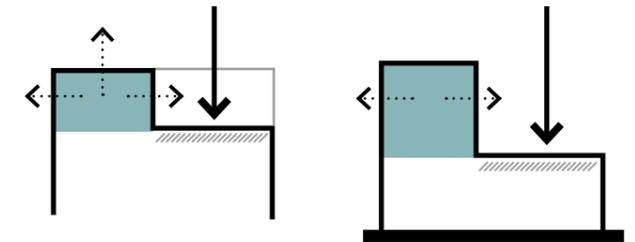
#### Advisory guidance

Housing development should maximise the provision of **dual aspect** dwellings. Where single aspect units are provided, these should demonstrate that they will have appropriate levels of ventilation, daylight, privacy and thermal comfort and avoid overheating.

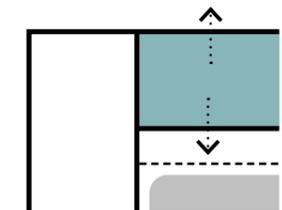
Dual aspect should be considered and optimised throughout the scheme, whilst balancing fabric efficiency and material use in line with wider sustainability principles and maintaining **streetscape** cohesion.

**Dual aspect** units could be achieved by the following approaches (the options presented here are not exhaustive):

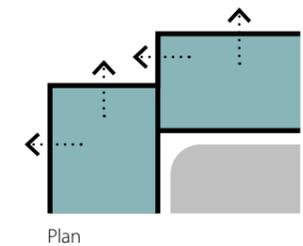
- Maximising corner aspects;
- Providing deck access;
- Providing protruding and/or recessed elements;
- Providing massing breaks along elevations.



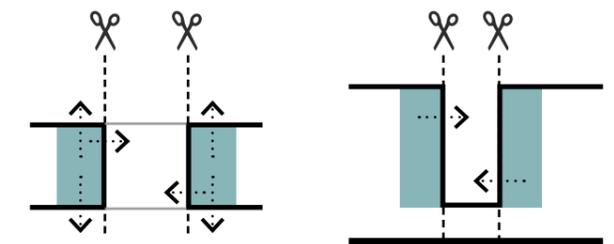
Plan  
Elevation  
**Maximising Corner Aspect**



Plan  
**Providing Deck Access**



Plan  
**Providing Protruding or Recessed Elements**



Plan  
Elevation  
**Providing Massing Breaks along Elevations**

#### METHODS OF PROVIDING DUAL ASPECT

## 2.2 BUILT FORM

### 2.2.12 Housing Types

#### Advisory guidance

This section presents a variety of housing types which could be considered, these should respond to the Hayes Town Centre Estate sitewide vision and the requirements for each character area, as well as housing demand. The housing types proposed are as follows:

- Mews housing;
- Three storey townhouses; and,
- Apartment blocks with duplexes to ground level.

Across this typology, ground floor homes are used to create active frontage with individual entrances direct from the street, and **private amenity** with defensible planting to the front to activate and enhance the public realm.

#### A - MEWS HOUSING

House type that is 2-3 storeys in height with amenity that could be incorporated into the built form or as a private garden. They also offer flexibility in terms of orientation due to dual aspect. Individual homes are accessed from ground level from the street.



MEWS HOUSING

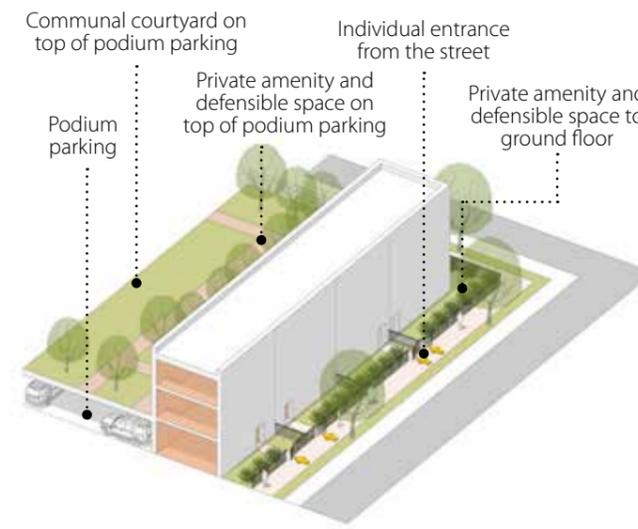


Intimate mews typology with private amenity at ground level

#### B - THREE STOREY TOWNHOUSES

3 storey dwellings providing an intermediate step in scale between the mews housing and medium rise apartment blocks.

This house type is compatible with the provision of podium parking, with the middle floor of the dwellings able to utilise **private amenity** space at podium level. Individual homes are accessed from ground level from the street, with a secondary access at podium level.



THREE STOREY TOWNHOUSE



Medium scale, townhouse typology

#### C - APARTMENT BLOCKS (WITH DUPLEXES TO GROUND LEVEL)

Residential uses to the ground and upper floors, with communal amenity provided within the central courtyard space. Suitable for use with or without podium parking.

This provides the opportunity to create active frontages onto the street, with individual entrances to the street for ground level dwellings. In many instances across the site, these ground level dwellings are provided as duplexes, with accommodation spread over two floors.



APARTMENTS



Apartment typology with podium level communal courtyard

## 2.3 ACCESSIBILITY

### M / 048

The principles of inclusive design must be integrated from the outset of the project to achieve an inclusive environment with ease of access maximised. Access and use of external spaces are to be equally accessible by everyone, taking into account differences in age, gender or disability. Reference must be made to the Equality Act 2010.

### M / 049

Proposals must carefully consider the existing and proposed ground levels within and around the site to maximise accessibility. Routes around the site and entrances to all uses (residential and non-residential) must be step-free, where this is not possible alternative accessible routes and entrances must be provided.

### M / 050

All **ramps** must comply with the minimum requirements of Buildings Regulations Approved Document M and where feasible with best practice requirements to ensure ease of access.

### M / 051

All residential properties must be provided with level access through the main core in accordance with Part M4 (2) of the Buildings Regulations.

### M / 052

There must be no loss of quality in design, materials or aesthetics when designing in the principles of good inclusive design and access to spaces and experiences.

### M / 053

The inclusive design must be coordinated with Drainage Strategy.

### Advisory guidance

Where possible, **ramps** will be designed with gradients of 1:21 (5%) or above. Where there are steps, step free alternatives should be included.

There should be an adequate range of seating/resting furniture at regular points for all abilities. Planting should be raised in areas for the elderly and those in wheelchairs. There should be a range of play, recreation and fitness experiences to accommodate people with different abilities.

Signage and wayfinding should be accessible and inclusive for all and should include solutions such as:

- Tactile communication: to include embossed and Braille signage (where appropriate); tactile paving; changes in level and kerb upstands; tapping rails (where appropriate);
- Sensory communication: sounds and scent, this may include fountains/water features when in operation; changes in walking surface; talking signs, etc. Similarly, some plants, and buildings such as bakeries, can provide scent clues; these can also change according to day, time, season, etc.
- Visual communication: to include visual clarity in terms of colour and contrast; good lighting that avoids excessive reflections, glare, and shadowing; clarity of text and symbols (where provided).

### STEPS, RAMPS AND RETAINING STRUCTURES

#### Advisory guidance

**Ramps**, steps and retaining structures must be compliant with Part M Buildings Regulations and they should consider:

- Gradients as shallow as possible;
- Designs that are robust and simple to reduce the risk of vandalism; and
- Not segregate the public realm and/or opens spaces.

The provision of handrails on **ramps** is strongly encouraged but should be sensitively designed and integrated within landscape design.

Steps, **ramps** and retaining structures should offer opportunities for different functions such as seating elements or opportunities to provide play elements.

## 2.4 MOVEMENT AND CONNECTIVITY

### 2.4.1 Parking

**M / 054**

Car parking provision for all uses must be in accordance with the general approach set out in the Transport Assessment Addendum approved by the Local Authority as part of the Outline Application.

**M / 055**

Development proposals must provide accessible on or off street car parking bay designated for Blue Badge holders for non-residential and residential uses, even if no general parking is provided.

**M / 056**

Disabled persons parking provision and design must comply with the requirements set out in the London Plan and/or LBH Local Plan.

**M / 057**

Development proposals must include design measures to prevent unauthorised car parking on the street and/or the public realm.

**PODIUM AND UNDERGROUND CAR PARKING**

**M / 058**

Podium parking must be surrounded by other uses and/or activities within the public realm to ensure that streets are vibrant and **active frontages** are maintained.

**M / 059**

Car parking ventilation strategy must be considered as part of the detail design.

**Advisory guidance**

Car parking entrance points should be secured and well overlooked.

**ON-STREET CAR PARKING**

**Advisory guidance**

On-street parking should be minimised and provided only where necessary.

On-street parking locations and the public realm design should consider the provision of electric charging infrastructure. On-street parking should be capable of adapting for electric vehicles charging in the future without comprising the street scene.

Where on-street parking is provided, this should be integrated with the landscape design so that parking is not dominating the public realm, in particular when introducing perpendicular on-street parking. Landscaping with tree planting should be maximised in between parking spaces to prevent on-street parking from dominating the public realm.

Car parking spaces should be located on a level surface.

Amount of car parking and associated tree planting and landscape integration shall be considered in relation to the individual **streetscape** character as set out within each character area. Consideration should be given to how long term car parking requirements may reduce.

**CYCLE PARKING**

**M / 060**

The number of long and short stay cycle parking (cycle storage and visitors cycle parking) for all uses must meet the minimum requirements set out in the London Plan 2021. Secure internal cycle parking must be provided for all dwellings in line with the requirements of London Cycle Design Standards (LCDS). Cycle parking must be provided as a mix of two tier and accessible spaces, including provision for larger bikes.

**Advisory guidance**

Cycle routes within the Hayes Town Centre masterplan should stitch into surrounding existing cycle infrastructure to maximise the connectivity of the Site.



Podium parking integrated within the block design with active frontage along the street



Car parking entrances designed as part of the building facade



On-street parking integrated with the landscape design

**INTEGRATED VEHICLE PARKING**

## 2.4 MOVEMENT AND CONNECTIVITY

### 2.4.2 Access

**M / 061**

An access strategy must be provided for the development which shows how the proposals meet the needs of pedestrians, cyclists and vehicles.

**M / 062**

The needs of pedestrians and cyclists must be prioritised in the development of the masterplan for the Hayes Town Centre Estate.

**VEHICULAR MOVEMENT**

**M / 063**

Primary vehicular routes must be provided/ maintained, connecting Pump Lane to Station Road (via Crown Close).

**M / 064**

Secondary vehicular routes, including Austin Road, the connection between Crown Close & Austin Road, and the servicing access to Development Zone 4 (via Silverdale Road) must be provided.

**Advisory guidance**

Vehicular parking should be provided via podiums where possible. Refer to Section 2.4.1 for details.

Secondary vehicular routes should be **shared surface or pedestrian friendly** where possible and incorporate traffic management strategies to limit vehicle speeds.

**PEDESTRIAN MOVEMENT**

**M / 065**

The east-west route across the site (linking Station Road & Crown Close with Silverdale Road) is a key connection and should be a focal point of the masterplan.

**M / 066**

The pedestrian connection between Silverdale Road and Western View (along the canal) is another key connection. Proper inclusive design and landscape design should be considered for the level change here.

**Advisory guidance**

Pathways should reflect desire lines where possible and direct pedestrians away from vehicular routes.

**REFUSE, DELIVERIES AND SERVICING**

**M / 067**

The refuse strategy for the site must meet the requirements of LBH and be developed collaboratively with the Council's Waste and Recycling Services Team.

**M / 068**

All streets must be suitable for LA refuse vehicles, including the provision of suitable turning heads to dead-end roads.

**M / 069**

All apartments must have secured internal communal refuse stores on the ground floor, close to building cores and easily accessible from the street.

**M / 070**

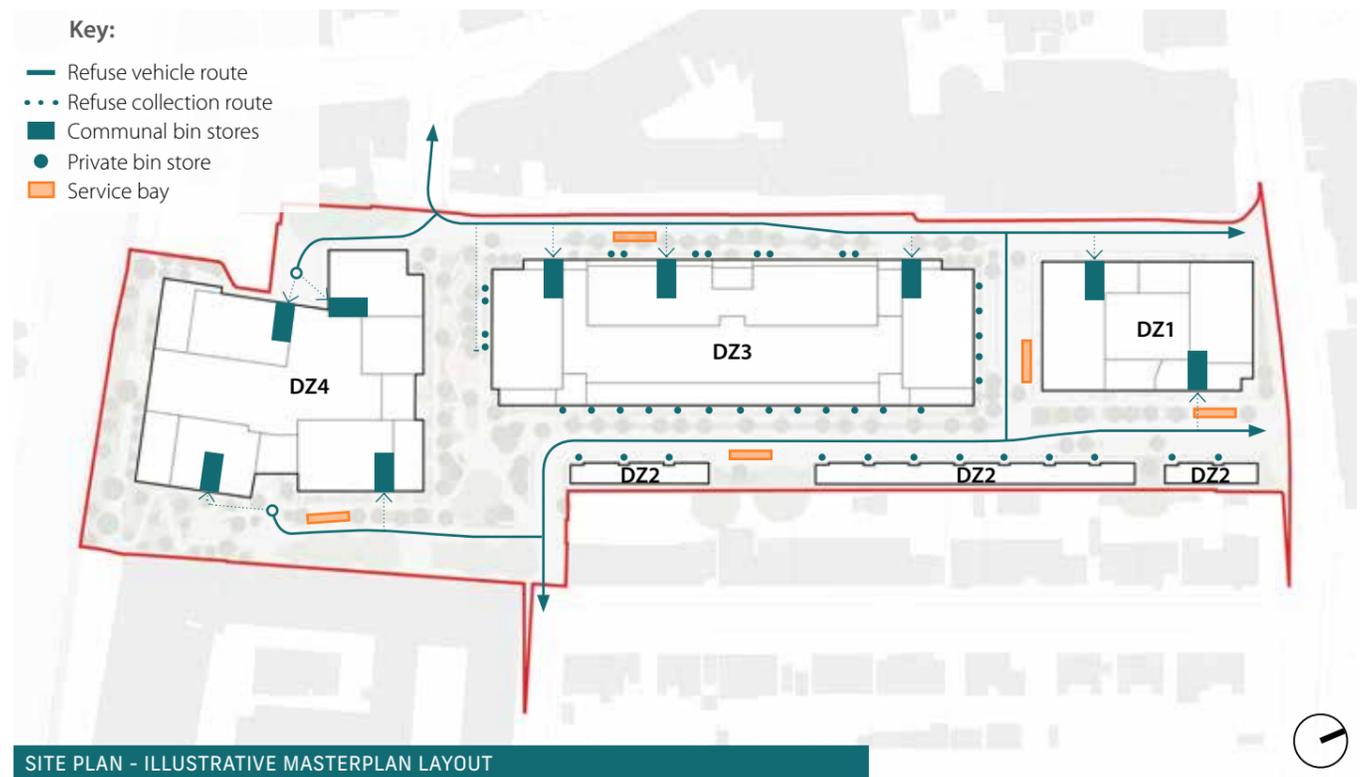
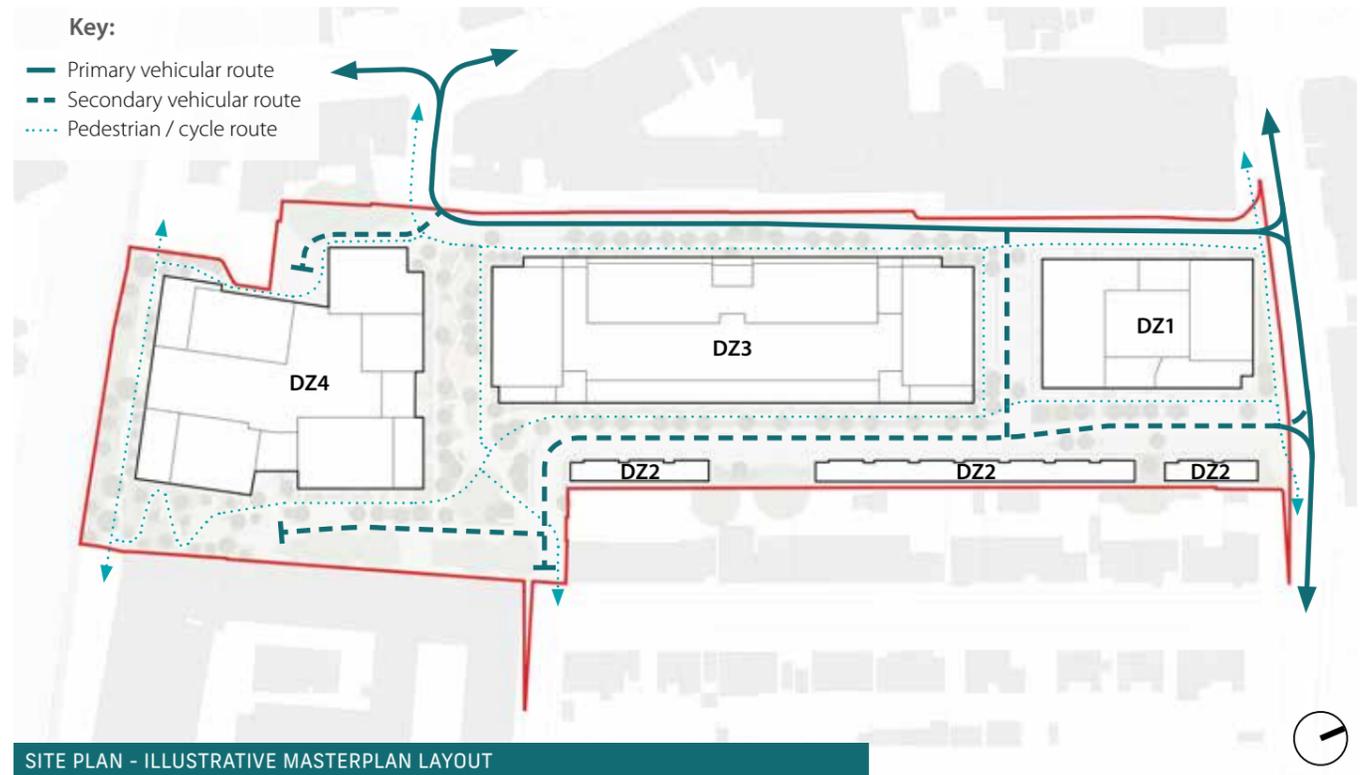
For homes with individual entrances, provision should be made for kerbside collection and space provided within **private amenity** areas for the storage of bins.

**M / 071**

Suitable provision of loading bays must be provided across the development for temporary parking of delivery and service vehicles.

**Advisory guidance**

A managed refuse strategy could be considered where access for refuse vehicles is limited (i.e. to Development Zone 4).



## 2.5 LANDSCAPE, AMENITY AND STREETSCAPE

### 2.5.3 Public Realm and Open Spaces

**M / 072**

The public realm design must maximise opportunities for planting that will improve amenity value, air quality, enhance biodiversity and microclimate and strengthen the Sustainable Urban Drainage System (SUDs) Strategy.

**M / 073**

**Open spaces** must provide a variety of activities, taking into account the needs of different users.

**M / 074**

Block orientation and massing must ensure the provision of acceptable levels of daylight and sunlight on the ground floor of public **open spaces** having regards to Building Research Establishment (BRE) guidance.

**M / 075**

Landscape design of **open spaces** and public realm must contribute to the legibility and wayfinding and should follow the principles of the site wide signage and wayfinding strategy.

**M / 076**

Public **open spaces** must face active frontages and should be well-overlooked.

**M / 077**

**Spill-out** areas must be considered to the public realm adjacent to non-residential uses to contribute to the vitality of the public realm and/or fronting open spaces.

**Advisory guidance**

**Open space** (including play space) should be provided in line (or excess) of cumulative need from homes delivered.

**Spill-out** areas should consider a minimum width of 2m.

Public amenity spaces should be designed with flexibility to adapt to different needs and to provide a range of functions for year-round enjoyment.

A high quality landscape design should be provided.

### 2.5.4 Streetscapes

**M / 078**

The proposed ratio between the street width to building height must consider the provision of appropriate levels of daylight and prevent potential wind tunnelling.

**M / 079**

Streets must be oriented to allow views and vistas to key **marker buildings** and key corners in order to provide legibility and a sense of identity.

**M / 080**

Where shared spaces are introduced for traffic calming purposes, these must incorporate principles of inclusive design (e.g. visually impaired, blind users) through surface finishes and colours, street furniture, and landscaping.

**M / 081**

Surfaces for pedestrians and cyclists must be suitable for wheelchair users, for example incorporating dropped kerbs and crossing points with associated tactile paving.

**M / 082**

Footpath must be a minimum width of 1.5m and be accessible and unobstructed. They are to have a maximum crossfall of 1:40 with drainage falls away from the buildings.

**M / 083**

Designated cycle lanes must be of a minimum width of 2m and should consider accessibility for cyclists using adapted cycles. Where there is a designated cycle route there must be a clear distinction between cycle lane and pedestrians.

**M / 084**

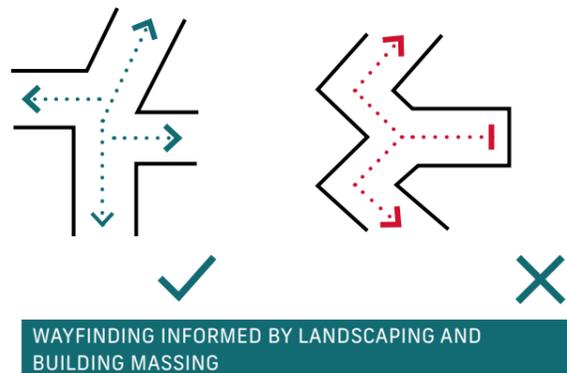
Adoptable roads will be agreed with the Local Authority and designed to adopted standards. The use of materials, furniture, bus stops, lighting are to be coordinated with LBH for suitability.

**Advisory guidance**

Traffic calming measures including horizontal and vertical features, such as raised tables, rumble strips, chicanes within the road design, natural landscape features, trees, planting and signage should be used to slow the speed of vehicles down and promote a safe pedestrian priority environment.

Crossing points should be clearly demarcated through changes in surface material and/or colour to denote pedestrian priority.

Where there are shared cyclist and pedestrian routes with occasional vehicular traffic for deliveries, refuse, emergencies and maintenance, these should be 3.7m wide. An additional space should be provided for pedestrians should they encounter oncoming vehicles. This is suggested as 1.2m wide with a flush kerb to define the space. These two zones would create an overall width of 5m.



Legible shared space/ surface



Incorporate principles of inclusive design through surface finishes



Surfaces that connect people, spaces and wildlife

WELL DESIGNED AND INCLUSIVE STREETSCAPES

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.5 Private Amenity and Defensible Space

**M / 085**

**Private amenity** and Defensible spaces can lie outside the area of the Maximum Development zones as defined in the associated Development Zones Parameter Plan.

