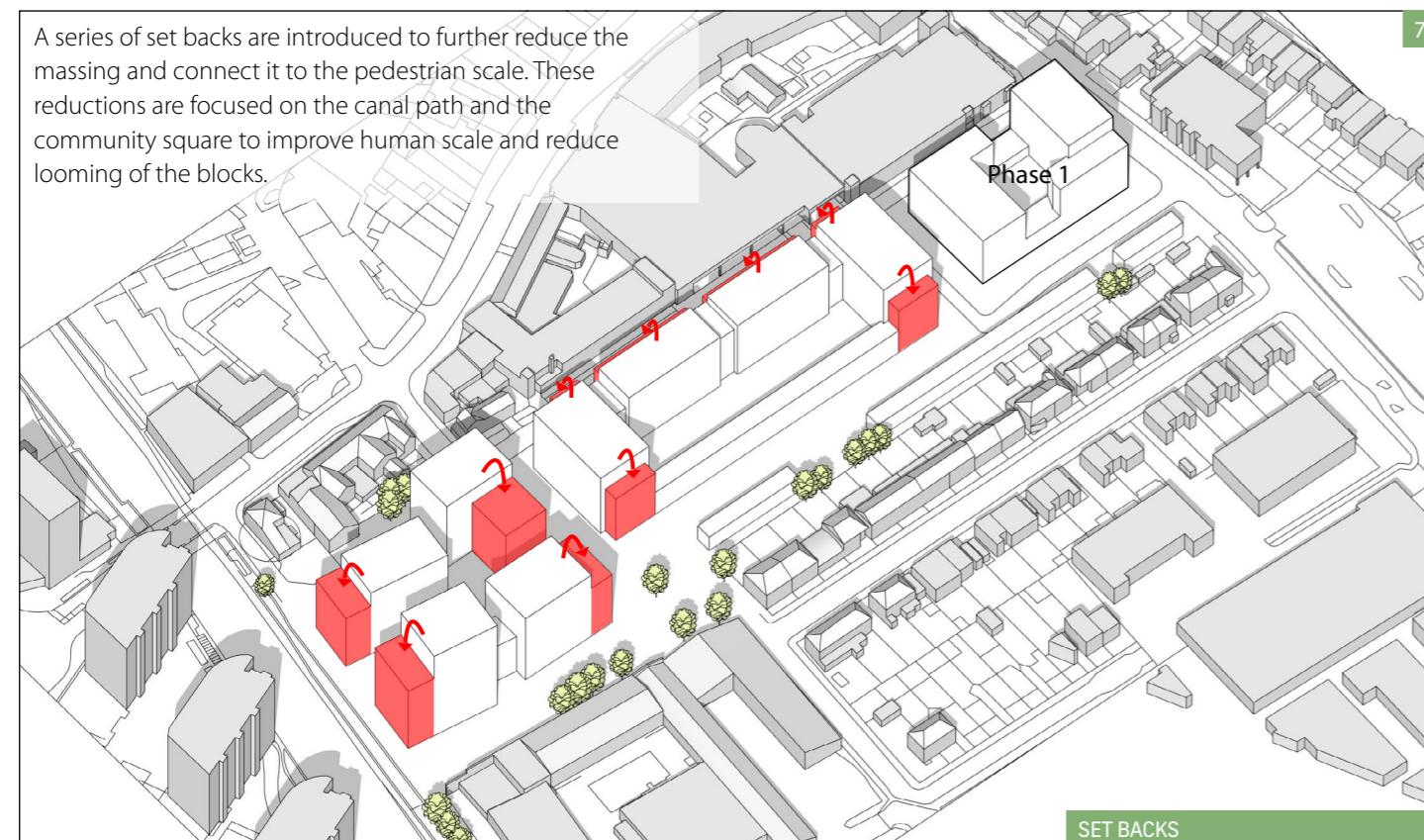
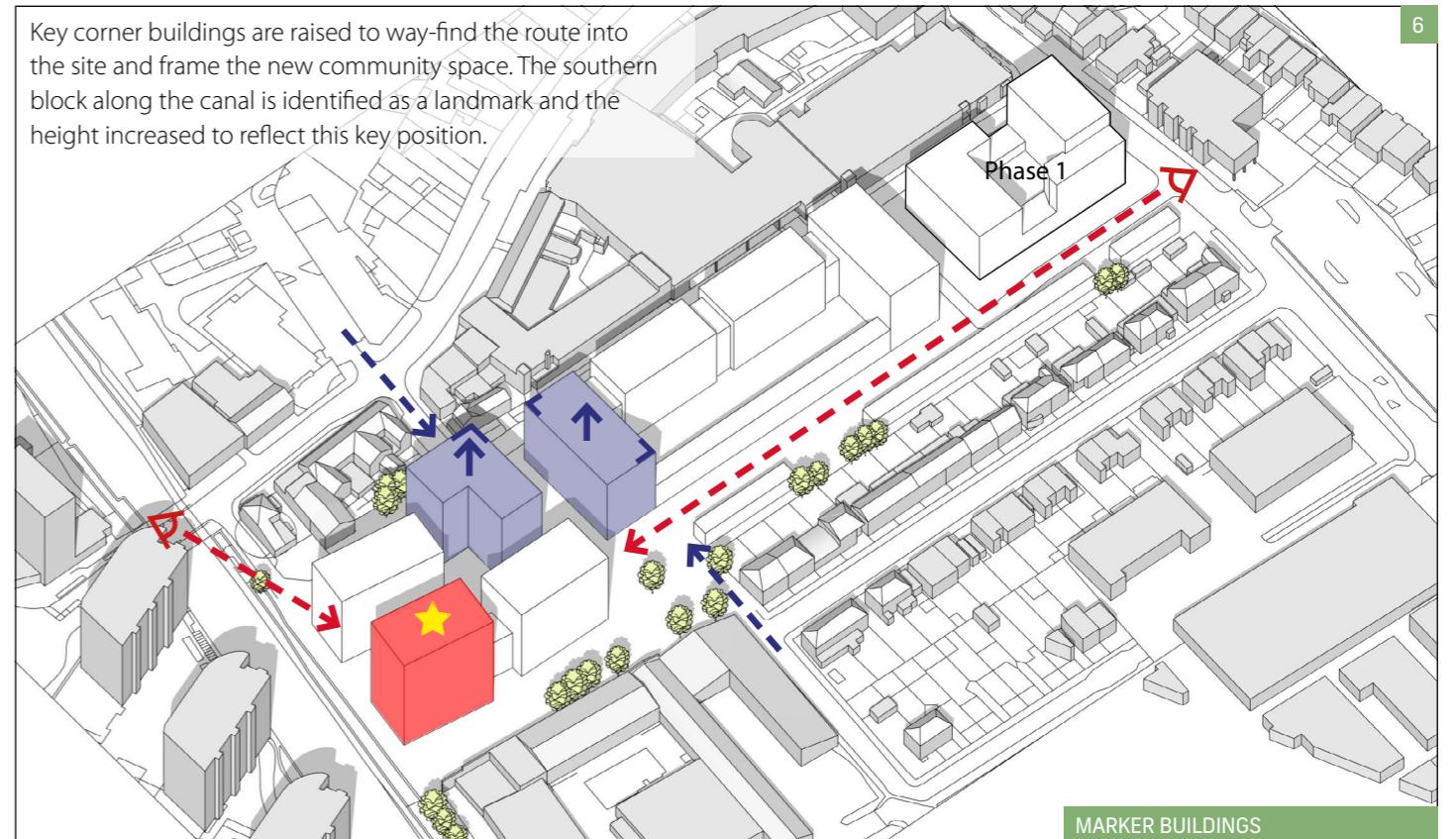