**M / 086**

All residential properties at ground floor must provide **private amenity** space with a minimum width of 1.5m from the building facade to the boundary edge treatment. The transition from public to private space should be understandable and clearly defined.

**M / 087**

Railings, low brick walls or a combination of both can be used to the perimeter of the **private amenity** with a maximum height of 1.4m. Rendered walls should be avoided.

**M / 088**

All residential properties backing onto communal courtyards must provide private **Defensible space** with a minimum of 1.5m from building façade to the boundary edge treatment.

**Advisory guidance**

The building line and the depth of the **Defensible spaces**, where applicable, should remain largely consistent along the street.

Where **Defensible space** fronts communal courtyards, a gate should be provided to allow access to the communal amenity.

Where possible, buffer planting should be considered to the **private amenity**. A maximum height of 1.4m for buffer planting should be considered to allow for good visibility and encourage neighbourly interaction.

Where natural ventilation is to be provided to podium parking, this should be carefully integrated into the landscape design of the podium.

**M / 089**

The majority of ground floor private amenity space should be Type I, with the remaining being Type II:

**TYPE I - PRIVATE AMENITY SPACE**

Where possible, Type I must be considered for all ground floor homes facing public space. It provides a private ground floor amenity space with a minimum width of 1.5m excluding hedge. In addition, a minimum 800mm wide hedge planting must be planted for privacy. It should be maintained by site landscape contractors for consistency.

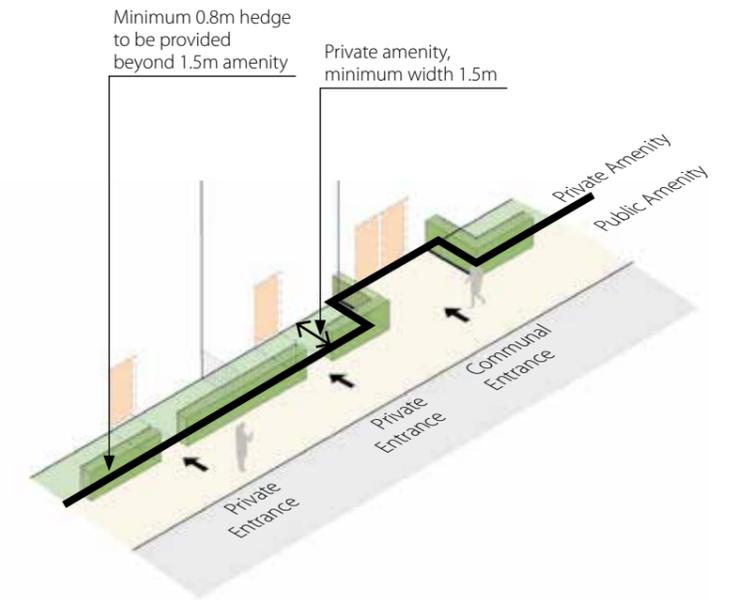
The provision of railing and/or a low wall should contribute to demarcation between private **Defensible space** and the public realm.

**TYPE II - PRIVATE AMENITY SPACE WITH DEFENSIBLE BUFFER PLANTING**

Where the space is tight, Type II must be considered. It provides a private amenity space with a minimum width of 1.5m. In addition, a buffer planting in the public realm should be provided where possible to the edge of the **private amenity**.



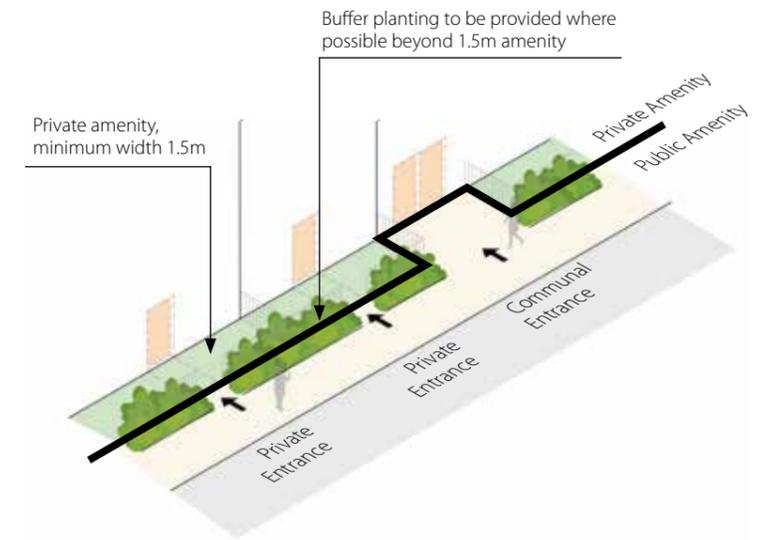
Defensible space with hedge



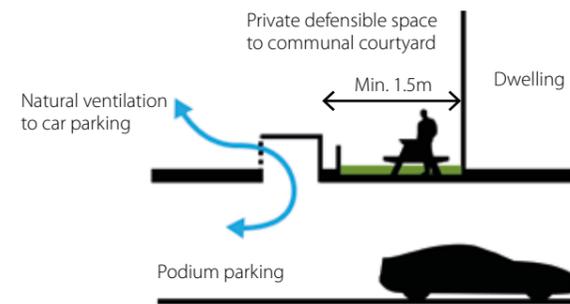
TYPE I PRIVATE AMENITY / DEFENSIBLE SPACE



Defensible space



TYPE II PRIVATE AMENITY / DEFENSIBLE SPACE



NATURAL VENTILATION TO PODIUM PARKING

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.6 Communal Courtyards

**M / 090**

Block orientation, massing, and appropriate distances from internal façade to internal façade must be considered in the design of internal courtyards in order to ensure appropriate levels of daylight and sunlight having regards to BRE guidance.

**M / 091**

**Semi-private amenity** must be provided within development zones in accordance with Hard and Soft Landscaping Parameter Plan.

**M / 092**

**Defensible space** must be provided to all residential properties fronting communal amenities in order to provide privacy and prevent overlooking to residential properties.

**M / 093**

The courtyard areas to the residential buildings must include elements of play, trees, biodiverse planting, social spaces where appropriate. The courtyards are to be equally accessible to all residents of the building.

**M / 094**

Level access to the communal courtyards must be provided from the communal cores or directly from the private amenities.

**M / 095**

Courtyards must be predominately soft landscape, maximising planting and limiting areas of hard landscape.

**Advisory guidance**

The courtyard design should consider the sunniest areas and maximise their use as social spaces with seating and play for children.

Communal courtyards should be attractive usable spaces for residents, which incorporate a range of activities including a playable landscape, meeting and sitting areas, garden spaces with hard and soft landscape and biodiverse planting.

Where courtyards are provided above podiums care should be taken to consider the depth required for raised planters to allow planting and trees to grow and thrive.

Building façade maintenance should be considered within the landscape design from the outset.

The technical constraints of soil, drainage and planting, including trees, on a concrete podium should be considered so that the planting has every chance of success.

A mixture of social and quieter spaces should be provided to cater for all residents. Covered or semi-covered areas may be incorporated for this function.

The planting strategy for courtyards and communal gardens should provide a garden that is attractive all year-round.

Green and blue roofs to the courtyard buildings could contribute to the overall SuDS strategy as well as enhancing local biodiversity and amenity value. Rainwater harvesting from the roofs could be used for irrigation and is a more sustainable approach.

Legible routes should be designed through communal courtyard spaces. Their design should ensure that they are accessible to users with all levels of ability.



Communal courtyard landscape



Play features incorporated into soft landscaping at podium level



Informal footpaths amongst lush planting

LANDSCAPED COMMUNAL COURTYARDS

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.7 Play, Fitness and Recreation

#### M / 096

The overall design will create a child friendly environment for residents and visitors. On site play provision will provide the following features to enable children to play:

- doorstep play within the communal spaces
- natural play features to the Austin road pocket park
- youth play and play-on-the-way features to the Community Square, alongside formal fixed equipment within the linear park.
- informal and play on the way features to Silverdale Road.

Please refer to the play and fitness strategy as set out in the **DAS** of the Outline Application for distribution of age groups and quantum for each character area.

#### M / 097

The play strategy must be both inclusive and flexible to provide a broad range of play opportunities for existing and new communities and visitors.

#### Advisory guidance

Dedicated play areas should be strategically located within the masterplan to minimise noise impact on residential dwellings.

Opportunities to improve and enhance health, including mental, physical and social well-being should be included within the landscape design.

Seating should be provided for parents and guardians to overlook play spaces. A range of seating heights that consider inclusivity and spaces for wheelchair users, pushchairs and prams should also be incorporated.

Physical fitness, play and recreational activities should be concentrated within the Community Square, Linear Park and Silverdale Road areas, although a range of play and fitness opportunities will be distributed throughout the whole site.

Instead of fences and barriers to enclose a play space, design proposals should consider a softer approach such as the use of planting, furniture, topography and material changes to help define them. Where gates are needed, more than one exit should be provided in case of danger.



Doorstep play within soft landscape for younger children



Imaginative play feature with a heritage theme



Active play for older children and adults

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.8 Materials and Street Furniture

**M / 098**

All street furniture must be:

- Robust and fit for purpose and sustainably sourced where possible. Timber to be FSC certified.
- Resistant to vandalism, be functional and present long lasting designs.

**M / 099**

Seating / rest points must be located:

- In overlooked areas, clearly visible along main circulation routes and nearby amenities where this is possible.
- So as not to obstruct main pedestrian and cycle routes, especially along busy routes. They should be located in areas where they will not create an obstruction for people with a visual impairment.
- On an accessible surface. Seats may be provided in areas of soft landscape as long as an accessible route is provided.

**M / 100**

Seating must consider the spaces around them so that wheelchair users, prams and pushchairs may also have equal access to the space.

**Advisory guidance**

Drinking fountains should be considered in key public spaces and they must be well overlooked.

**Setbacks** and armrests should be considered within the seating design to cater for inclusivity.

Seating should be located in response to sun orientation but also considering shelter from weather conditions.

Should bollards be needed, consider replacing them with other barriers such as street furniture, bicycle stands, trees, planters and level changes which are less obtrusive.

Street furniture, including benches and bins should respond in materiality to its context within the Site. For instance street furniture in highly used civic spaces should be very durable and easily cleaned. Benches in the park and garden spaces should be natural in material and finish, such as timber.

Street furniture within the public realm should be drawn from an overall material palette for site cohesion. Where appropriate consideration of distinctive elements of furniture design should be given within the **character areas** to distinguish them.

Paving should be robust and economic with key areas, such as thresholds and **gateways**, highlighted with a material change of a higher quality. The paving should respond to the context and hierarchy of spaces and function. Paving selection also should be considered so there is availability in the future to ensure continuity of finishes.

Where the type of traffic and paving size permits, paving should on the whole be laid flexibly with a strong retaining edge. This is good practice and more sustainable as it avoids the use of excessive cement. Pavers, bricks and blocks are also more easily

removed and replaced for repairs and accessing below ground services.

A reduced palette of paving materials is preferable, but within that different sizes of units and surface finishes can be applied to create character and to highlight spaces.

There should be a hierarchy of paving materials and sizes that identifies key areas as special places in the site. They should range from the very robust in highly trafficked areas, through to soft and permeable, such as self-binding gravel for informal natural paths.

In podium gardens, informal seating around raised tree planters should be explored.



Material reference to industrial & manufacturing heritage



Raised planter edges and seating



Coloured asphalt to demarcate the play area and become a play feature



Flexible seating



Durable small unit pavers within a communal courtyard



Ornamental paving pattern for a key route

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.9 Trees and Planting

**M / 101**

Underground service routes must be carefully coordinated with tree pit positions to ensure there are no clashes. Tree pits are to be large enough to ensure the recommended volume of soil is achievable for the trees to reach full maturity. Root barriers are recommended where necessary when close to services.

**M / 102**

Development must safeguard sufficient space to allow proposed trees to reach their mature size. Detailed landscape proposals will be submitted as part of the **RMA** and will ensure that tree planting is appropriate for the context.

**M / 103**

The right soil depths and soil specification is imperative in achieving healthy and long lasting growth to trees and plants. Site remediated soil can not be assumed to be appropriate for plant growth and if used, the soil must be tested by a soil specialist for suitability. These are to be supplemented by a soil specialist to achieve the right soil detail and specification.

**M / 104**

Tree pits within the hard landscape must be no less than 2m x 2m and no less than 1.2m deep. The soil volume that should be achieved is dependent on the tree size and advise from a specialist should be sought.

**Advisory guidance**

For impact, instant sense of maturity and to reduce damage by vandalism or other events, street trees should be specified as large semi-mature stock. Trees to the street should be standard trees with minimum clear stem of 2.2m.

Trees and planting should enhance amenity, increase the variety of habitats and deliver a net gain in biodiversity.

Plant species should suit their locations and provide seasonal colour and composition. Planting should make a contribution to the sensory experience and offer interest for those with visual or hearing impairments. Planting should have the right specification to achieve an immediate impact and full appearance.

Tree pits should positively drain where possible to promote healthy root growth.

It is more sustainable and cost effective to plant trees in soft areas and this should be the prevailing strategy unless there are specific **character areas** that require them in hard areas (refer to Section 3 of this document).

Tree planting on podiums should consider trees planted in soft raised areas to achieve the right soil depth and root growth, rather than planting trees into containers which require more watering and may stunt tree growth.

Development proposals should consider native trees where suitable including wildlife attracting and climate resilient species.

Fruiting and flowering trees should be incorporated to provide

nectar and food. These should only be planted within soft landscape.

Trees in the landscape should seek to contribute to wayfinding and legibility.

Where soil volumes are difficult to achieve, soil volumes for street trees should seek to follow a 'common sense' approach.

Where hedges are provided, these are to be suitable for position and easily formed and maintained.

Buffer planting to play areas should help enclose spaces and deter children from running onto roads and other hazardous areas. The planting should be robust and have all year round structure whilst also including flowering sensory planting. Non-toxic species should be considered and the heights of the planting should be kept to 1m for good visibility.

Planting used in play trails and other playful areas should have a high proportion of sensory planting that engages children's curiosity and senses. Visual stimulation, touch, fragrance, sound and taste are all encouraged.



Rain-garden planting



Planting with multi-stem trees



Flower rich herbaceous planting amongst trees

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.10 Biodiversity and Ecology

**M / 105**

Design proposals must achieve an increase in the urban green infrastructure of the borough, improve ecological connectivity and deliver a net gain in biodiversity.

**M / 106**

Landscape proposals must include a rich variety of ecological measures to create a green and biodiverse wildlife haven. Planting proposals should prioritise native or wildlife attracting species and include shrub herbaceous and hedgerow species that establish a variety of ecological habitats.

**M / 107**

Where appropriate, features such as birds and bat boxes must be incorporated within the design in appropriate locations (i.e. noise and light/heat conditions will dictate where/which elevations are suitable, etc.) to provide nesting and roosting spaces for locally identified species.

**Advisory guidance**

Flower rich grasslands and meadows containing a mix of native and ornamental plants should be considered across the Site and in particular to the soft landscaped areas of the Community Square for people to engage with. Plant species that attract pollinators should be emphasised.

Opportunities for small-scale food growing may be accommodated within communal courtyards, roofs, under used spaces, etc.

A rain garden which is to be associated with a SuDS feature adjacent to Austin Road is encouraged to enhance biodiversity with unique characteristics. Other ecotones (habitat **transition zones**) should be encouraged where possible to enhance biodiversity.

### 2.5.11 Urban Greening Factor

**M / 108**

The green infrastructure strategy for development proposals must seek to maximise the extent of Urban Greening Factor (UGF) within the Site, to provide space for valuable habitat, improve microclimate and urban drainage and create a stepping stone for the wider network of green infrastructure in the area.

**Advisory guidance**

UGF should be provided in accordance to the assumed calculation set out in the Outline Planning Application. Each **character area** should seek to consider planting categories that maximise UGF contribution.



Meadow grassland



Bug hotels



Sustainable urban drainage features

## 2.5 LANDSCAPE, AMENITY AND STREETScape

### 2.5.12 SuDS, Water Management and Irrigation

#### M / 109

Design proposals must create sustainable drainage solutions in line with the recommendations of the SuDS Manual, including (but not limited to) green roofs, rain gardens, soft landscaping and below ground attenuation tanks.

#### Advisory guidance

Consideration should be given to a more sustainable means to water plants. This includes, automatic irrigation for lawns and podiums and using rain water harvesting where possible. All of these should be coupled with the right planting strategy.

Natural features such as rain gardens should be considered where possible. Design should prioritise above ground SuDS features that enhance biodiversity and amenity value rather than below ground attenuation features.

Permeable paving should be considered where possible as part of the overall SuDS strategy.

### 2.5.13 Safe and Secure Environment

#### M / 110

In order to create a safe and secure environment that designs out and limits the potential of crime, the design should be assessed by Secured by Design (SBD) or equivalent criteria at the time of the **Reserved Matters Application** throughout the design process and their recommendations incorporated where feasible.

#### M / 111

The development must provide well-defined and overlooked routes with spaces and entrances to promote convenient movement without compromising security. Secured By Design principles should be prioritised and implemented throughout the masterplan to increase natural surveillance and discourage anti-social behaviour.

#### M / 112

The proposed development must avoid the creation of dark, hidden and poorly overlooked corners, routes or spaces.

#### M / 113

Public spaces must be well lit in order to aid security and natural surveillance, whilst considering local ecology and the proximity of private habitable rooms.

#### Advisory guidance

The lighting design shall fulfil the principles of Secured By Design or equivalent criteria at the time of the **Reserved Matters Application** by creating a well lit and safe environment.

Spaces should allow for good natural surveillance by residents and visitors and recognise that the safest spaces are those that are well designed, popular and enjoyed positively. Trees should be specified with 2.2m clear stems and planting to be kept to around 1m in height to allow for good visibility.

The use of obvious CCTV should be minimised and kept to key points, as overt use of CCTV and signage can also imply spaces are unsafe and discourage people from using them.

## 2.6 SUSTAINABILITY

### 2.6.14 Daylight, Sunlight and Overheating

#### M / 114

The new development must not cause excessive overshadowing to proposed communal or **private amenity** spaces or neighbouring properties or dwellings.

#### M / 115

The design of tall buildings must consider the potential environmental impacts on the surrounding **open spaces** and public realm in relation to wind, daylight, sunlight and temperature conditions.

#### M / 116

Development proposals must ensure the provision of acceptable levels of daylight and sunlight on the ground of public **open spaces** and communal courtyards, having regards to BRE, to provide high quality amenity spaces and planting that grows and thrive.

#### M / 117

Development proposals must minimise the potential for internal overheating. This could include:

- Minimising internal heat generation through energy efficient design, such as the incorporation of shading, high albedo materials, fenestration design, insulation and/or the provision of green infrastructure;
- Reducing the amount of heat entering a building in summer;
- Managing the heat within the building through exposed internal thermal mass and high ceilings; and
- Passive and mechanical ventilation.

#### Advisory guidance

South facing blocks and fenestrations should consider internal thermal comfort. Mitigation measures such as the use of high albedo materials, shading and passive ventilation should be considered.

Aspect and understanding the locations of sunnier and shadier areas will inform the design. For instance, people prefer to dwell in sunnier areas, so the majority of social spaces, play areas and seating should be located in these areas. Aspect is important for choosing the right themes of planting for the right areas.

### 2.6.15 Energy

#### M / 118

Passive measures to improve the energy efficiency and thermal performance of the building form must be considered, such as orientation, massing, layout, shading, higher level of insulation for roofs, external walls and floors, and high performance windows and doors.

#### Advisory guidance

Other important measures such as lower air permeability and minimising thermal bridges through best practice detailing should be explored.

A range of design measures will be deployed to avoid and mitigate negative environmental impacts such as noise, pollution and any potentially negative micro-climatic effects.

Development proposals should explore suitable low carbon and/or renewable heating technologies and consider how these could be maximised.

## 2.7 HERITAGE

### M / 119

The architecture and choice of materials should enhance the character of the area.

#### Advisory guidance

Where utilised, public art and wayfinding that reflects the history of the area should be considered in key areas of the masterplan to support key spaces or buildings. Where it is used, public art must be designed to have local significance and be considered for its visibility, universal appeal and longevity.

Public art should sit in a location that does not cause safety concerns or attract anti-social behaviour.

The heritage elements for the Site should revolve around the themes of cultural, natural and industrial/manufacturing for consistency. This could include naming of spaces/buildings, signage/wayfinding and wider landscape and architectural details that link to the heritage.



1: FORMER X CHAIR FACTORY



2: FORMER ORCHESTRELLE FACTORY



3: OLD VINYL FACTORY (FORMER EMI FACTORY)



KEY HERITAGE BUILDINGS IN THE SITE'S CONTEXT



4: FORMER NESTLE FACTORY



# **3. CHARACTER AREAS AND STREET TYPES**

# 3.1 CHARACTER AND APPROACH

## CREATING GREAT PLACES WITH DISTINCTIVE FEATURES

The Hayes Town Centre Estate will provide a variety of high quality homes, landscape and green infrastructure, introducing a wide range of green spaces throughout the new neighbourhood.

All **character areas** draw upon the Project's vision to ensure future development will achieve the aspirations for the Site. As described in Section 1 of this document, these are:

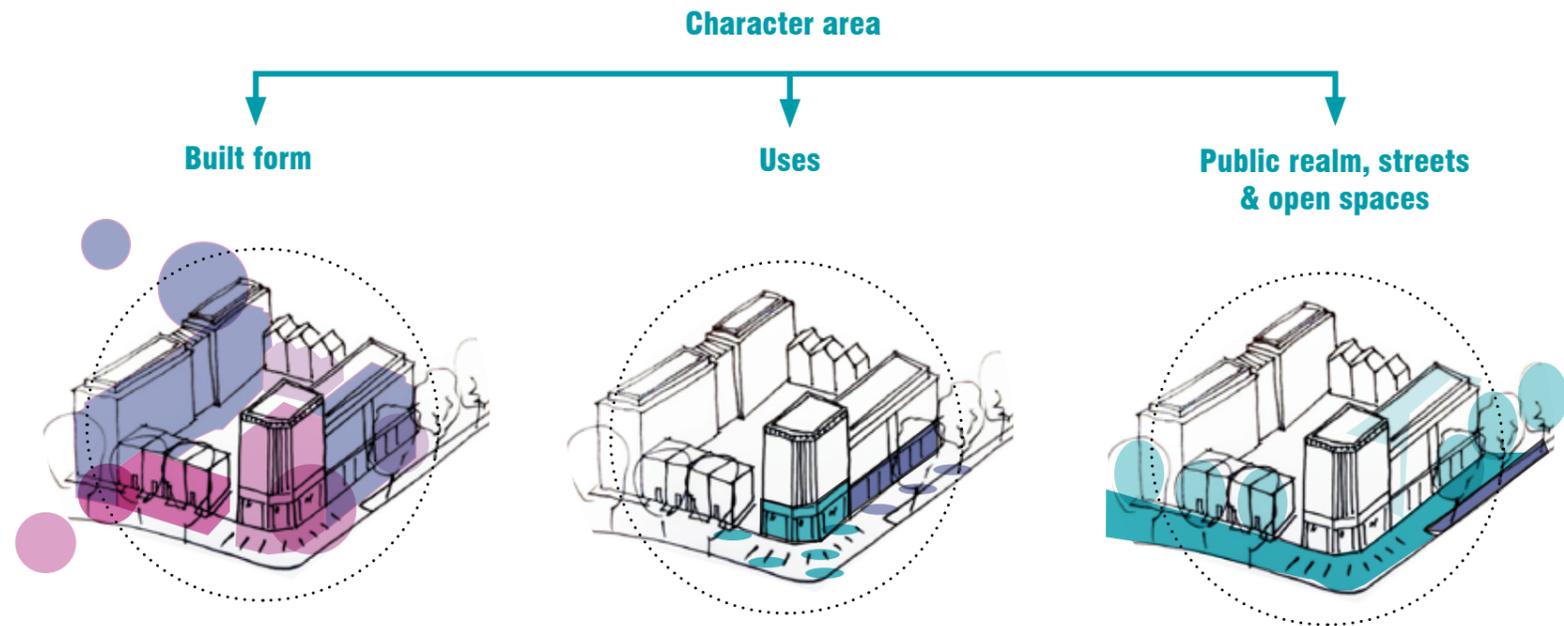
- To create a new piece of town;
- Create a place with character and identity;
- Prioritise a street based design approach;
- Create high quality new homes;
- Support the wider regeneration of Hayes;
- Create a safe and secure development;
- Design a sustainable neighbourhood; and,
- Create places and buildings that are durable and will improve with age.