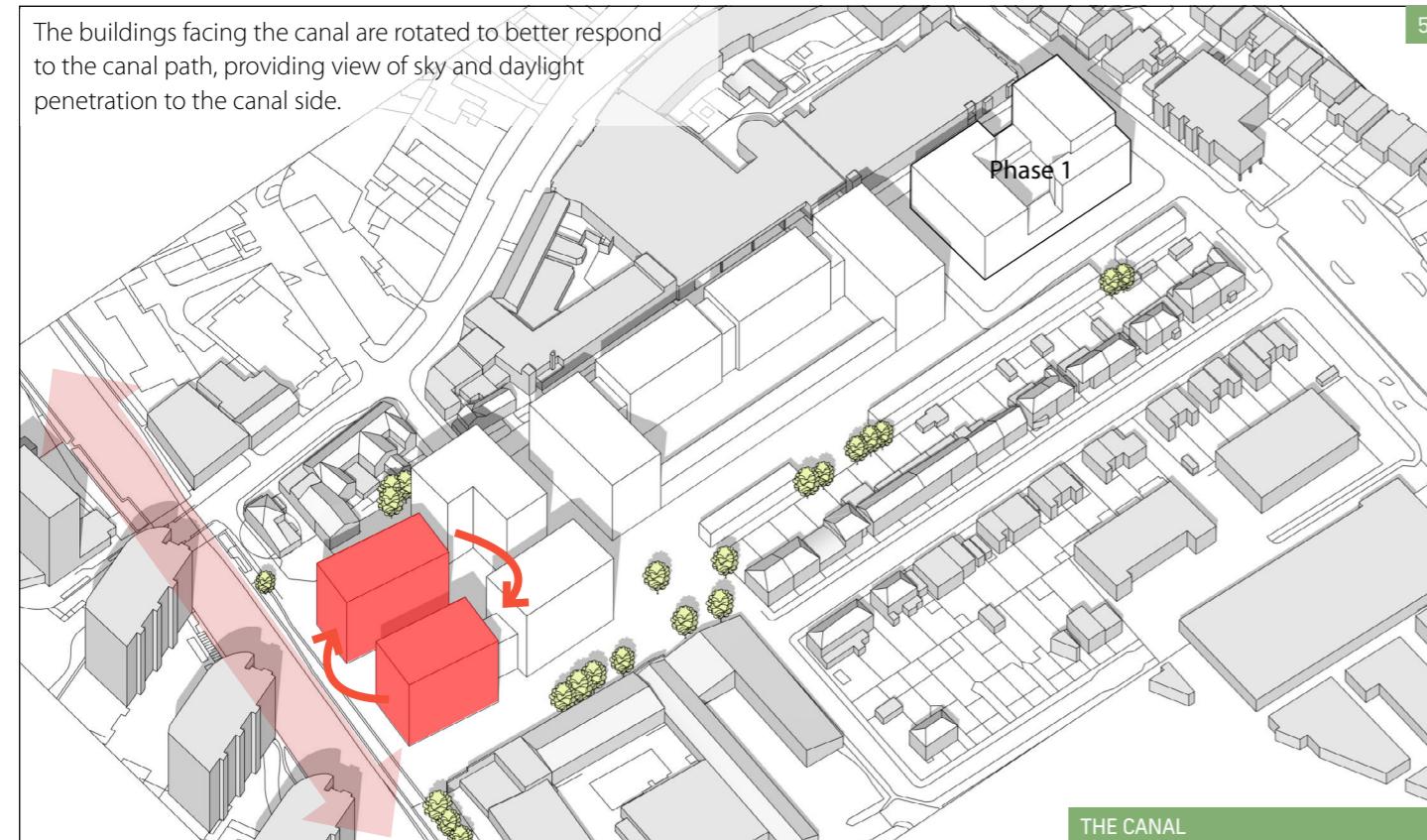
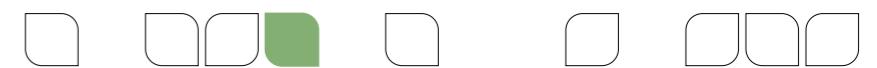