## ELEMENTS THAT DEFINE A CHARACTER AREA

In line with the principles set out in the National Model Design Code, a character area within the Hayes Town Centre Estate is defined by a unique combination of landscape and open spaces, built form and uses creating distinctive environments. These unique combinations has resulted in 5 distinctive character areas that are presented in the following pages.

A description of the three key components of each **character area** is presented in the diagram adjacent.

The coding elements and associated design guidelines for each character area within these sections have been developed to ensure that any future Reserved Matters Application will achieve the overall vision and aspirations for the Hayes Town Centre Estate. The **character areas** also consider a holistic response that maintains urban continuity, integrity and contextual integration throughout the site.



### BUILT FORM

Built form refers to the scale, shape and configuration of all the buildings as well as their relationship and approach to the public realm and streets for each character area. Built form also refers to the appearance and features of the elevational approach - the colour, materiality and detail etc. Overall, the built form should aim to reinforce the desired vision of the Hayes Town Centre Estate and ensure that new buildings create a coherent, harmonious and appealing urban environment that helps to build the desired uniqueness for each character area together with the uses, public realm, streets and open spaces.

The built form will cover:

- **Built form and massing**
- **Buildings typologies**
- **Townscape approach**
- **Architecture Approach**

### USES

The uses of a space or building contribute to how the building and space are being used, being designed for and also help to generate nodes and/or pedestrian footfall.

The uses must be in line with the Land Uses Parameter Plan. The uses will aim to bring life and activity to the built form, public realm, streets and open spaces in the Hayes Town Centre Estate.

Uses are either defined and/or described as:

- **Residential uses**
- **Non-residential uses**

### PUBLIC REALM, STREETS AND OPEN SPACES

The Hayes Town Centre Estate will become a destination and home for generations to come - and the public realm, streets and open spaces are at the heart of the masterplan design.

With a series of **open spaces**, landscaped streets, and a strong connection to the adjacent canal and High Street, homes will have places to meet, live and enjoy all year around.

Different type of **open spaces** and public realm will be used in particular ways and they inform the aspect, sense and environment of each character area.

Public realm, streets and **open spaces** include considerations of:

- **Streetscape**
- **Private amenity**
- **Public open space**
- **Semi-private amenity**
- **Planting**

### 3.1 CHARACTER AND APPROACH

The Hayes Town Centre Estate masterplan comprises of five highly linked and defined character areas. These character areas are oriented and informed by the kind of open space and/or public realm they relate to, the activities that will be generated between them, the scale and massing of the built form and the **townscape** approach and, therefore, the environments that are created for each of them that makes them unique and distinctive from each other.

The location, type and extent of different uses define also the character of places, the activities that they generate and the way people relate to them. The **character areas** also reflect their contextual environment and aim to highlight features and opportunities in the context - linking to adjacent existing building uses or landscape features (such as the adjacent canal).

The five different **character areas** will create variation and diversity within the Hayes Town Centre Estate, achieving different environments that will contribute to the vibrancy of the new neighbourhoods and the surrounding area.

The graphic adjacent indicates the location of the different **character areas** in the Hayes Town Centre Estate.

#### CHARACTER AREAS WITHIN THE HAYES TOWN CENTRE MASTERPLAN

1. Austin Road



2. Canalside



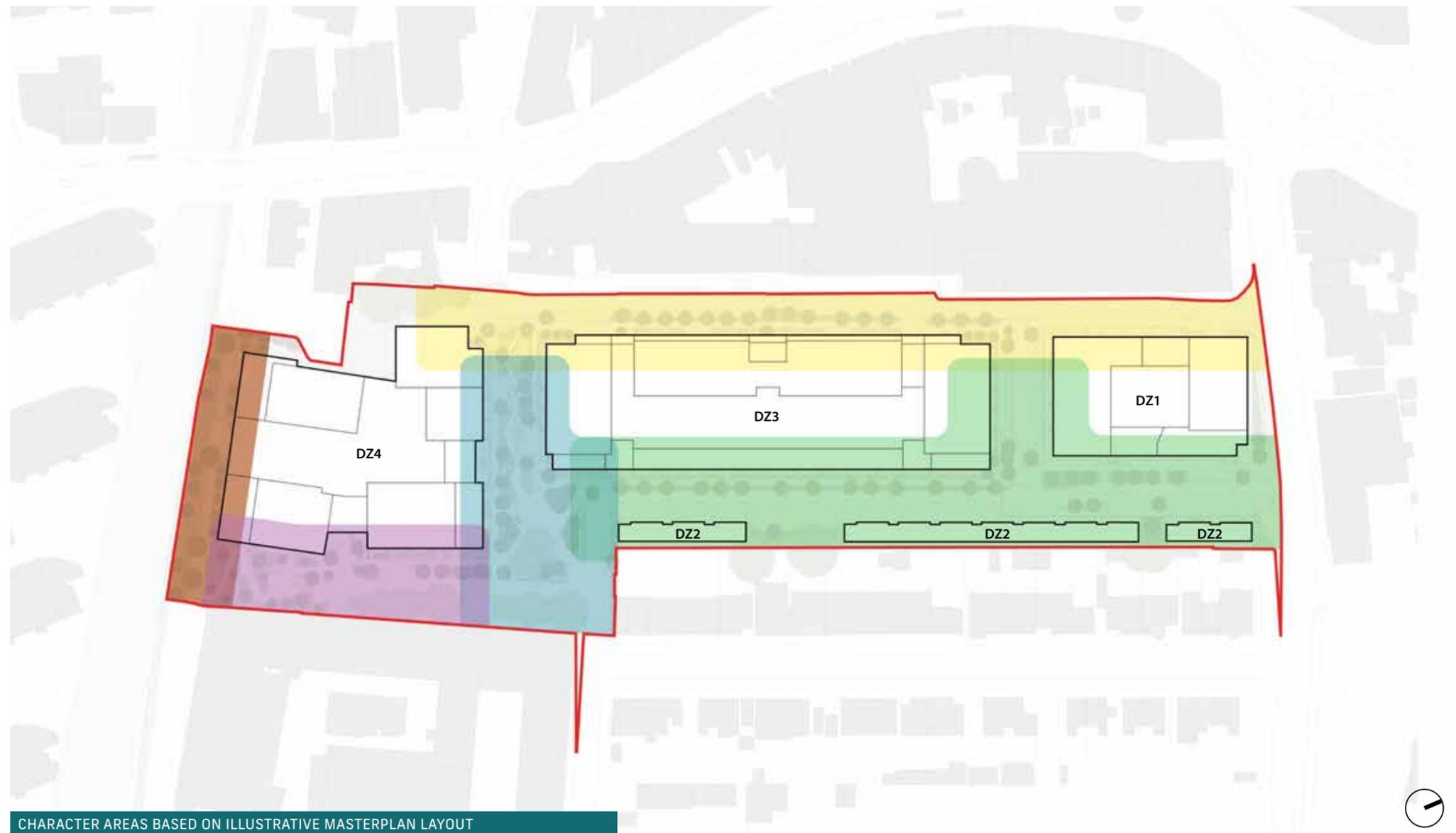
3. Crown Close



4. Community Square



5. Silverdale Road



CHARACTER AREAS BASED ON ILLUSTRATIVE MASTERPLAN LAYOUT

## 3.2 AUSTIN ROAD

### 3.2.1 Introduction

Adjoining the existing residential Little Road, characterized by semi-detached houses on both sides, the leafy, tree-lined Austin Road is designed to create an intimate neighbourhood street. It will feature smaller-scale building typologies on both sides, responding sensitively to the immediate context and providing a stepping stone towards higher density near the Town Centre.

Austin Road serves as primary access route into the site from Pump Lane, offering a direct pedestrian connection, via a ramp, to the canalside walk. Different to Crown Close, it should be prioritized as a key pedestrian route. The environment along Austin Road will actively encourage and maximize pedestrian and cycle-friendly experiences.

Homes within this character area will benefit from a quiet, family-oriented environment, as its roads are primarily designated for resident-only servicing, refuse collection, and vehicular access. Ground-floor homes will also feature private front gardens with buffer planting.

Small pocket parks will be integrated along the route. Trees and biodiverse planting, including a rain garden (an integrated SuDS feature), will extend along Austin Road, offering opportunities for doorstep play and fostering residential interactions, all overlooked by the dwellings facing the street.

#### KEY CHARACTER ELEMENTS

##### Uses and Activities

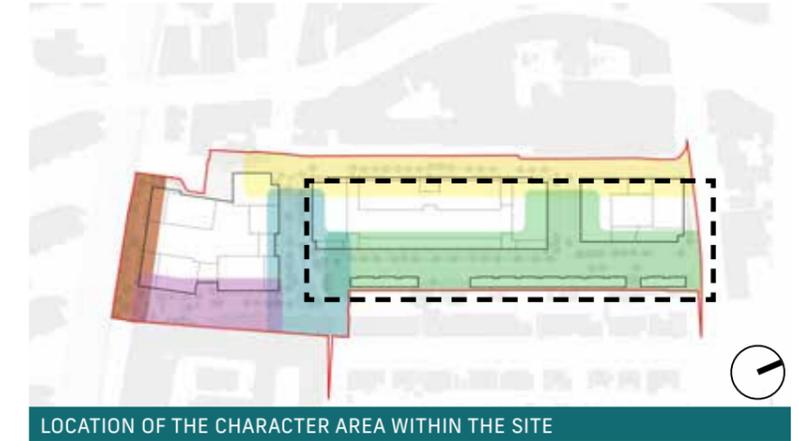
- Main north-south route into the heart of the site, connecting Pump Lane and Canal-side Walk.
- Active street scene with private ground floor amenity spaces and private residential entrances creating a well overlooked environment.
- Low scale residential uses will create a sense of neighbourhood and residential interaction.

##### Public Realm and Amenity

- Linear green route with an integrated rain garden, rich biodiverse planting and seating.
- Pocket park providing opportunities for doorstep play and seating.

##### Built Form and Architecture

- Smaller scale residential typologies with individual entrances (mews houses and townhouses) contributing to an intimate area.



LOCATION OF THE CHARACTER AREA WITHIN THE SITE



INSPIRATIONAL IMAGES FOR AUSTIN ROAD



AUSTIN ROAD CHARACTER AREA LOCATION PLAN

## 3.2 AUSTIN ROAD

### 3.2.2 Built Form

#### M / 120

Height and massing to Development Zones 2 & 3 fronting Austin Road must consider:

- The provision of strong, **active frontages** overlooking the street;
- Lower massing to Development Zones 2 & 3 facing onto Austin Road must be provided. This mandatory lower massing excludes the massing to corners of Development Zone 3, which should be taller to create emphasis for the connections between Austin Road and Crown Close; and,

#### M / 121

Minimum distances between zones should be maintained to allow for the provision of the **streetscape** along Austin Road, which must be 15m at the closest point between Development Zones 2 & 3 in line with the Development Zones Parameter Plan.

#### Advisory guidance

Massing frontages to Development Zones 2 & 3 facing Austin Road should consider the introduction of vertical **setbacks** to provide relief and rhythm along the length of the character area.

The massing and height of Development Zone 3 should consider the introduction of **key corners** facing onto Austin Road, clearly visible from Pump Lane and Silverdale Road to enhance wayfinding into and around the site, and to frame the mandatory lower massing elements.

#### LAND USES

##### M / 122

Development within Development Zones 2 & 3 fronting onto Austin Road must consider the provision of active residential frontages in line with the Land Uses Parameter Plan.

#### BUILDING TYPOLOGIES

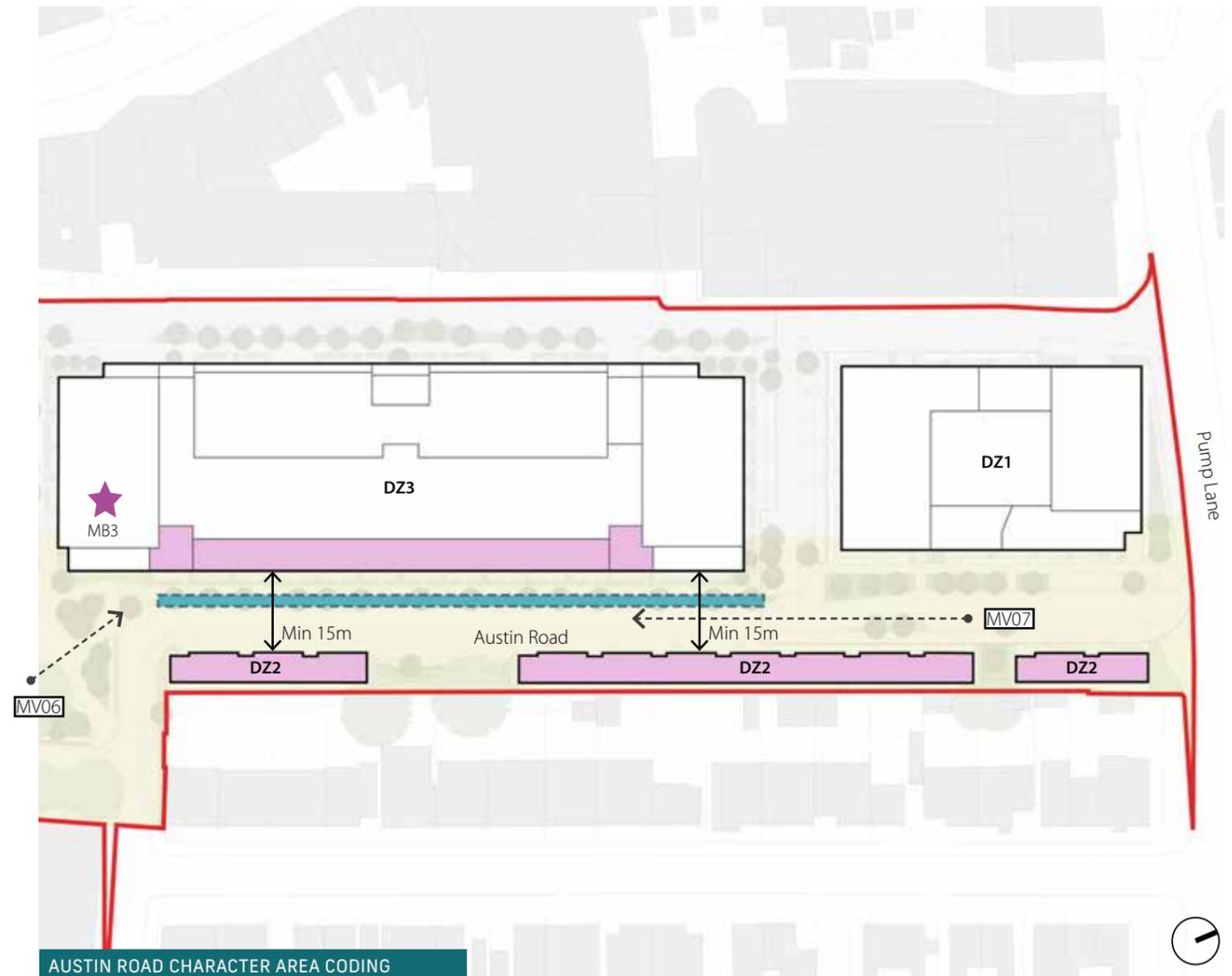
##### Advisory guidance

Advisory building **typologies** for blocks fronting onto Austin Road are as per the table below:

Advisory building typologies for blocks along Austin Road

Typologies	Location
A Mews houses	DZ2
B Three storey townhouses	DZ3
C Apartment blocks with duplexes to ground level	DZ1, Corners of DZ3 to act as markers

See chapter 2.2.12 Building typologies - Overarching principles for further description of these typologies.



AUSTIN ROAD CHARACTER AREA CODING

- Key**
- Application site area
  - Maximum development plot
  - Lower massing - minimum 5m depth
  - ▨ Area for the provision of a SuDS rain garden
  - > Mandatory view

## 3.2 AUSTIN ROAD

### 3.2.2 Built Form

#### TOWNSCAPE APPROACH

##### M / 123

Any building elements projecting beyond the lines of the Maximum Development Zones must reflect the limitations of the Development Zones Parameter Plans and not obstruct the visibility along Austin Road (Mandatory View 07).

##### Advisory guidance

The north-eastern corner of Development Zone 3 should be designed in a way as to promote legibility and wayfinding from Pump Lane into the site.

The facade design of Development Zones 2 & 3 should contribute to the character and significance of the **marker building** & key corner of Development Zone 4 (outside of the character area), accentuating the framing of the view along Austin Road.

#### BUILDING FRONTAGES AND ELEVATIONS

##### M / 124

Development within the Austin Road **character area** must maximise active frontages and residential entrances with direct access from the street.

##### M / 125

**Blank frontages** must be avoided along Austin Road.

##### M / 126

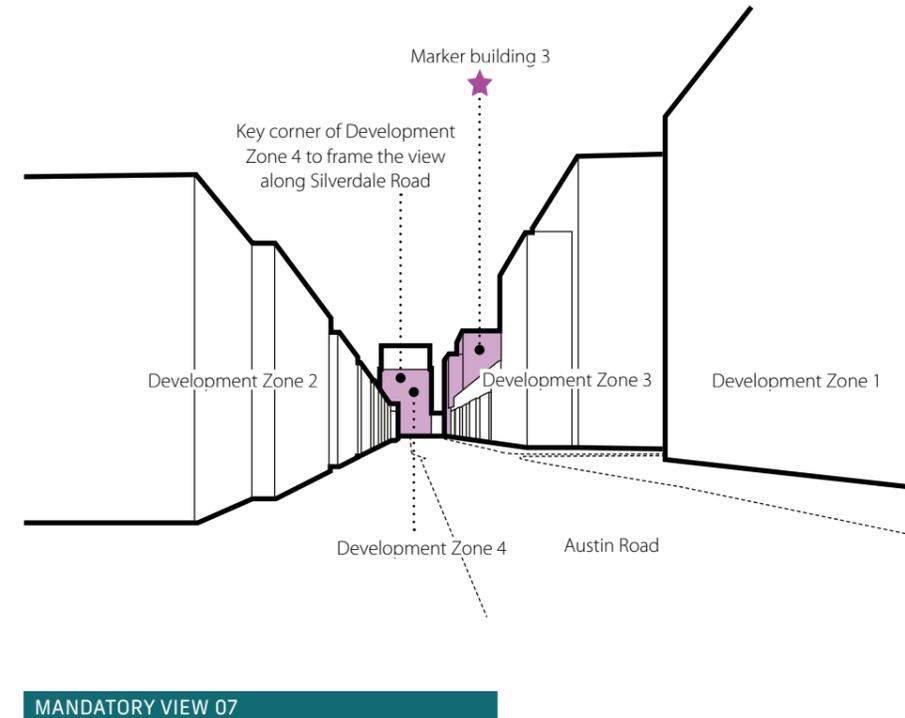
Vehicular entrances to podium car parking within the development plots is not allowed along frontages facing Austin Road.

##### Advisory guidance

The frontages of Development Zones 2 & 3 facing onto Austin Road should contribute to, frame, and define the **open space** and public realm they surround.

Facade treatments that contribute to a strong vertical rhythm is encouraged along the Austin Road **character area**.

Masonry should be the predominant material in the design of elevations facing onto Austin Road.



## 3.2 AUSTIN ROAD

### 3.2.3 Open Space and Public Realm

#### ROUTES AND FOOTWAYS

##### M / 127

The new residential street (Austin Road) must be a minimum of 15m wide from building to building in line with the Development Zones Parameter Plan, to facilitate all required elements for a successful street within the site.

##### M / 128

A pocket park must be provided in the massing break within Development Zone 2. This should include biodiverse planting and trees, along with natural play features and seating suitable for its anticipated use.

##### Advisory guidance

A pedestrian footpath should be provided to both sides of the road, a minimum of 2m wide.

A 1.5m wide biodiverse rain garden should be provided as a buffer strip between the road and the footpath bordering Development Zone 3. This could include linear 'play on the way' elements, seating, social spaces and trees and planting.

Traffic calming measures should be explored, such as trees, street furniture and other obstacles, to reduce the speed of vehicles.

Austin Road should include a balanced street scene for cyclists, pedestrians and occasional vehicles.

#### PRIVATE AMENITY AND DEFENSIBLE SPACE

##### Advisory guidance

Where possible, ground floor private amenity space for family homes without upper amenity should be increased and maximised. A planting buffer should be provided beyond.

#### MATERIALS AND STREET FURNITURE

##### Advisory guidance

The materials and furniture palette should respond to the unique nature of Austin Road and enhance its characteristics and sense of place within the Hayes Town Centre Estate.

Materials that are higher in quality and have texture, grain and warm tones should be considered.

Benches, bins and other furniture should reflect the space as being well used and public in nature. Materials that are robust and easy to maintain should be considered.

#### TREES AND PLANTING

##### Advisory guidance

Trees and plants form a vital component of the **character area** and should be specified to enhance and enrich the character of the space.

Tree species that have a particular theme are recommended that make the area distinctive and attractive. Smaller specimen trees with spring blossom or vibrant autumn colours should be considered.

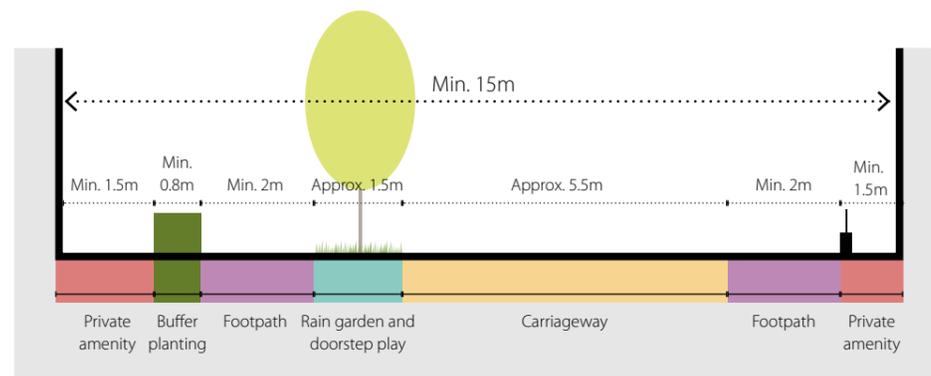
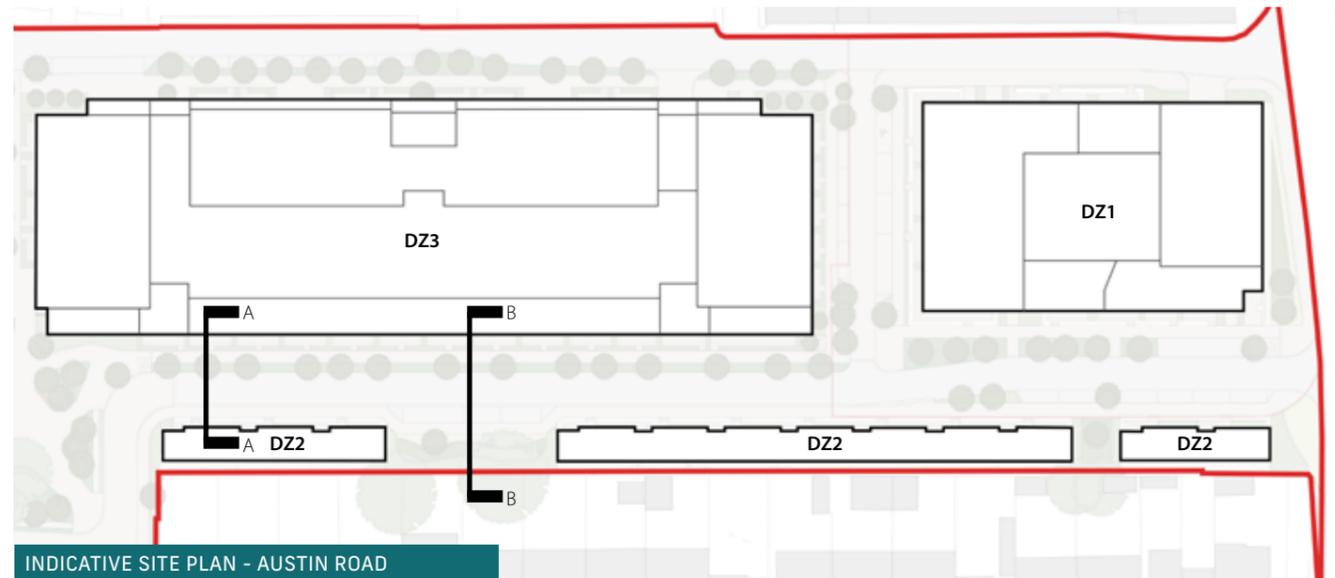
Drifts of biodiverse planting that emphasise the linear nature of the spaces should be included.

The rain garden and pocket park should be vegetated with biodiverse planting and be suitable for their position and aspect.

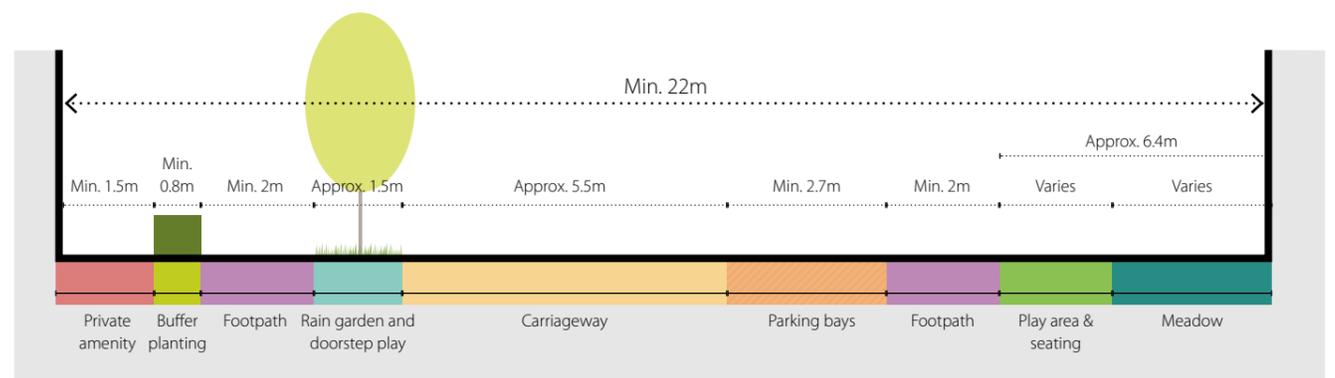
Planting to the Rain Gardens should be tolerant of occasional flooding but also withstand droughts.

The planting palette should contain all year round structure and interest and also along with trees and other planting, create biodiverse corridors along the streets. The planting could also form part of a sensory play experience.

The planting to the buffer zones should form part of a combined theme of planting across the Site, and whilst including all year structure to help maintain privacy, should also have elements of colour, interest and biodiversity.



INDICATIVE STREET SECTION A-A



INDICATIVE STREET SECTION B-B

## 3.2 AUSTIN ROAD

### 3.2.3 Open Space and Public Realm

#### PLAY, FITNESS AND RECREATION

##### M / 129

Linear doorstep play experiences for 5-11 year olds form part of the overall play strategy in the Outlined Planning Masterplan. Reference and consideration to the play strategy must be made and the proposal should seek to achieve the required play quantum.

##### M / 130

Recreational and play items must be included within the pocket park to create opportunities for play and recreation for the whole family.

##### Advisory guidance

Austin Road provides an enclosed residential environment that is well overlooked for play opportunities for younger children. Natural trails and a string of experiences should allow children to explore and make the most of the spaces in a safe environment.

The central vegetated rain garden should include opportunities for play, such as play trails, balancing features and routes through the planting beds, providing elements for children to explore, and engage with. Sensory planting such as grasses would enhance this riparian feature.

#### SUDS

##### Advisory guidance

A central rain garden should be provided to form part of the distinctive character of Austin Road and to capture and attenuate water run-off from the adjacent hard spaces.

Other SuDs features such as permeable paving should be considered to enhance the overall SuDS strategy.

#### URBAN GREENING FACTOR (UGF)

##### Advisory guidance

The themes that contribute towards the UGF calculations for the public realm of Austin Road should maximise permeable paving, flower-rich perennials, amenity grassland, rain gardens and standard trees. Both intensive and extensive green roofs are provided on the surrounding buildings.

Austin Road should be rich with biodiverse planting and trees, supporting a range of habitats with dry and wet environments.

### 3.3 CANALSIDE

#### 3.3.1 Introduction

The Canalside **character area** is crucial in stitching the proposed development with the existing public amenity route along the Grand Union Canal, through considered built and public realm interventions. The built form references existing massing on the opposing bank, with two slender, linear blocks facing the canal.

The existing upper canalside path will be pedestrianised and enhanced, with new biodiverse planting, seating and high quality amenity spaces for incidental interactions between residents and the public. A new, high quality and accessible pedestrian connection between the canal path and Silverdale Road is also proposed, with further biodiverse planting to create a leafy tree-lined route (this will be covered within a later **character area**).

Buildings facing onto the canal will benefit from prime views along the canal in both directions, as well as onto the green space and tree canopy below.

#### KEY CHARACTER ELEMENTS

##### Uses and Activities

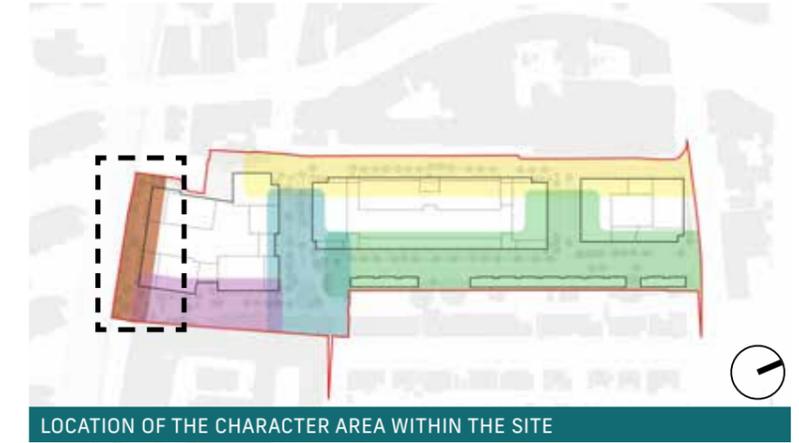
- Enhancing and connecting the existing east-west pedestrian & cycle route along the Grand Union Canal into the site.
- Private residential overlooking the canal route will provide passive surveillance and promote residential interaction.

##### Public Realm and Amenity

- Enhanced public realm along the upper canal path.
- Improved connection onto the canal path from Silverdale Road.

##### Built Form and Architecture

- Two tower elements facing onto the canal, referencing the existing slender massing on the opposing bank.
- Prominent key corners facing onto the canal to provide legibility to the site in views along the canal.



INSPIRATIONAL IMAGES FOR CANALSIDE



### 3.3 CANALSIDE

#### 3.3.2 Built Form

**M / 131**

Height and massing to Development Zone 4 fronting onto the canal must consider:

- The provision of strong, **active frontages** overlooking the canal path;
- The creation of strong corners and a **marker building** facing onto the canal as shown in the diagram adjacent; and
- Taller massing elements similar in height to the existing massing on the opposing bank, in line with the Building Heights Parameter Plan.

**M / 132**

Minimum distances between blocks should be maintained to allow for the provision of adequate daylight and sunlight into the communal courtyard of Development Zone 4, which must be 16m at the closest point.

**M / 133**

The articulation of the height and massing of the south-eastern block must consider its status as a **marker building**, that celebrates the entrance into the site from the canal path and provides legibility to the scheme in Mandatory Views MV01 & MV02.

**M / 134**

The height and massing of the south-western block must consider the prominence of the **marker building** behind (MB2), the top of which must remain visible in Mandatory view 01. In order to contribute to the character of this **marker building**, these adjacent blocks must allow for a height difference of two storeys.

**Advisory guidance**

Whilst not defined as '**Key corners**', buildings to Development Zone 4 facing onto the canal may consider taller massing and apartment typologies to emphasise their character as **key corners**, framing views and contributing to legibility and wayfinding both within the Site and from the surrounding area.

The massing facing onto the Canalside **character area** should consider a lower element directly adjacent to the canal, facilitating a step up in scale when viewed from the south.

**LAND USES**

**M / 135**

Development within Development Zone 4 fronting onto the canal must consider the provision of active residential frontages in line with the Land Uses Parameter Plan.

**BUILDING TYPOLOGIES**

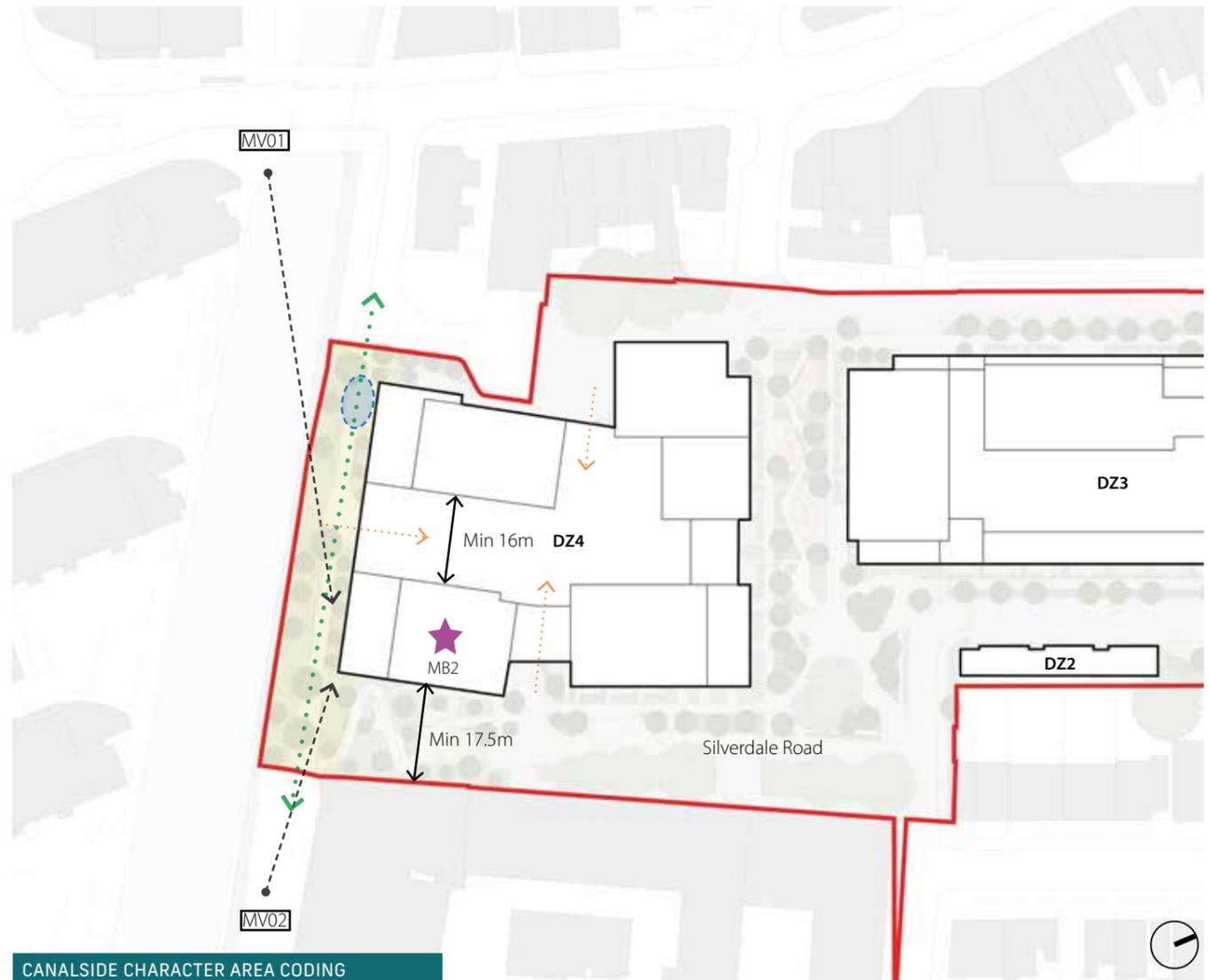
**Advisory guidance**

Advisory building **typologies** for blocks fronting onto the canal are as per the table below:

Advisory building **typologies** for blocks along the Canal

Typologies	Location
C Apartment blocks	DZ4

See chapter 2.2.12 Building typologies - Overarching principles for further description of these typologies.



CANALSIDE CHARACTER AREA CODING

- Key**
- Application site area
  - Maximum development plot
  - ★ Marker building
  - > Mandatory view
  - > Breaks within the form to provide suitable daylight and sunlight to the internal courtyard
  - <---> Provision of key pedestrian & cycle route
  - Arrival space

## 3.3 CANALSIDE

### 3.3.2 Built Form

#### TOWNSCAPE APPROACH

##### M / 136

The massing, scale and appearance of **Marker building 2** must consider:

- Mandatory View 01: the treatment of the top of Marker Building 2 must create visual separation from the adjacent, lower block facing onto the canal for visual legibility in this view.
- Mandatory View 02: the treatment of this corner facing onto the canal path should provide visual wayfinding to enhance the connection into the site.

##### Advisory guidance

The prominent corner to the south-west of Development Zone 4 should create an arrival space to celebrate the entrance into the site and promotes legibility and wayfinding when the site is viewed from the adjacent bridge over the canal (Mandatory View 01).

#### BUILDING FRONTAGES AND ELEVATIONS

##### M / 137

Development fronting onto the canal must maximise active frontages facing onto the public realm. **Blank frontages** must be avoided along this elevation.

##### M / 138

The south-eastern block must be designed as a **marker building** incorporating one or more design characteristics that make it unique in relation to the surroundings, such as massing, height, scale, facade treatment, materiality, facade detailing and/or rhythm. Please refer to Section 2.2.1 for further information.

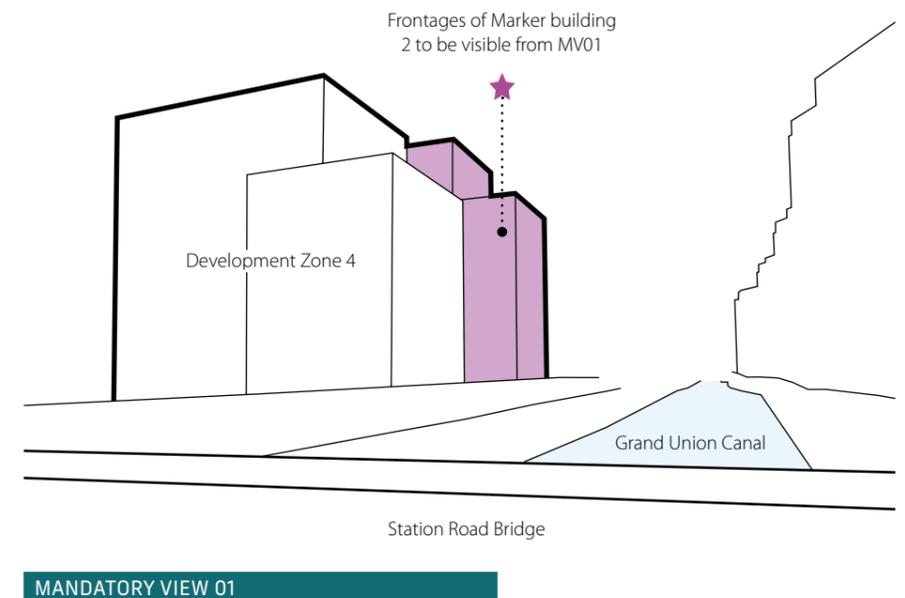
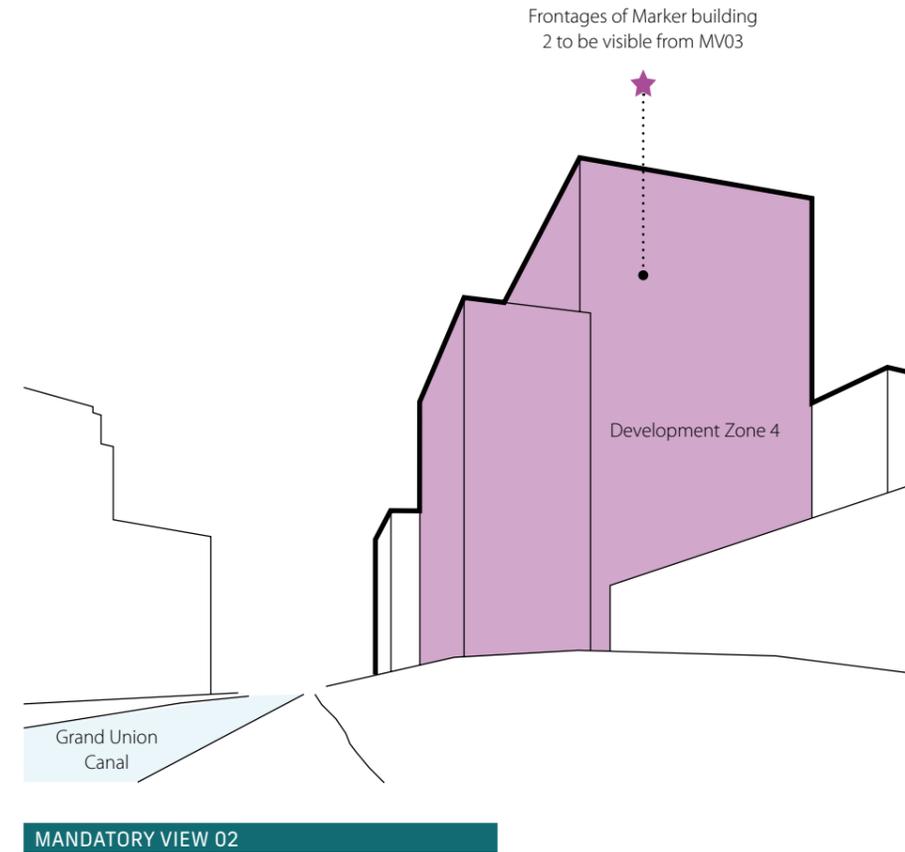
##### Advisory guidance

The frontages of Development Zone 4 facing onto the canal should contribute to, frame, and define the **open space** and public realm they surround.

Facade treatments that contribute to a strong vertical rhythm is encouraged along the Austin Road **character area**.

Inset balconies are encouraged to the buildings fronting onto the canal to maintain the clarity of form in long distance views along the canal and from the surrounding context.

Masonry should be the predominant material in the design of elevations facing onto the canal. A range of architectural and facade treatments should be explored to add variety and texture to the elevation along the canal, and to promote a diverse character.



## 3.3 CANALSIDE

### 3.3.3 Open Space and Public Realm

#### ROUTES AND FOOTWAYS

##### M / 139

The upper canal route is a primary route through the edge of the site and across this **character area**, and must be a minimum of 2.7m wide to facilitate a range of pedestrian and cycle movements.

##### M / 140

The width of this route must be varied at points along its length, creating wider areas of public realm to facilitate spaces to pause, sit and enjoy the canal. This must be supported by suitable seating and biodiverse planting.

##### Advisory guidance

A connection from the upper canal path to the lower towpath within the extents of the Site Boundary is not required but could be explored.

#### PRIVATE AMENITY AND DEFENSIBLE SPACE

##### M / 141

**Private amenity** spaces facing onto the canal are to be raised above the level of the canal path to provide increased security and privacy to these dwellings.

##### M / 142

Inset balconies must be provided on elevations or corners facing the canal. These must be a minimum depth of 1.5m and provide an external area in line with GLA policy.

##### Advisory guidance

Consideration should be given to the boundary between the public realm and the internal courtyard of Development Zone 4. It is not intended for these spaces to be linked, but thought should be given as to how the change in level could be used to maximise amenity space in the courtyard whilst providing privacy and **defensible space**. Terraces, seating and buffer planting could be incorporated to soften the change in level and provide privacy.