ILLUSTRATIVE SCALE & MASSING

Key Massing Moves

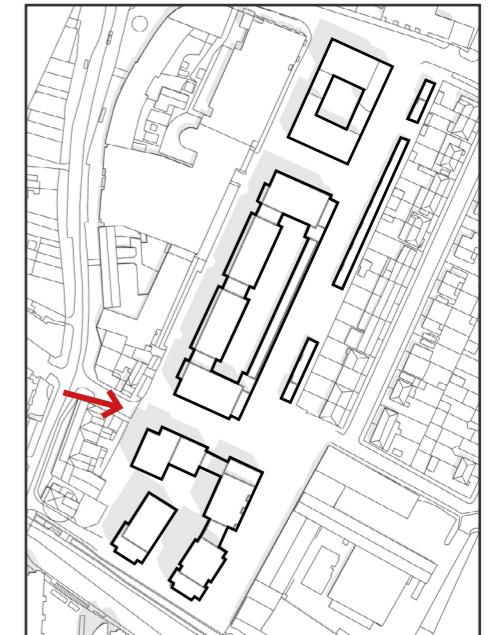


ILLUSTRATIVE SCALE & MASSING

4.3.3 Massing and Townscape Views

This section shows the proposed illustrative massing from key views around the site. More views and further details are provided in the Townscape, Visual Impact Addendum prepared by Savills.