#### MATERIALS AND STREET FURNITURE

##### M / 143

High quality materials must respond to the character of the space and to highlight its prominent and busy nature as both a flexible, public space and a key threshold into the site.

##### Advisory guidance

As an area with anticipated increased footfall compared to other areas of the site, paving and furniture should be high quality and fit for purpose, with a long lifespan and durable nature making the space easy to maintain.

Seating should be provided below the tree canopy should be provided to create opportunities for respite, shade and shelter.

Tree grilles and hard surfaces under the trees should be considered to allow for clear movement and high footfall of people.

#### TREES AND PLANTING

##### Advisory guidance

The tree strategy should respond to the more public, open environment of the space. The tree specification is to allow for mature trees in key locations along the enhanced canal path, to provide an immediate visual impact and sense of maturity.

Younger trees should be provided to the banked, softscape section of the public realm adjacent to the path, to compliment the extensive biodiverse planting in this area.

The planting palette should consider its context and function as a highly used, public space. The planting should provide year round interest, evergreen structure, colour, seasonality and biodiversity.

A biodiverse bank should be considered between the upper and lower canal paths, with a variable width to accommodate the available space (1.5-3.8m wide). This should include biodiverse planting suitable for its location adjacent to the canal, along with tree planting to maximise habitat potential.

#### SUDS

##### Advisory guidance

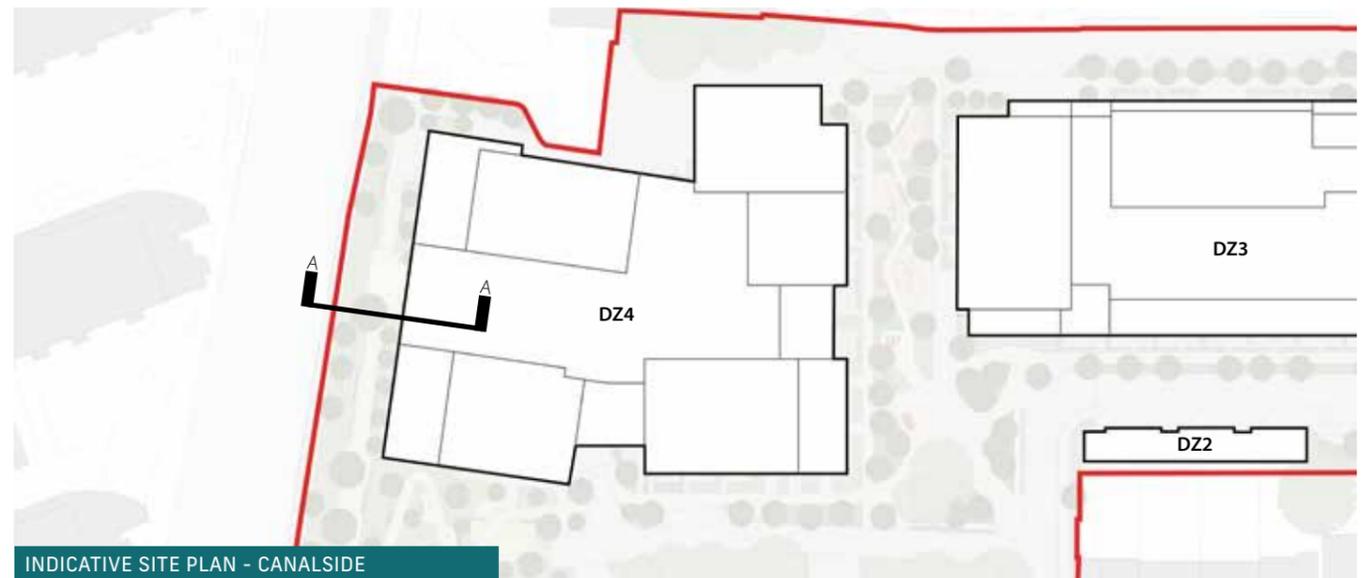
SuDs features such as rain gardens or permeable paving should be considered to enhance the overall SuDS strategy.

#### URBAN GREENING FACTOR (UGF)

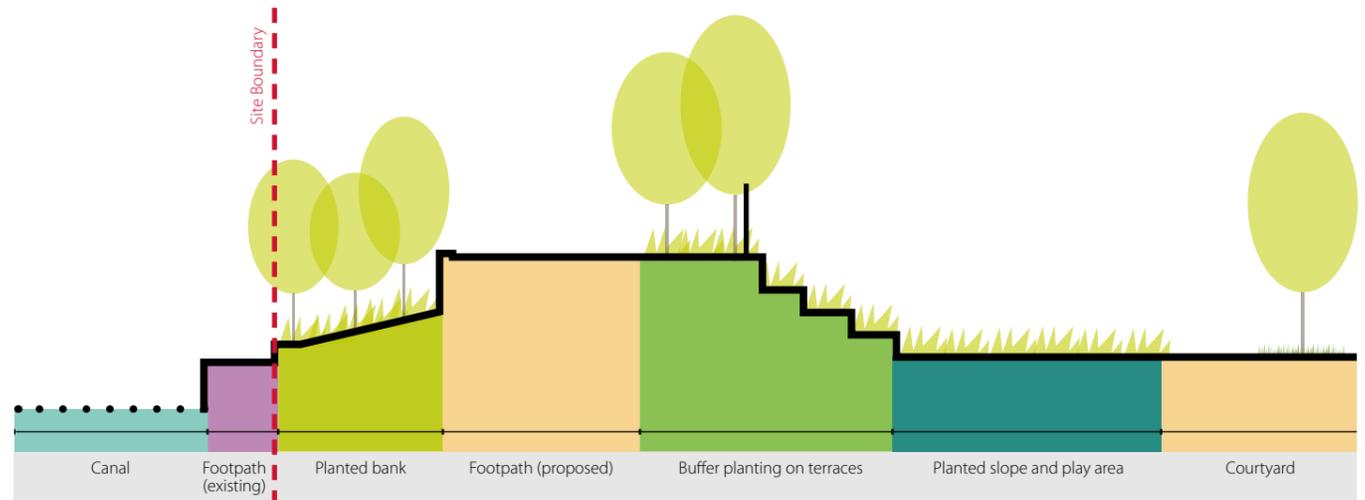
##### Advisory guidance

The themes that contribute towards the UGF calculations for the public realm of the canalside **character area** should maximise permeable paving, flower-rich perennials, amenity grassland and standard trees. Both intensive and extensive green roofs are provided on the surrounding buildings.

The canalside **character area** should be rich with biodiverse planting and trees, supporting a range of habitats with dry and wet environments, enhancing the existing habitats present along the canal.



INDICATIVE SITE PLAN - CANALSIDE



INDICATIVE STREET SECTION A-A

# 3.4 CROWN CLOSE

## 3.4.1 Introduction

Crown Close is the primary threshold into the site from Hayes Town Centre (Station Road) to the East, comprising the arrival space and **gateway** into the heart of the development. The street is characterised by the opposing uses on either side - with proposed residential use to the east, and the existing service access to the high street commercial units to the west.

Crown Close is envisioned as a mixed use street facilitating a range of vehicular, pedestrian and cycle activities. The built form along this street will facilitate passive surveillance of the existing commercial units opposite, complimented by active ground floor frontages offered by duplex dwellings.

Given the active, vehicular movements along Crown Close, arrival spaces and lobbies are set back from the street, and marker buildings draw people into the heart of the development to the quieter, pedestrian orientated Community Square. A tree lined footpath provides a defined buffer between the vehicular route and the Development Zone, with the proposed massing introducing rooftop **setbacks** and stepped façades to add variation and articulation to the eastern boundary of the site.

### KEY CHARACTER ELEMENTS

#### Uses and Activities

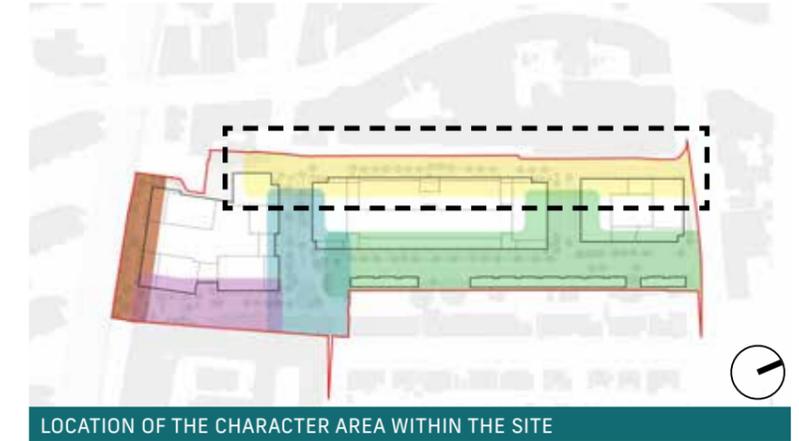
- Characterised by different uses on both sides of the street - medium rise residential to the east opposed by existing commercial uses to the west.
- Will facilitate a range of pedestrian and vehicular activities.

#### Public Realm and Amenity

- Main threshold into the site from Hayes Town Centre, providing a key connection from Station Road.
- Active residential frontages providing passive surveillance to commercial uses opposite.

#### Built Form and Architecture

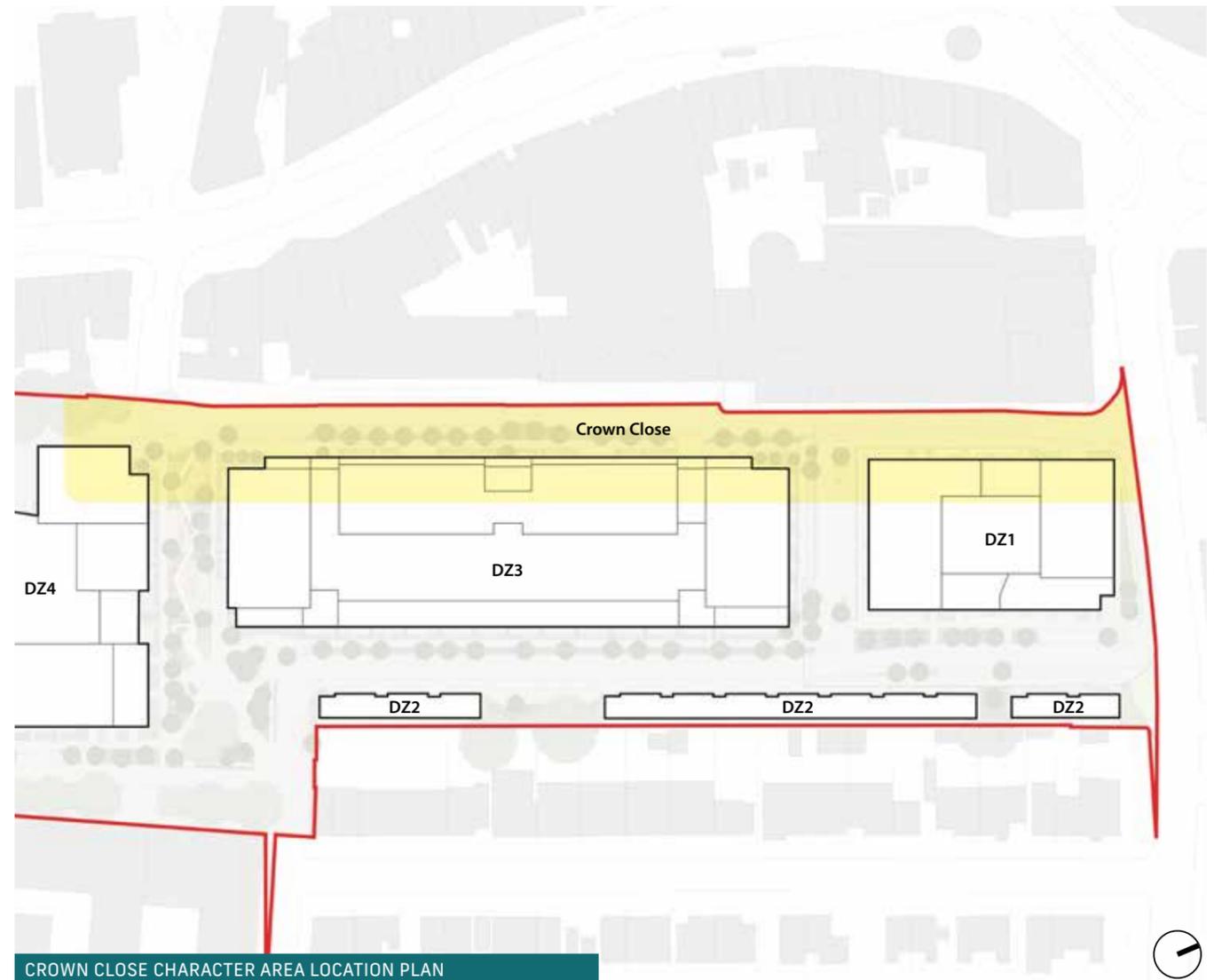
- Welcoming entrance and gateway from Station Road.
- Marker buildings flanking beginning of generous public space.
- Medium rise apartments with duplexes at ground floor to activate the street frontage.



LOCATION OF THE CHARACTER AREA WITHIN THE SITE



INSPIRATIONAL IMAGES FOR CROWN CLOSE



CROWN CLOSE CHARACTER AREA LOCATION PLAN

### 3.4 CROWN CLOSE

#### 3.4.2 Built Form

**M / 144**

The plots highlighted in the diagram adjacent within Development Zones 3 & 4 must be designed as **marker buildings** (MB1 & MB3) that celebrates the entrance from Station Road (Mandatory View 04) and frames the gateway into the site and through to the Community Square and Silverdale Road beyond.

**M / 145**

The height, massing and articulation of MB1 & MB3 must consider:

- The provision of facade articulation that maximises **active frontages** onto Crown Close and the Linear Park.
- The continuation of the continuous and strong **active frontage** facing onto Crown Close along Development Zone 3
- The relationship between these **marker buildings** and the existing buildings to the west.
- The distinctiveness of the building in relation to the surroundings to contribute to their character as **marker buildings**.

**M / 146**

A minimum separation distance of 18m must be provided between Development Zones 1 & 3 in accordance with the Development Zones Parameter Plan.

**M / 147**

A minimum separation distance of 18m must be provided between Development Zones 3 & 4 in accordance with the Development Zones Parameter Plan.

**M / 148**

A minimum separation distance of 11.5m must be provided between Development Zone 3 and the application site boundary to facilitate the provision of a suitable vehicle carriageway, pedestrian footpath and buffer planting, and defensible **private amenity** spaces.

**LAND USES**

**M / 149**

Development within Development Zones 3 & 4 fronting onto Crown Close must consider the provision of **active residential frontages** in line with the Land Uses Parameter Plan.

**BUILDING TYPOLOGIES**

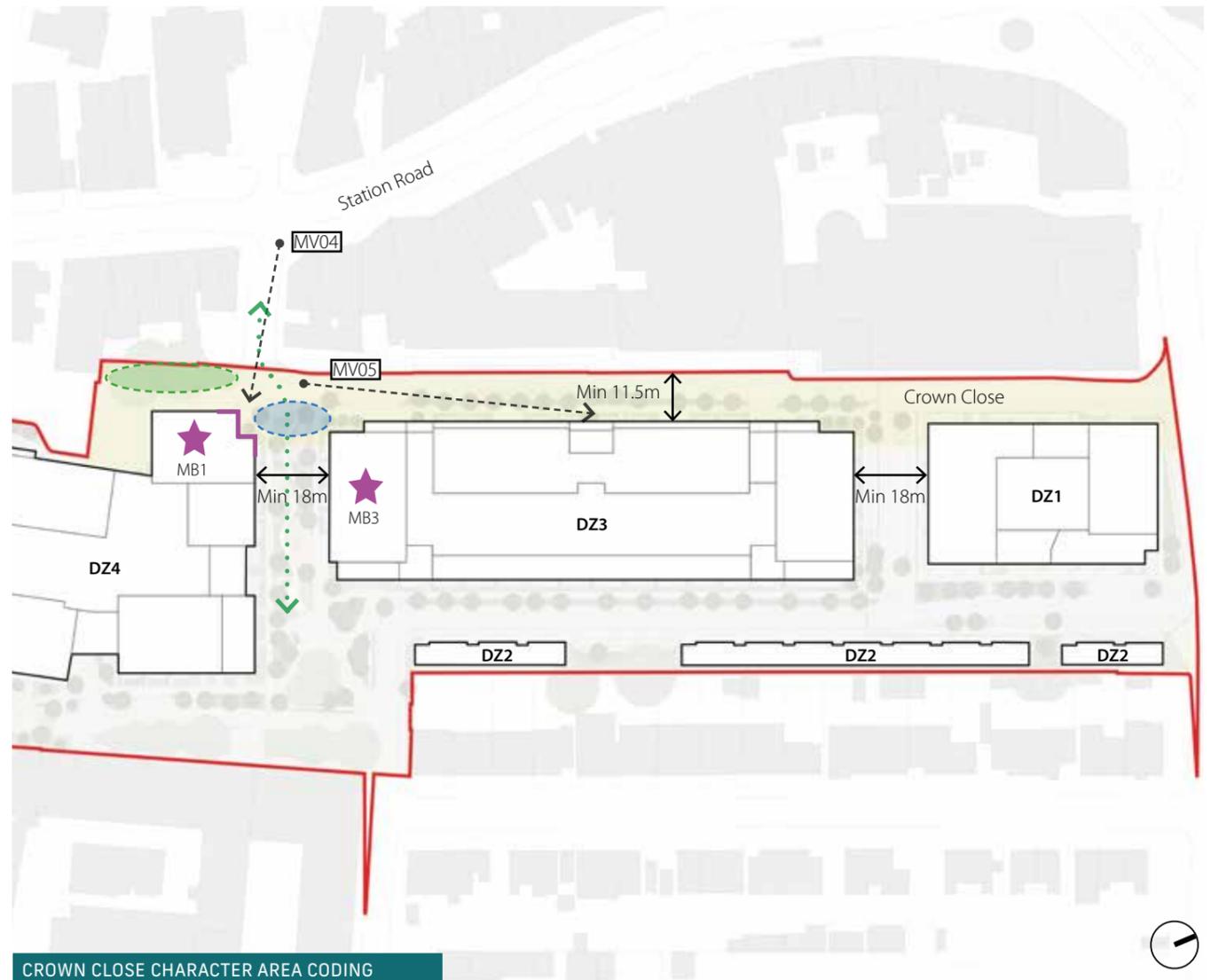
**Advisory guidance**

Advisory building **typologies** for the blocks facing onto Crown Close are as described in the table below:

Advisory building **typologies** for blocks along Crown Close

Typologies	Location
C Apartment blocks with duplexes to ground level	DZ1, 3 & 4

See chapter 2.2.12 Building typologies - Overarching principles for further description of these typologies.



CROWN CLOSE CHARACTER AREA CODING

- Key**
- Application site area
  - Maximum development plot
  - ★ Marker building
  - Key facade
  - > Mandatory view
  - <...> Provision of key pedestrian route
  - Arrival space
  - Existing trees to be retained

## 3.4 CROWN CLOSE

### 3.4.2 Built Form

#### TOWNSCAPE APPROACH

##### M / 150

The design of **Marker buildings** 1 & 3 must consider their position as **marker buildings** at the gateway into the site, which contribute to wayfinding and legibility from both within the Site and from Station Road adjacent.

##### Advisory guidance

**Marker building** 1 should include a key corner facilitating a public arrival space set back from the vehicular carriageway, celebrating the entrance into the site and promoting legibility and wayfinding.

The massing, scale and appearance of **Marker buildings** 1 & 3 must consider their presence in Mandatory view 04 to contribute to the wayfinding of one of the main entrances into the Site.

The frontages of Development Zones 3 & 4 facing onto Crown Close should seek to frame and define the space they surround.

Any building elements projecting beyond the lines of the Maximum Development Zones must reflect the limitations of the Development Zones Parameter Plans and not obstruct the visibility along Crown Close (Mandatory View 05), where the existing building frontages to the North side of Pump Lane must be visible along the length of Crown Close.

#### BUILDING FRONTAGES AND ELEVATIONS

##### M / 151

Development fronting onto Crown Close must maximise **active frontages** and residential entrances onto the public realm.

##### M / 152

Entrances into podium parking must be provided along Crown Close, and should be integrated into the architecture of the whole frontage. Podium parking must be surrounded by other uses and/or activities within the public realm to ensure that streets are vibrant and **active frontages** are maintained.

##### M / 153

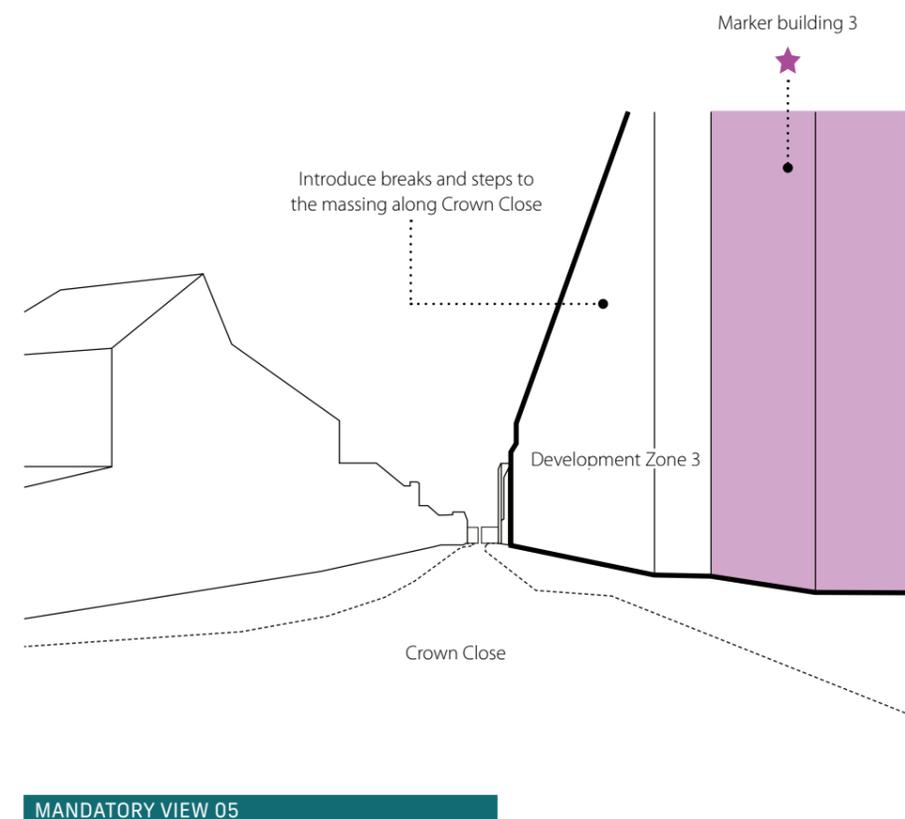
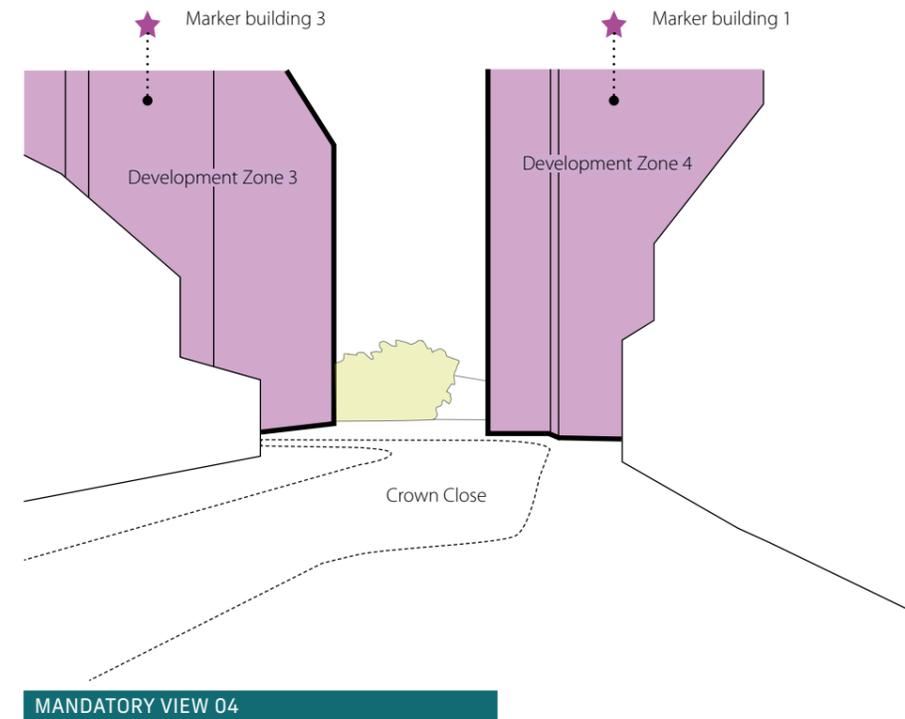
**Marker buildings** 1 & 3 must incorporate one or more design characteristics that make it unique in relation to the surroundings such as scale, height, massing, facade treatment, materiality, facade detailing and/or rhythm.

##### Advisory guidance

Masonry should be the predominant material in the elevations of the buildings facing onto Crown Close.

A variety of architectural and facade treatments should be explored along the length of the Crown Close **character area** to add interest and texture to the length of the street.

Lobbies and entrances facing onto Crown Close should be legible in the context of the whole frontage, ensuring a prominent street presence. This could be achieved through scale, proportion or elevational treatment to create a memorable approach journey.



### 3.4 CROWN CLOSE

#### 3.4.3 Open Space and Public Realm

##### ROUTES AND FOOTWAYS

**M / 154**

The width of Crown Close (between the edge of the Maximum Development Area and the Site Boundary) must be at minimum 11.5m so that all functional elements of a successful, high quality urban street can be included.

**M / 155**

The minimum width of the **carriageway** should be maintained as existing, providing a two-way traffic flow to the northern portion and a one-way flow to the southern portion (exiting onto Station Road).

**M / 156**

Parking bays should be parallel to the **carriageway** and a minimum of 2m wide.

**Advisory guidance**

Footpaths should be a minimum of 2m wide, providing a generous and accessible route to accommodate families, wheelchairs, prams and scooters. Pinchpoints for localised planting will be allowed in reasonable locations to allow for the greening of streets.

In order to create a high quality pedestrian streetscene, the kerb height to the road should be no more than 60mm, and if acceptable, 50mm is preferred.

##### PRIVATE AMENITY AND DEFENSIBLE SPACE

**M / 157**

Private ground floor amenity spaces must be included to the buildings overlooking the streets in order to create an active and well used street scene.

##### MATERIALS AND STREET FURNITURE

**M / 158**

High quality materials must respond to the character of the space and to highlight its prominent and busy nature as a highly trafficked street and a key threshold into the site. Materials should be robust and easily maintained.

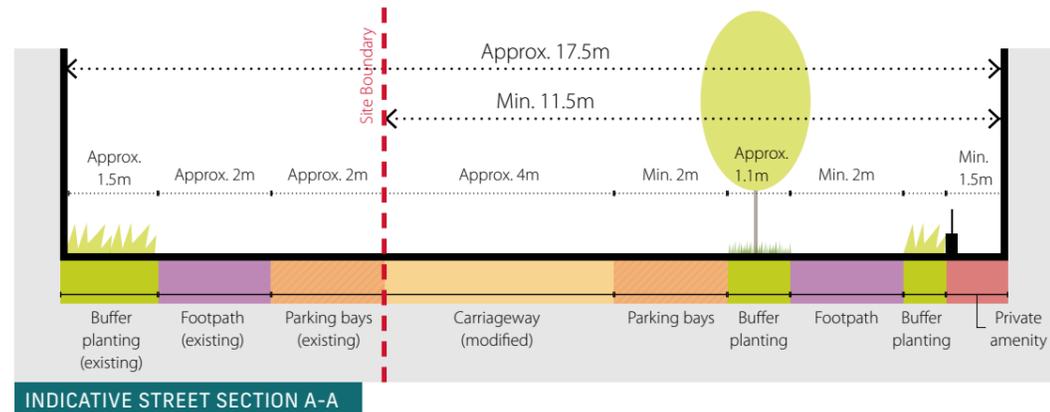
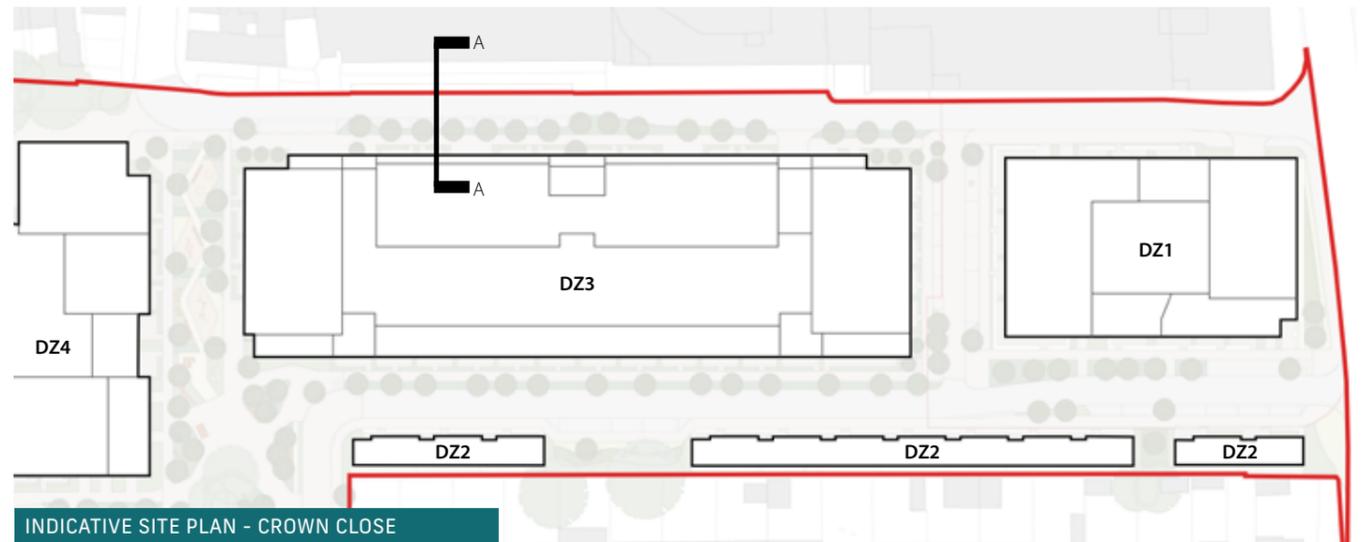
**Advisory guidance**

Larger paving slab sizes are recommended to the footways that are suitable to the regular width, continuity and legibility of pedestrian routes.

Kerbs should be high quality and very robust (suitable for the types of goods/deliveries vehicles using Crown Close) with a suitable visual contrast from the road.

Delineation of the east-west **shared surface** route between Crown Close and Austin Road from the main north-south stretch of Crown Close should be provided.

Benches, bins and other street furniture should reflect the space as being well used, with materials that are robust and easy to maintain considered.



## 3.4 CROWN CLOSE

### 3.4.3 Open Space and Public Realm

#### TREES AND PLANTING

##### M / 159

The existing mature Category B trees to the southern end of Crown Close are to be retained. New biodiverse groundcover planting is to be provided beneath the existing trees.

##### Advisory guidance

Trees and plants form a vital component to this **character area** in order to form a rich, green and biodiverse buffer to the existing adjacent commercial uses and enhance the pedestrian/ resident experience along Crown Close. Soft landscaping should be specified to enhance and enrich the character of the space.

The street trees should be suitable for the scale and use of the street scene, which allow for the passing of large delivery vehicles. The species, form, maturity and eventual size of the tree are important considerations.

The trees should be planted in soft areas rather than hard and underplanted with suitable biodiverse planting.

Drifts of biodiverse planting that emphasise the linear & transitional nature of the **character area** should be included, that engage residents of all ages and abilities.

The groundcover planting to the buffer zones along the length of Crown Close should maintain a year-round structure to help ensure privacy, whilst containing elements of colour, interest and biodiversity.

To create an individual character to Crown Close and to extend seasonal interest, tree species should be different from others planted across the Site where possible, so that they blossom and fruit at different times.

#### SUDS

##### Advisory guidance

SuDS features such as permeable paving should be considered along Crown Close.

#### URBAN GREENING FACTOR (UGF)

##### M / 160

Street trees planting with groundcover must be considered for the UGF calculations to maximise greening opportunities within this **character area**.

# 3.5 COMMUNITY SQUARE

## 3.5.1 Introduction

The Community Square will comprise a new green local **open space** at the heart of the new Hayes Town Centre Estate - a place to meet others and socialise, but also to pause and relax. It is envisaged as a central node for the community, linking key routes both within and through the development. The square will offer extensive public amenity for all ages, including well-overlooked doorstep play.

The community square integrates and enhances the existing east-west route through the Estate, linking Hayes High Street (Station Road) with Silverdale Road to the East. Two proposed **marker buildings** on the corners of Development Zones 2 & 3 demarcate the entrance into the Estate from the high street.

The square also forms a bookend to Austin Road to the South, with the North facing facade of Development Zone 4 forming a key vista along this route.

This centralised area also supports a community use space contained within Development Zone 3, which will help to further activate this square and make it a destination within the wider Estate.

### KEY CHARACTER ELEMENTS

#### Uses and Activities

- Community feeling.
- Public amenity and community uses in close proximity to new homes.
- The heart of the development.

#### Public Realm and Amenity

- Medium size, neighbourhood scale green space forming a key node.
- Pockets for play and seating will be provided, creating a space for social encounters within the new HTC community.

#### Built Form and Architecture

- Medium scale buildings rising in height towards the canal.
- Two key marker buildings marking the western entrance to the linear park.
- Principal facade of DZ3 forming the vista at the end of Austin Road.



LOCATION OF THE CHARACTER AREA WITHIN THE SITE



INSPIRATIONAL IMAGES FOR THE COMMUNITY SQUARE



COMMUNITY SQUARE CHARACTER AREA LOCATION PLAN

# 3.5 COMMUNITY SQUARE

## 3.5.2 Built Form

### M / 161

The plots highlighted in the diagram adjacent within Development Zones 3 & 4 must be designed as **marker buildings** (MB1 & MB3) that:

- Celebrate the entrance from Station Road (Mandatory View 04) and frames the gateway into the site and through to the Community Square and Silverdale Road beyond.
- Create a unique backdrop to the community square and highlight the community use space to the ground floor of MB3.
- Provide legibility and aid wayfinding to users approaching along Silverdale Road (Mandatory View 03).

### M / 162

The facade of Development Zone 4 facing onto the Community Square is considered a key corner, and must be designed in a way to maximise active frontages facing onto the Square, and provide legibility and aid wayfinding to users at the entrance to the Site from Silverdale Road or approaching along Austin Road.

### M / 163

The height, massing and articulation of MB1 & MB3 must consider:

- The provision of facade articulation that maximises **active frontages** onto Crown Close, the Linear Park and the Community Square.
- The continuation of the continuous and strong **active frontages** facing onto Crown Close and Austin Road along Development Zone 3
- The relationship between these **marker buildings** and the existing buildings to the west.
- The distinctiveness of the building in relation to the surroundings to contribute to their character as **marker buildings**.

### M / 164

The massing and articulation of Development Zone 4 must consider breaks and/or lower massing elements as noted on the diagram adjacent to provide appropriate provision of daylight and sunlight into the Linear Park and Community Square.

### M / 165

A minimum separation distance of 18m must be provided between Development Zones 3 & 4 in accordance with the Development Zones Parameter Plan.

### LAND USES

#### M / 166

Development within Development Zones 2, 3 & 4 fronting onto the Linear Park and Community Square must consider the provision of **active residential frontages** in line with the Land Uses Parameter Plan.

#### M / 167

Development within Development Zone 3 (specifically **Marker building 3**) must consider the provision of active non-residential (community) frontage in line with the Land Use Parameter Plan. Non-residential ground floor frontage must be prioritised in this location.

#### Advisory guidance

Non-residential uses may **spill out** onto the fronting public realm and contribute to the vibrancy and overlooking of the Linear Park and Community Square.

#### M / 168

Blank façades are not permitted facing onto the Community Square **character area**.

### BUILDING TYPOLOGIES

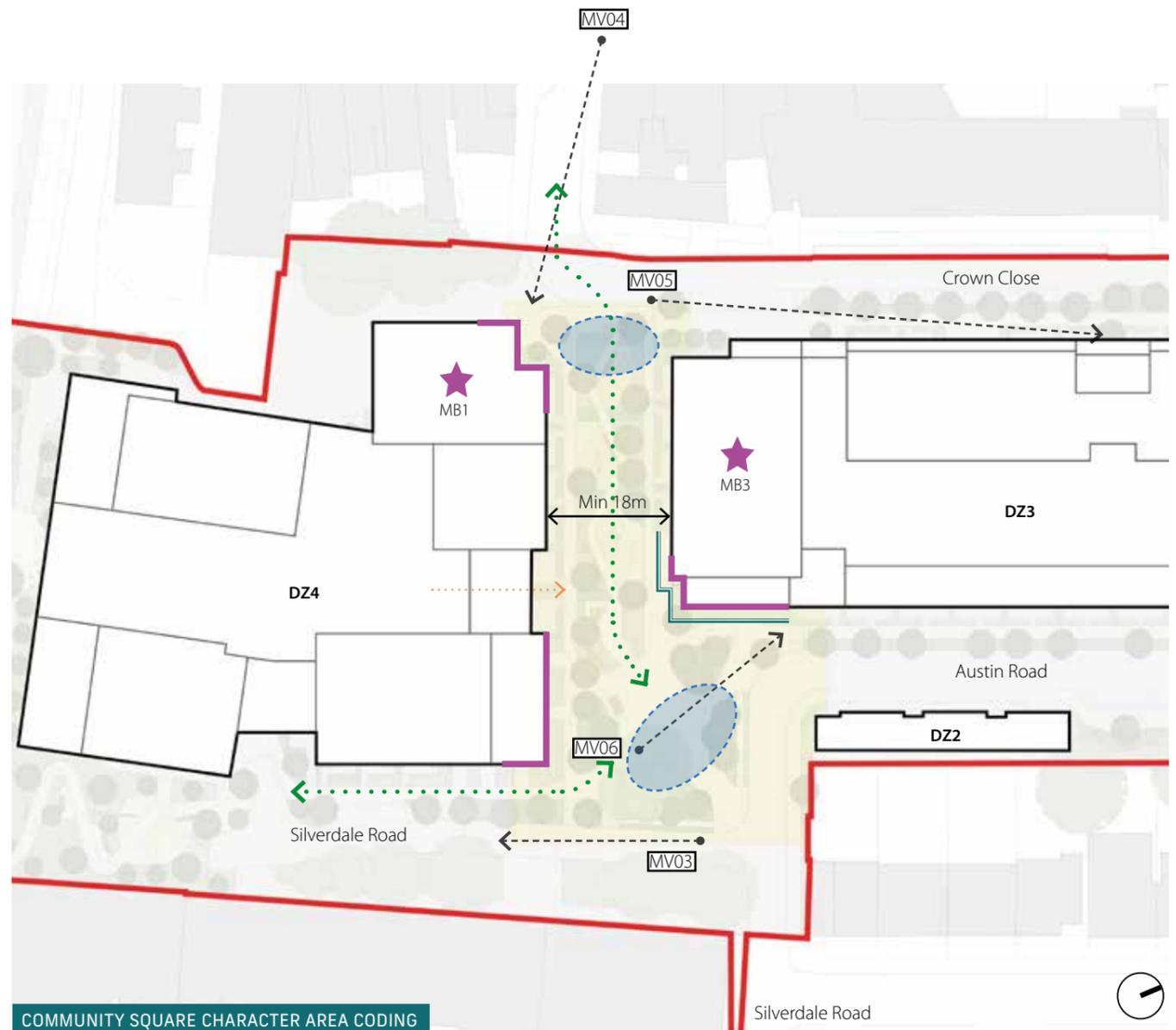
#### Advisory guidance

Advisory building **typologies** for the blocks facing onto the Community Square are as described in the table below:

Advisory building **typologies** for blocks facing the Community Square

Typologies	Location
C Apartment blocks with duplexes to ground level	DZ3 & 4

See chapter 2.2.12 Building typologies - Overarching principles for further description of these typologies.



COMMUNITY SQUARE CHARACTER AREA CODING

**Key**

- Application site area
- Maximum development plot
- Marker building
- Key corner
- Mandatory view
- Breaks within the form to provide suitable daylight and sunlight to public realm
- Provision of key pedestrian & cycle route
- Arrival space
- Community use frontage (non-residential)

## 3.5 COMMUNITY SQUARE

### 3.5.2 Built Form

#### TOWNSCAPE APPROACH

##### M / 169

The design of **Marker buildings** 1 & 3 must consider their position as **marker buildings** at the gateway into the site, which contribute to wayfinding and legibility from both within the Site and from various approaches in the context.

##### Advisory guidance

**Marker building** 1 should include a key corner facilitating a public arrival space set back from the vehicular carriageway, celebrating the entrance into the site and promoting legibility and wayfinding.

**Marker building** 3 should include a key corner facilitating the integration of non-residential frontage and framing the edge of the public realm, marking the arrival into the site from Silverdale Road (Mandatory view 06).

The massing, scale and appearance of **Marker buildings** 1 & 3 must consider their presence in Mandatory view 04 to contribute to the wayfinding of one of the main entrances into the Site.

The key corner to the north-east corner of Development Zone 4 should facilitate the integration of active residential frontage, framing the public realm and acting as a backdrop to the vista along Austin Road. The corner should also explore ways to frame the edge of the Mandatory View (MV03) along Silverdale Road towards the canal.

The frontages of Development Zones 2 & 4 facing onto the Linear Park and Community Square should seek to frame and define the space they surround.

#### BUILDING FRONTAGES AND ELEVATIONS

##### M / 170

Development fronting onto the Linear Park and Community Square must maximise **active frontages** onto the public realm.

##### M / 171

**Marker buildings** 1 & 3 must incorporate one or more design characteristics that make it unique in relation to the surroundings such as scale, height, massing, facade treatment, materiality, facade detailing and/or rhythm.

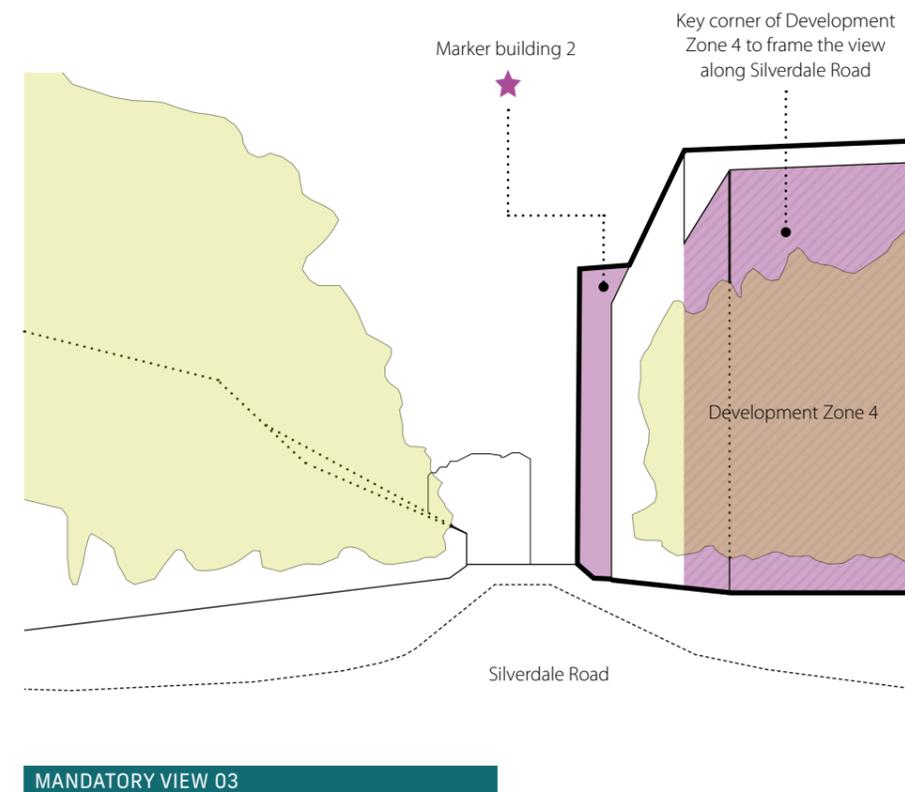
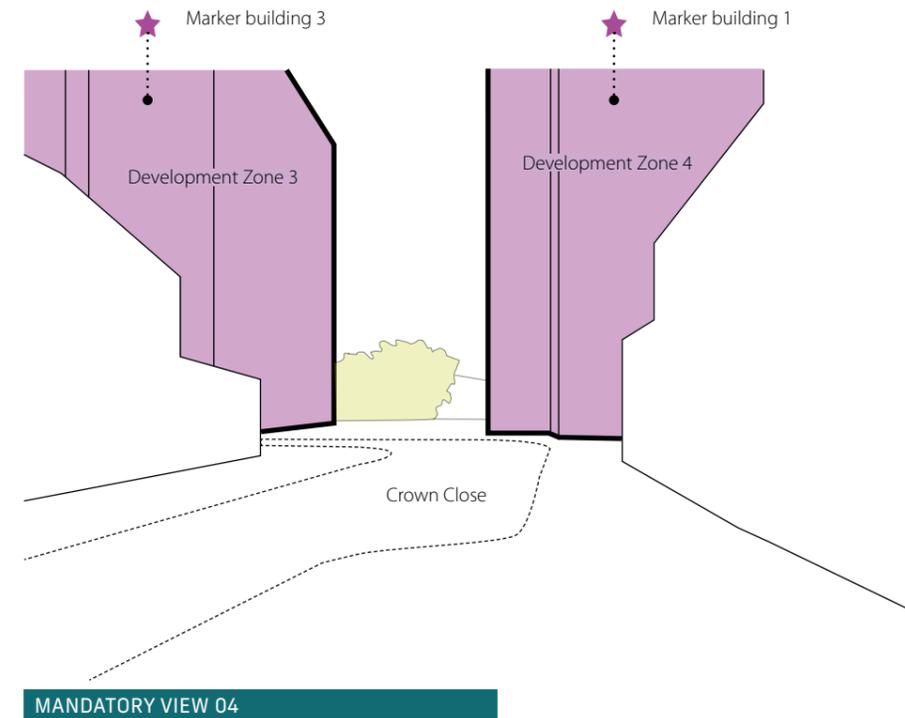
##### Advisory guidance

Masonry should be the predominant material in the elevations of the buildings facing onto the Community Square.

A variety of architectural and facade treatments should be explored across the Community Square **character area**.

Lobbies and entrances facing onto the Community Square should be legible in the context of the whole frontage, ensuring a prominent street presence. This could be achieved through scale, proportion or elevational treatment to create a memorable approach journey.

Projecting balconies are encouraged to the buildings fronting onto the Community Square to maximise passive overlooking and promote neighbourly interactions.



## 3.5 COMMUNITY SQUARE

### 3.5.3 Open Space and Public Realm

#### ROUTES AND FOOTWAYS

##### M / 172

Two primary footpaths that connect Crown Close to the Community Square (flanking the Linear Park) must be provided, each a minimum of 1.5m wide, allowing movement through the public realm and access into ground floor residential dwellings.

##### M / 173

Footpaths passing through the Community Square must be a minimum of 2.5m wide to promote and facilitate a wide range of pedestrian uses, including families, wheelchairs and prams.

##### M / 174

The **shared surface** route connecting Austin Road to Silverdale Road must be raised above the level of adjacent carriageways, flush with the adjacent public realm but clearly defined with an obvious material change. The material used for the **shared surface** must be distinguishable from the material palette for the remainder of the public realm.

##### M / 175

The **shared surface** intersection between Silverdale Road and Austin Road must be designed with clear visibility splays and traffic calming measures.

#### Advisory guidance

The landscape design of the public realm should ensure that the primary pedestrian route through the Community Square towards Austin Road or the canalside path is positioned away from the **shared surface** zone.

The widths of the routes and footways through the Community Square should be varied where possible (whilst maintaining the mandatory minimum widths set out above) to provide opportunities for pause, seating and informal interactions or play.

Secondary, informal routes through the Linear Park should be a minimum of 1.3m wide, providing a different sensory experience and connecting key areas of play and informal pocket spaces to the wider public realm.

#### PRIVATE AMENITY AND DEFENSIBLE SPACE

##### M / 176

Type I private ground floor amenity space (incorporating buffer planting) must be provided to building edges that face onto the Linear Park and Community Square. Refer to Section 2.5.3 for details. As well as providing **private amenity**, they are included to animate the edge of the public realm and provide a sense of good natural surveillance and promote interaction with others.

#### Advisory guidance

An increased private ground floor amenity space of 1.8m should be considered where possible. This should include a 800mm wide buffer planting zone to the outer edge of the **private amenity**.

#### NON-RESIDENTIAL (COMMUNITY) USE

#### Advisory guidance

Small **spill-out** and circulation areas for non-residential use to the ground floor of buildings (where noted on the prior diagram) may be included. This will help to activate the Community Square and wider public realm.

#### MATERIALS AND STREET FURNITURE

#### Advisory guidance

High quality materials must respond to the character of the space and to highlight its prominent nature at the centre of the site. Materials should be robust and easily maintained.

The material choice for the secondary informal route through the Linear Park should differ from the surrounding materials in tone, texture or paving size to ensure it is a distinguishable route in the wider public realm.

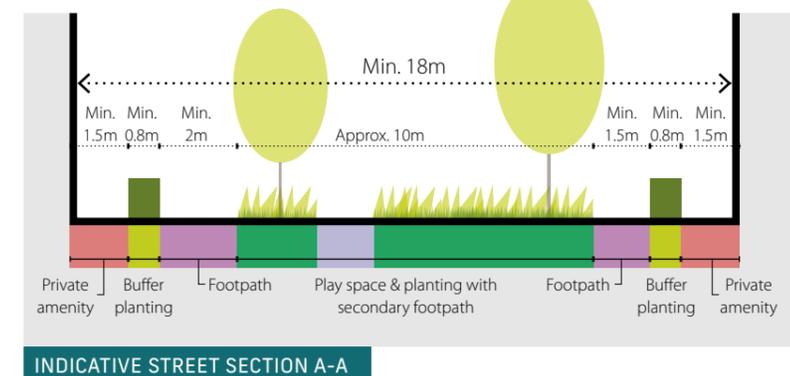
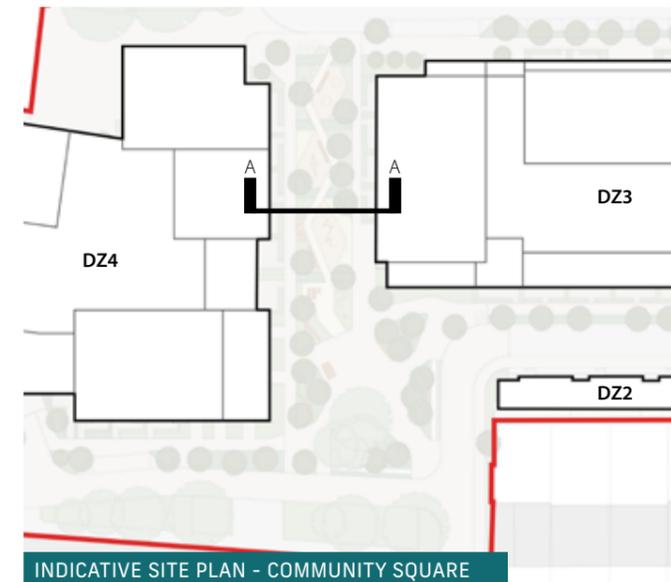
Play surfaces should be provided for prescribed play equipment within the Linear Park and Community Square, and are to be in keeping with the naturalistic environment.

Natural and sustainable materials for the play areas such as reinforced grass, sand, bark, gravel and bound gravel should be considered that are in keeping with the character of the area.

Street furniture should respond to the character of the space and a softer, residential and more natural response should be considered. Use of timber and metal having more warmer, tactile and earthy tones and finishes are suggested.

Regular cycle stands should be designed into the Linear Park and Community Square to encourage cyclists to stop and dwell in the area.

The lighting strategy and lighting palette used will be important in providing both a safe evening route as well as highlighting key moments with atmosphere, ambience and drama.



## 3.5 COMMUNITY SQUARE

### 3.5.3 Open Space and Public Realm

#### TREES AND PLANTING

##### M / 177

Trees identified for retention within the approved Arboricultural Impact Assessment must be retained and protected and should be used as focal points within the public realm.

##### Advisory guidance

The tree strategy for the Community Square should contain a mixture of specimen and native trees that create a varied all year round scene with a distinctive identity.

The tree strategy should respond to the linear sequence of spaces as moments that create interest, variety and identity. The trees will also help to enhance the green link running east-west through the site (from Station Road to Silverdale Road) to help create a continuous experience.

Small, open areas of amenity grass for recreation and play, that are enclosed by planting, trees and seating should be considered where appropriate

When considering sensory planting as part of the play experience, thought should be given to how they stimulate all the senses. Fragrance, vibrant colours, noise, touch, taste and height throughout the seasons are important elements in an immersive and didactic atmosphere.

A strip of planting to the edge of the Community Square (adjacent to the **shared surface** carriageway) should be considered to create a robust boundary of buffer planting to the public realm. The planting palette is to consider all year round planting with structure, colour, seasonality and biodiversity in mind.

The buffer planting used to the ground floor amenity spaces should enhance the Linear Park & Community Square as a unique and identifiable route as well as a biodiverse corridor passing east-west through the site. Thought should be given to the planting's suitability as buffer planting and also in attracting pollinators as part of the biodiversity strategy.

Vegetated rain gardens should be included where possible, and have a suitable planting strategy that reinforces the identity of the Community Square and continues the blue/green landscape link

from Austin Road through to the canal.

#### PLAY, FITNESS AND RECREATION

##### M / 178

The Linear Park and Community Square must accommodate play experiences for all age groups.

##### M / 179

A mix of playable features must be included that create a variety of play opportunities for the key ages. Play should include experiences that range from prescribed fixed play items to natural play experiences that allow children to roam and engage with the trees, plants and **open spaces**.

##### M / 180

A minimum buffer area of appropriate planting must be used where play or recreation areas are adjacent to the **shared surface** route that connects Austin Road to Silverdale Road, that helps to define and enclose these spaces from the route.

##### Advisory guidance

Opportunities for fitness, recreation and well-being are important themes that should be woven into the design of the Community Square. There should be a range of experiences so that everyone has the means to access, use and benefit from these measures.

Play areas should be mindful of their proximity to footways or **private amenity** and include appropriate buffer planting to create a natural enclosure where they are adjacent to them.

Areas of amenity lawn should be provided that allows for flexible informal play and recreational activities.

Suitable 12 years + age group play provision should be considered that is appropriate to their age and interests. This might include table tennis, outdoor gyms, trim trails, and the encouragement to roam and socialise freely.

It is encouraged that 0 -11 years play should be integrated with the sensory planting along the east-west connection and would create a natural play experience that helps develop balance and cognitive skills.

#### SUDS

##### Advisory guidance

Rain gardens form an integral part of the SuDS strategy and natural theme of water across the Community Square. These features should be included in the design response.

Other SuDS features such as permeable paving should be considered.

#### URBAN GREENING FACTOR (UGF)

##### M / 181

Landscaping treatment that contributes towards the UGF calculations for the Central Green must maximise permeable paving, flower-rich perennials, rain gardens, amenity grass and standard trees.

# 3.6 SILVERDALE ROAD

## 3.6.1 Introduction

Silverdale Road is envisaged as a canalside street, blending seamlessly with the Grand Union Canal in terms of its landscaping and architecture. It provides an important pedestrian connection between key public spaces - the Community Square and the Grand Union Canal.

The street will be pedestrian priority in order to support and encourage pedestrian access to and from the canal, and better connect the site into its surrounding context. A landscaped **ramp** will connect the site to the canal path,

Silverdale Road should have a **shared surface** vehicle route in addition to dedicated pedestrian footpaths, with landscaping and opportunities for play integrated seamlessly into the public realm. Few vehicle movements are expected down this dead-end route, and car parking should not be provided. The existing mature trees adjacent to the Site boundary must be retained, which will provide instant greenery and softness to this part of the site.

The buildings forming this **character area** should be designed to reference and compliment the locally listed warehouse adjacent, with materials and detailing drawing inspiration from the context.

### KEY CHARACTER ELEMENTS

#### Uses and Activities

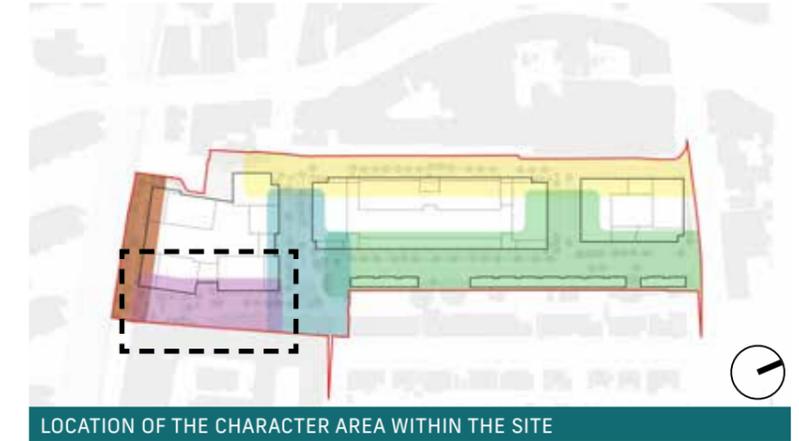
- Main north-south route connecting the site with the Grand Union Canal; a key route for pedestrians and cyclists.
- Pedestrian priority with a shared surface route for servicing.

#### Public Realm and Amenity

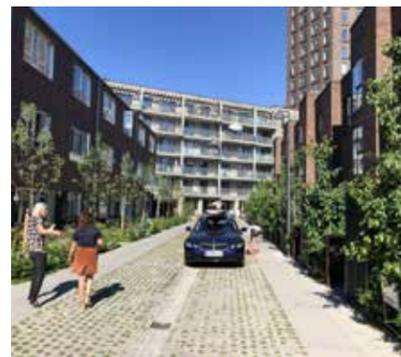
- Pockets of playspace and seating will be provided, facilitating informal social interactions as people move through this transitional space.
- Formal and structured planting adjacent to the Community Square transitioning to looser and softer planting along the canal bank.

#### Built Form and Architecture

- Medium scale buildings rising in height towards the canal.
- Key marker buildings marking the entrance to the site from the canal.



LOCATION OF THE CHARACTER AREA WITHIN THE SITE



INSPIRATIONAL IMAGES FOR SILVERDALE ROAD



SILVERDALE ROAD CHARACTER AREA LOCATION PLAN

## 3.6 SILVERDALE ROAD

### 3.6.2 Built Form

#### M / 182

The plot highlighted in the diagram adjacent within Development Zone 4 must be designed as a **marker building** (MB2) that celebrates the entrance to the site from the canal path (Mandatory view 02).

#### M / 183

The height, massing and articulation of MB2 must consider:

- The provision of facade articulation that maximises **active frontages** onto Silverdale Road and the canal path.
- The relationship between this **marker building** and the existing buildings to the east, especially the locally listed warehouse.
- The distinctiveness of the building in relation to the surroundings to contribute to its character as **marker buildings**.
- Taller massing elements similar in height to the existing massing on the opposing bank, in line with the Building Heights Parameter Plan.

#### M / 184

Minimum distances between blocks should be maintained to allow for the provision of adequate daylight and sunlight into the communal courtyard of Development Zone 4.

#### M / 185

A minimum separation distance of 17.5m must be provided between Development Zone 4 and the Site Boundary in line with the Development Zones Parameter Plan.

#### Advisory guidance

Whilst not defined as 'Key corners', buildings to Development Zone 4 facing onto the canal may consider taller massing and apartment typologies to emphasise their character as **key corners**, framing views and contributing to legibility and wayfinding both within the Site and from the surrounding area.

The massing facing onto the Canalside **character area** should consider a lower element directly adjacent to the canal, facilitating a step up in scale when viewed from the south.

The key corner facing onto Community Square should be designed in a way to frame views along Silverdale Road towards the canal (Mandatory View 03).

#### LAND USES

#### M / 186

Development within Development Zone 4 fronting onto Silverdale Road must consider the provision of **active residential frontages** in line with the Land Uses Parameter Plan.

#### BUILDING TYPOLOGIES

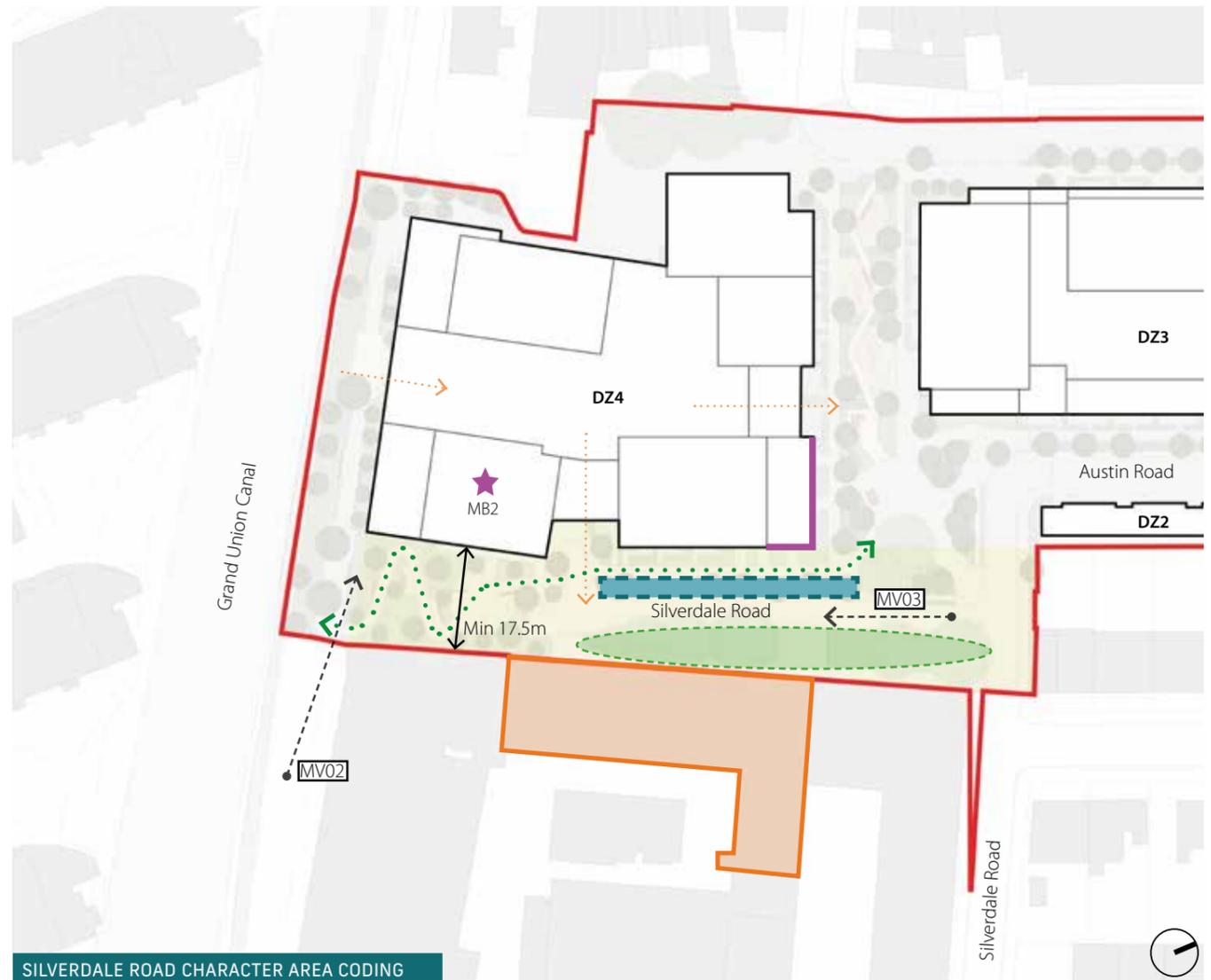
##### Advisory guidance

Advisory building **typologies** for the blocks facing onto Silverdale Road are as described in the table below:

Advisory building typologies for blocks along Silverdale Road

Typologies	Location
C Apartment blocks with duplexes to ground level	DZ4

See chapter 2.2.12 Building typologies - Overarching principles for further description of these typologies.



SILVERDALE ROAD CHARACTER AREA CODING

- Key**
- Application site area
  - Maximum development plot
  - ★ Marker building
  - Key facade
  - > Mandatory view
  - ...> Breaks within the form to provide suitable daylight and sunlight to public realm
  - <...> Provision of key pedestrian & cycle route
  - ▭ Locally listed building (warehouse)
  - ⋯ Existing trees to be retained
  - ▭ Area for the provision of a SuDS rain garden

## 3.6 SILVERDALE ROAD

### TOWNSCAPE APPROACH

#### M / 187

The design of **Marker building 2** must consider its position as a **marker building** at a key entrance into the site, which contributes to wayfinding and legibility from both within the Site and from approaches along the Grand Union Canal

#### Advisory guidance

The massing, scale and appearance of **Marker building 2** must consider their presence in Mandatory view 02 to contribute to the wayfinding of one of the main entrances into the Site.

The key corner to the north-east corner of Development Zone 4 should facilitate the integration of active residential frontage, framing the public realm and acting as a backdrop to the vista along Austin Road. The corner should also explore ways to frame the edge of the Mandatory View (MV03) along Silverdale Road towards the canal.

The frontages of Development Zones 4 facing onto Silverdale Road should seek to frame and define the space they surround.

### BUILDING FRONTAGES AND ELEVATIONS

#### M / 188

Development fronting onto Silverdale Road must maximise **active frontages** and residential entrances onto the public realm.

#### M / 189

**Marker building 2** must incorporate one or more design characteristics that make it unique in relation to the surroundings such as scale, height, massing, facade treatment, materiality, facade detailing and/or rhythm.

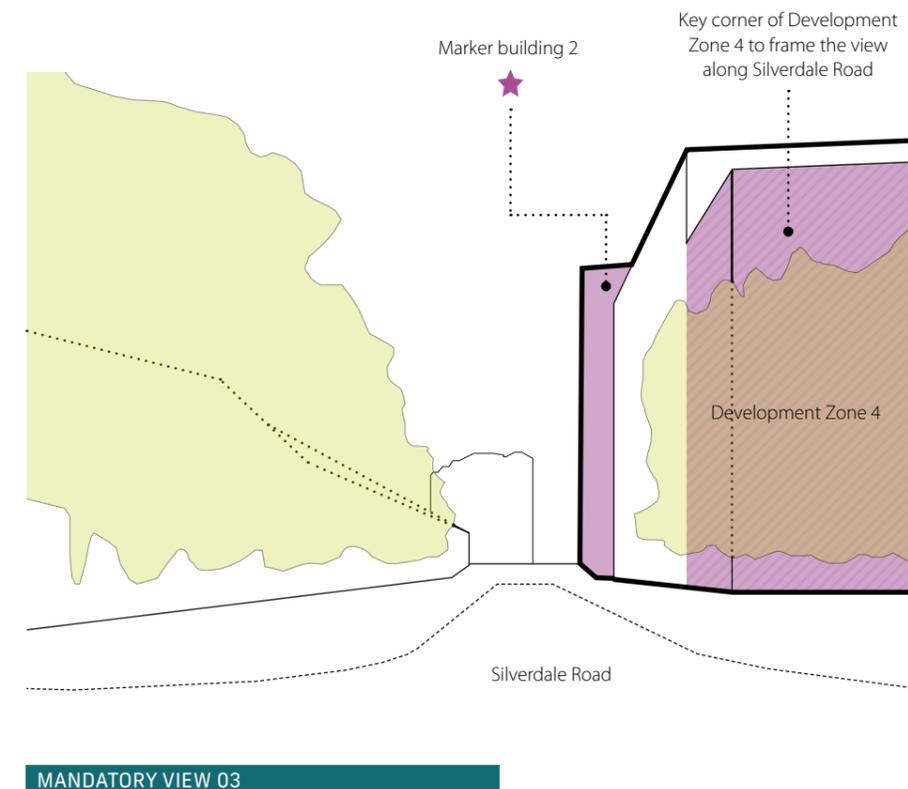
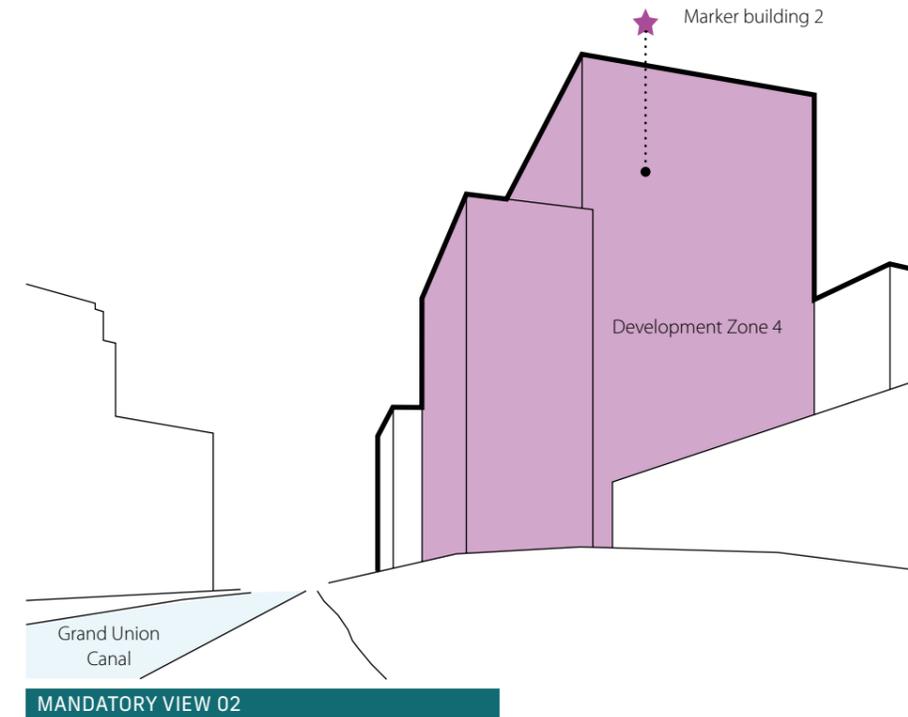
#### Advisory guidance

Masonry should be the predominant material in the elevations of the buildings facing onto Silverdale Road.

Architectural and facade treatments along Silverdale Road must respond to the existing context, including the locally listed warehouse opposite.

Lobbies and entrances facing onto Silverdale Road should be legible in the context of the whole frontage, ensuring a prominent street presence. This could be achieved through scale, proportion or elevational treatment to create a memorable approach journey.

Recessed balconies are suggested to façades fronting Silverdale Road in order to retain the clarity of architectural form and contribute to the framing of Mandatory View 03.



## 3.6 SILVERDALE ROAD

### 3.6.3 Open Space and Public Realm

#### ROUTES AND FOOTWAYS

##### M / 190

A principal footpath connecting the Community Square to the canal path must be provided, a minimum of 2m wide, allowing movement through the public realm and access into ground floor residential dwellings.

##### M / 191

The change in level between Silverdale Road and the canal path (circa 2.2m) must be accommodated with a gradually sloping path. This should incorporate seating, planting and play equipment.

##### M / 192

The **shared surface**, dead-end servicing route along Silverdale Road must be raised above the level of other carriageways, flush with the adjacent public realm but clearly defined with an obvious material change. The material used for the **shared surface** must be distinguishable from the material palette for the remainder of the public realm.

##### M / 193

The turning head at the end of Silverdale Road must be designed to accommodate a refuse vehicle meeting LBH requirements.

#### Advisory guidance

The landscape design of the public realm should ensure that the primary pedestrian route through Silverdale Road is positioned away from the **shared surface** zone.

#### PRIVATE AMENITY AND DEFENSIBLE SPACE

##### M / 194

Type I private ground floor amenity space (incorporating buffer planting) must be provided to building edges that face Silverdale Road. Refer to Section 2.5.3 for details. As well as providing **private amenity**, they are included to animate the edge of the public realm and provide a sense of good natural surveillance.

#### MATERIALS AND STREET FURNITURE

##### M / 195

High quality materials must respond to the character of the space and to highlight its prominent nature as a key route and threshold into the site. Materials should be robust and easily maintained.

#### Advisory guidance

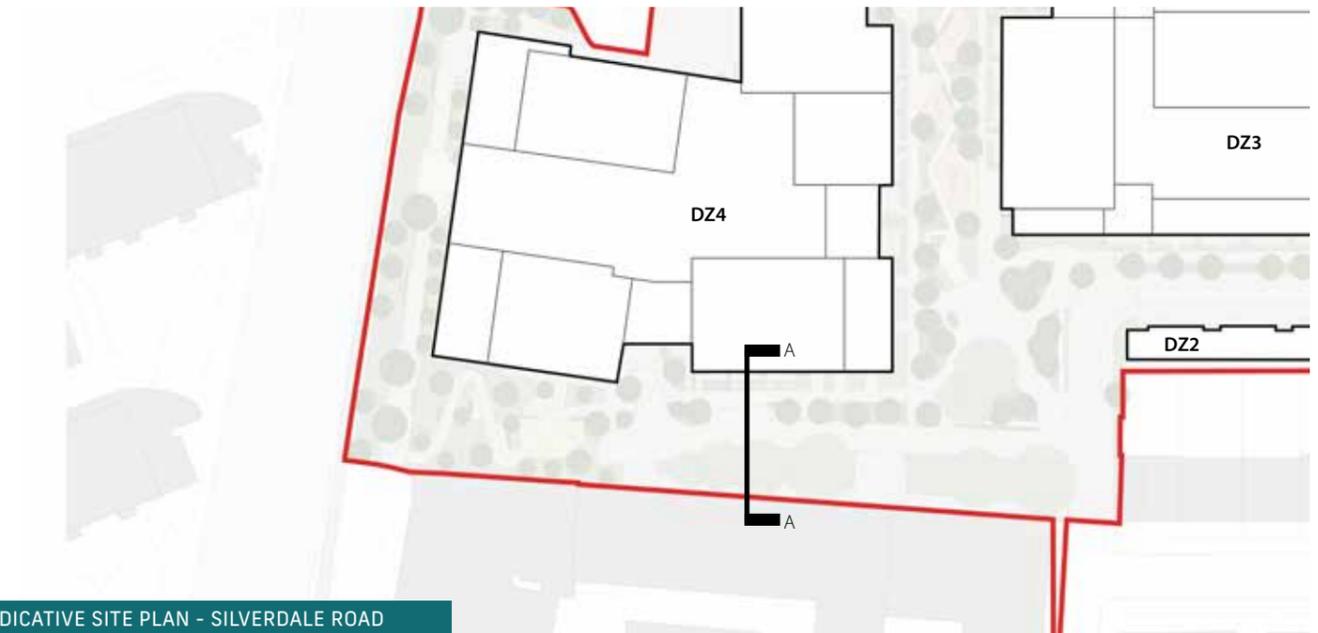
Larger paving slab sizes are recommended to the footways that are suitable to the regular width, continuity and legibility of pedestrian routes.

Play surfaces should be provided for prescribed play equipment within Silverdale Road, and are to be in keeping with the naturalistic environment.

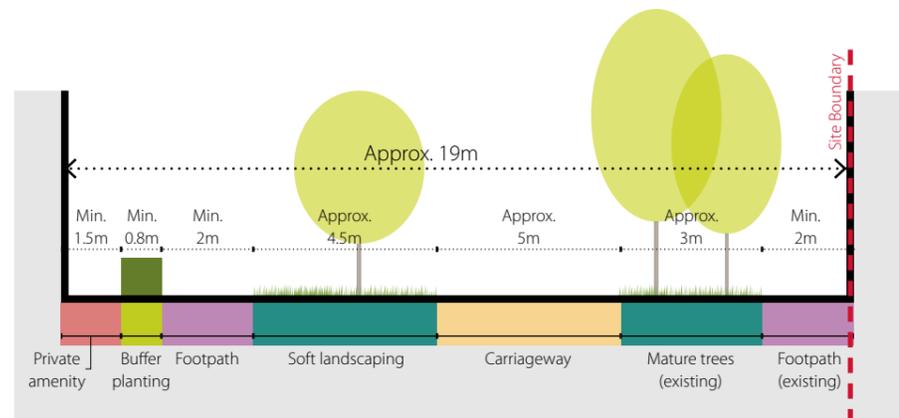
Natural and sustainable materials for the play areas such as reinforced grass, sand, bark, gravel and bound gravel should be considered that are in keeping with the character of the area.

Street furniture should respond to the character of the space and a softer, residential and more natural response should be considered. Use of timber and metal having more warmer, tactile and earthy tones and finishes are suggested.

The lighting strategy and lighting palette used will be important in providing both a safe evening route as well as highlighting key moments with atmosphere, ambience and drama.



INDICATIVE SITE PLAN - SILVERDALE ROAD



INDICATIVE STREET SECTION A-A

## 3.6 SILVERDALE ROAD

### 3.6.3 Open Space and Public Realm

#### TREES AND PLANTING

##### M / 196

The existing mature trees to the boundary edge of Silverdale Road are to be retained in accordance with the AIA. New biodiverse groundcover planting is to be provided beneath the existing trees.

##### Advisory guidance

The tree strategy for Silverdale Road should contain a mixture of specimen and native trees that create a varied all year round scene with a distinctive identity.

The tree strategy should respond to the linear sequence of spaces as moments that create interest, variety and identity. The trees will also help to enhance the connection from Silverdale Road to the surrounding green spaces running through the site to help create a continuous experience.

Small, open areas of amenity grass for recreation and play, that are enclosed by planting, trees and seating should be considered where appropriate.

When considering sensory planting as part of the play experience, thought should be given to how they stimulate all the senses. Fragrance, vibrant colours, noise, touch, taste and height throughout the seasons are important elements in an immersive and didactic atmosphere.

A strip of planting between the public footpath and **shared surface** route should be considered to create a robust boundary of buffer planting to the public realm. The planting palette is to consider all year round planting with structure, colour, seasonality and biodiversity in mind.

The buffer planting used to the ground floor amenity spaces should enhance Silverdale Road as a unique and identifiable route as well as a biodiverse corridor passing north-south through the site, connecting the green route along the canal into Austin Road and beyond. Thought should be given to the planting's suitability as buffer planting and also in attracting pollinators as part of the biodiversity strategy.

Vegetated rain gardens should be included where possible, and have a suitable planting strategy that reinforces the identity of Silverdale Road and continues the blue/green landscape link from

Austin Road through to the canal.

#### PLAY, FITNESS AND RECREATION

##### M / 197

Silverdale Road must accommodate play experiences for all age groups, with defined play equipment incorporated into the sloped/ winding path leading up to the canalside path.

##### M / 198

A mix of playable features must be included that create a variety of play opportunities for the key ages. Play should include experiences that range from prescribed fixed play items to natural play experiences that allow children to roam and engage with the trees, plants and **open spaces**.

##### M / 199

A minimum buffer area of appropriate planting must be used where play or recreation areas are adjacent to the **shared surface** area along Silverdale Road, that helps to define and enclose these spaces from the route.

##### Advisory guidance

Opportunities for fitness, recreation and well-being are important themes that should be woven into the design of Silverdale Road, maximising its linear nature as a sequence of spaces. There should be a range of experiences so that everyone has the means to access, use and benefit from these measures.

Play areas should be mindful of their proximity to footways or **private amenity** and include appropriate buffer planting to create a natural enclosure where they are adjacent to them.

Areas of amenity lawn should be provided that allows for flexible informal play and recreational activities.

Suitable 12 years + age group play provision should be considered that is appropriate to their age and interests. This might include table tennis, outdoor gyms, trim trails, and the encouragement to roam and socialise freely.

It is encouraged that 0 -11 years play should be integrated with the sensory planting along Silverdale Road and would create a natural play experience that helps develop balance and cognitive skills.

#### SUDS

##### Advisory guidance

Rain gardens form an integral part of the SuDS strategy and natural theme of water across the site. These features should be included in the design response.

Other SuDS features such as permeable paving should be considered.

#### URBAN GREENING FACTOR (UGF)

##### M / 200

The themes that contribute towards the UGF calculations for the Central Green must maximise permeable paving, flower-rich perennials, rain gardens, amenity grass and standard trees.

# **4. GLOSSARY OF TERMS**

## 4.1 GLOSSARY OF TERMS

Below is a series of commonly used terms and words that are being used throughout the document that aim to simplify the coding for the Hayes Town Centre Estate masterplan.

The terms are **highlighted** across the document.

### Above Ordnance Datum (AOD)

In the British Isles, an ordnance datum or OD is a vertical datum used by an ordnance survey as the basis for deriving altitudes on maps. A spot height may be expressed as AOD for "above ordnance datum". Usually mean sea level (MSL) is used for the datum.

### ADVISORY CODE/GUIDANCE

Advisory codes reflect best practice and good design principles of design and should be considered in developing the design.

### ADVISORY VIEW

Views that should be considered to create an overall good approach to townscape, the built form and placemaking. The views aim to highlight and make visual links to arrival spaces, key corners, secondary views to the marker buildings and/or gateways. Advisory views are favourable to promote easy wayfinding and legibility but also to highlight key architectural features for the built form and/or key features of open space/public realm.

See also 'Mandatory view' and 'Long Distance View' for a better understanding how these views relate and interact with the built form and open space/public realm.

### ACTIVE FRONTAGES

Active frontages are achieved when there is an active visual engagement between those in the street and those on the ground and upper floors of the buildings. Active frontages can provide informal surveillance opportunities and often improve vitality and safety of an area. This can be achieved with both residential and/or non-residential uses.

Active frontages at ground floor can be achieved by maximising individual and communal entrances to the street. On the upper floors, this can be achieved by maximising windows and/or balconies of habitable rooms onto the street.

Well designed cycle storage within the ground floor can be seen as active frontage if it has sufficient windows and/or has visual connection to the public realm along the frontage.

Active frontages should avoid large blank façades as well as large frontages involving car parking entrances and access to refuse storage.

Please note that windows and balconies to the upper floors also contribute to the level of active frontages.



Precedents for cycle parking as active frontage

### ARRIVAL SPACE

Arrival spaces should aim to improve placemaking and character of the development. An arrival space can be a node and/or distinctive part of the open space in variation or contrasting design, such as when two routes intersect and/or next to and/or combined with key corners. Arrival spaces aim to contribute to improved wayfinding and legibility as well as to create a sense of space and/or highlight a transition zone to another character area.

### BLANK FRONTAGES

A wall, elevation and/or frontage which has few or no windows or doors, has no decoration or visual interest, and /or has access to services and parking within the block. It is the opposite of an active frontage, please see also 'Active frontages'.

### BUILDING BREAKS

Physical and visual gap in the massing/buildings and/or built form. The length of the gap can vary but the break usually cover the full height of the massing except potential podium/plinth. Building breaks can involve gaps, recessed or protrude elements in the facade.

When building breaks involves gaps in massing these can improve daylight/sunlight for internal courtyards and/or help to ensure views through massing and/or promote more variation to the massing.

### BUILDING FRONTAGE

Frontage is the front of the building beyond which built elements (with the exception of balconies, approved entrance canopies and certain types of approved signage) shall not extend.

### BUILDING TYPOLOGIES

A set of advisory typologies setting out the key design elements of buildings, clearly highlighting the design intent whilst allowing flexibility.

### CARRIAGEWAY

The carriageway refers to the road over which vehicles travel and it is defined as the zone between two pavement lines or clearly demarcated zone within a wider carriageway.

### CHARACTER AREA

Characteristic area within the development that is characterised by design principles that distinguish it from other character areas within the development. These are defined by the built form & uses, open space & public realm and streetscape. The areas aim to create a sense of belonging and more distinctive neighbourhoods as well as variation within the Hayes Town Centre Estate.

### DESIGN AND ACCESS STATEMENT (DAS)

A Design and Access Statement explains the design process behind the development of the Illustrative masterplan and Hayes Town Centre Estate Vision and sets out the design principles that have informed the Parameter Plans and the Design Code.

### DESIGN CODE (DC)

A design code is a set of simple, concise, illustrated design requirements that are visual and numerical wherever possible to provide specific, detailed parameters for the physical development of a site or area.

### DEVELOPMENT PLOT

The allocated maximum development plot for any development such as building blocks, homes and non-residential uses.

### DEFENSIBLE SPACE

Defensible space is defined as the boundary treatment or visual buffer between the building facade and the public realm and/or communal areas that provides privacy and visual shelter to habitable rooms and internal spaces (from the public realm and communal areas).

In residential properties Defensible space may also serve to accommodate the provision of private amenity for all dwellings. In some cases, according to the requirements of each character area the private amenity is provided alongside buffer planting to the public realm. In other cases Defensible space could only consist of planting, planters, plinths, demarcation, etc.

Non-residential uses located to the ground floor could also benefit from Defensible space such as landscape areas that provide some visual shelter from the street while providing green assets to the development.

### DUAL ASPECT

A dual aspect dwelling is defined as one with openable windows on two external walls, which may be either on opposite sides of a dwelling or on adjacent sides of a dwelling where the external walls of a dwelling wrap around the corner of a building. The provision of a bay window does not constitute dual aspect.

### ENVIRONMENTAL IMPACT ASSESSMENT (EIA)

Environmental Impact Assessment is a process of evaluating the likely environmental impacts of a proposed project or development, considering inter-related socio-economic, cultural and human-health impacts, both beneficial and adverse.

### FLANK WALL

A sidewall of a building in contrast to the front or rear wall. The location of a flank wall depends on the block structure and/or built form become prominent and/or partly or fully visible from the street level or through vistas/views.

### GATEWAY

A gateway aim to celebrate and/or highlight an entrance to either the Site or a transition zone to another character area. A gateway can be form through the provision of the key corners, and/or chamfers, and/or the design of the public realm and lighting that contribute to signal the arrival space contributing to wayfinding.

## 4.1 GLOSSARY OF TERMS

### HAYES TOWN CENTRE ESTATE / NEW DEVELOPMENT

Any potential proposal that will be delivered within the area bound in red that forms part of the outline planning application boundary.

### KEY CORNER

A key corner is a distinctive feature of a buildings corner that makes it stand out and/or separate it from the rest of the building. This can be done in a various ways through materiality, articulation and/or façade treatment. Key corners improve wayfinding and to character to the area.

### LONG DISTANCE VIEW

Views that are of importance to contribute to wayfinding of the main pedestrian entrances to the Hayes Town Centre Estate from the surroundings and to contribute to the legibility of the marker buildings from around the Site. Long distance views are oriented towards marker buildings and highlight the main pedestrian access points the Hayes Town Centre Estate.

See also 'Mandatory view' and 'Advisory View' for a better understanding how these views relate and interact.

### MANDATORY CODE/GUIDANCE

All mandatory codes must be followed in developing the design.

### MANDATORY VIEW

Key views that contribute to wayfinding and legibility. The provision of mandatory views impact on the design of plots through the introduction of chamfers, and/or minimum distances between buildings.

See also 'Long Distance View' and 'Advisory View' for a better understanding how these views relate and interact to contribute to wayfinding.

### MARKER BUILDING

Marker buildings differentiate themselves from the surrounding context due to their materiality, architectural treatment or character or scale and massing.

### MASTERPLAN/ILLUSTRATIVE MASTERPLAN

The Illustrative masterplan demonstrates one way in which the RMA could be developed, whilst ensuring high quality design principles and best practice as set out in this Design Code. The Masterplan is merely illustrative and it is not submitted for approval.

### NON-RESIDENTIAL USES

Refers to uses that are not homes. Example of uses can be shops, restaurants, cafés, offices, industrial, workspaces, hairdressers, pharmacies, community, leisure, etc. These uses occupy the ground floor in strategic locations and may also be combined with a spill out zone into the public realm.

### OVERARCHING CODING PRINCIPLES

Design guidance that should be applied across the whole of the Hayes Town Centre Estate development and across all the proposed character areas. These include information based on urban design best practice to which all development should adhere and provides guidance for a series of key design elements, including: treatment of the built form; layout; sustainability; landscape and public realm, parking and more.

### OPEN SPACE

Open space includes public realm, park and streets and are public in contrast to private or semi-private open spaces.

### PRIMARY ELEVATION

These are defined as the façades of buildings facing the Urban Park and primary open space (as per the Hard & Soft Landscaping Parameter Plan).

### PRIVATE AMENITY

Private outside space of a minimum of 5sqm that should be provided to all homes.

### RAMP

A sloping surface joining two different levels. A ramp involves a gradient above 1:12. Ramps need to be fully accessible for inclusivity.

### RESERVED MATTERS APPLICATION (RMA)

An application for Approval of Reserved Matters is used to seek approval of those matters for which approval has not been given in the outline planning permission. The details submitted as part of a Reserved Matters Application must be in accordance with the outline permission including the conditions and obligation that form part of the permission. The Reserved Matters Application can seek approval of one or more of the following matters: Access, Appearance, Landscaping, Layout and Scale.

### ROOF TREATMENT

The top of the building with a defined edge or other element that demarcates the building's top. Roof treatment can include pitched or sloping roof, gables and/or mansards.

### SECONDARY ELEVATION

Within this development, all façades fronting the street and/or public realm.

### SET-BACK

A set-back occurs when the upper part of a building is offset from the established building frontage line. A set-back may be introduced in order to minimise the building massing impact on the street level to provide a contextually appropriate street-scene.

### SHARED SURFACE/SPACE

Shared surfaces/spaces are access ways where there is no surface segregation between vehicles, pedestrians, cyclists and other road users. Pedestrians should always be prioritised over any vehicles.

### SPILL-OUT AREA/ZONE

The direct outdoor space/zone/paving outside non-residential uses that can be used to complement non-residential activities and contribute to the vibrancy of the public realm. Spill-out areas may include outdoor seating, restaurant/café furniture/parasols, stands for flowers, etc.

### STREETSCAPE

The natural and built fabric of the street, and which defines design quality of the street and its visual effect.

### TALL BUILDING

A building that is no less than 6 storeys or 18 metres measured from ground floor level of the uppermost storey as per London Plan 2021.

It could also be a building that is significant taller than its surrounding context and/or adjacent built form.

### TERTIARY ELEVATION

Façades facing communal courtyards in perimeter blocks.

### THE SITE

This relates to the area bound in red on the Site Location Plan which usually corresponds with the red line boundary of the outline planning application.

### TOWNSCAPE

The overall visual appearance of built form and landscape including the buildings, the relationship between them, the different types of urban open spaces, including green spaces and the relationship between buildings and open spaces.

### TRANSITION ZONE

The zone where two or more character areas overlap, which can include plots and/or streets and/or open space/public realm. Overarching principles must always be undertaken if there is uncertainty which of the character areas coding should take priority for the transition zones.