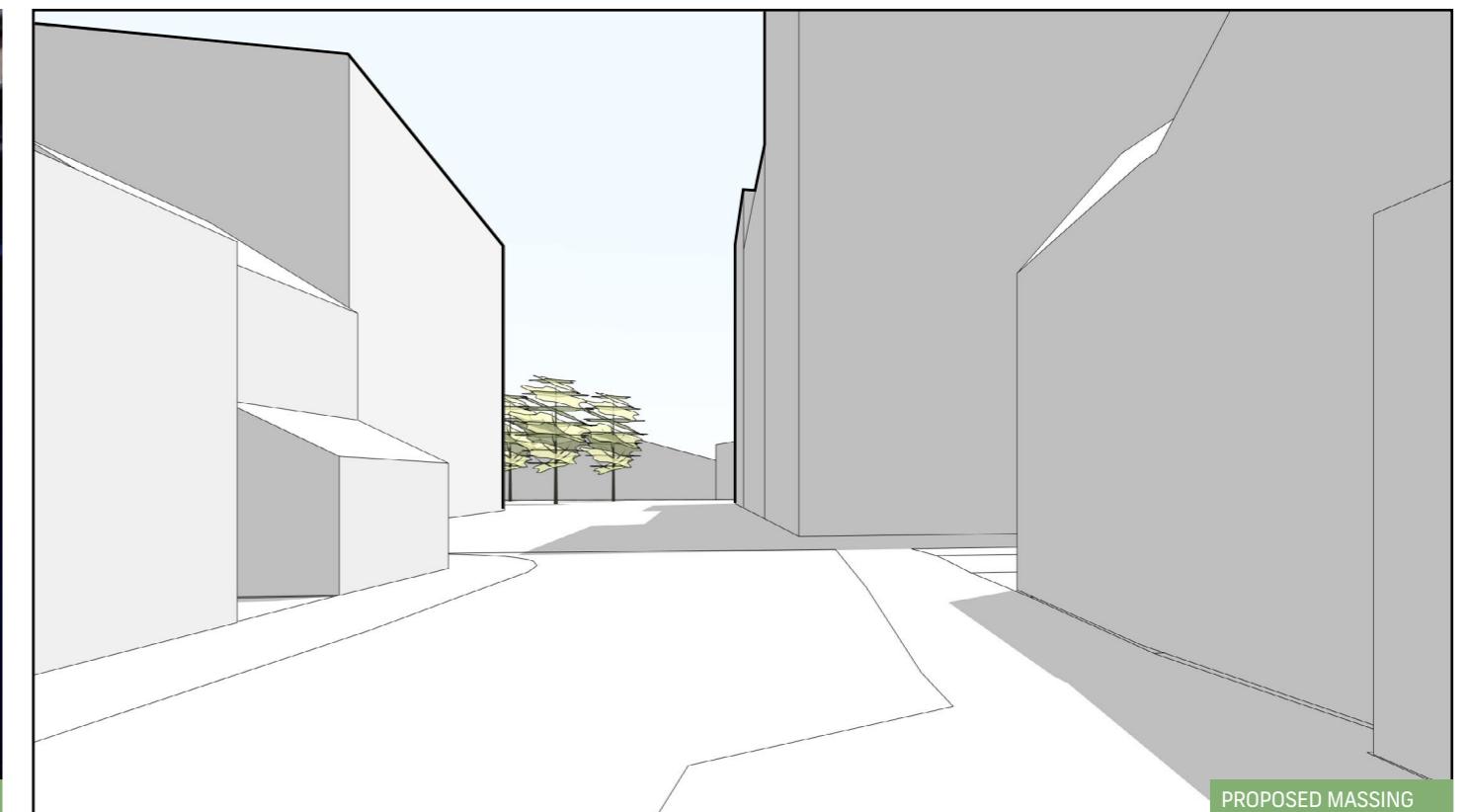
From Station Road looking into Crown Close, the corner of the proposed phase 3 and 4 developments will be visible. As a major public route connecting to the high street and station, this well-used road will direct viewers to the proposed community square and community centre.



View Key



ILLUSTRATION (PROPOSED MASSING)

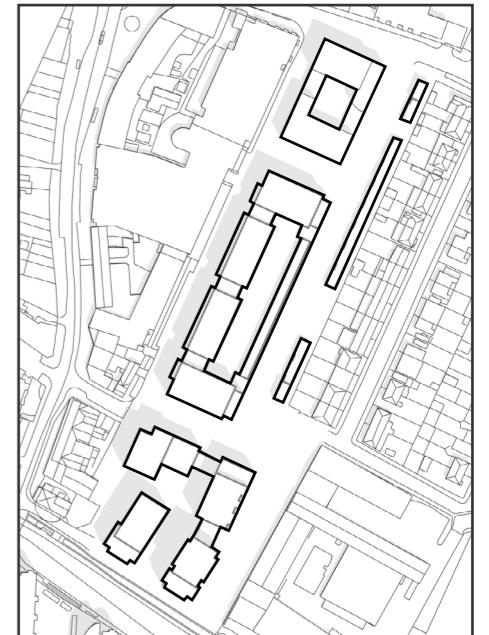


ILLUSTRATIVE SCALE & MASSING

Massing and Townscape Views

This section shows the proposed illustrative massing from key views around the site. More views and further details are provided in the Townscape, Visual Impact Addendum prepared by Savills.

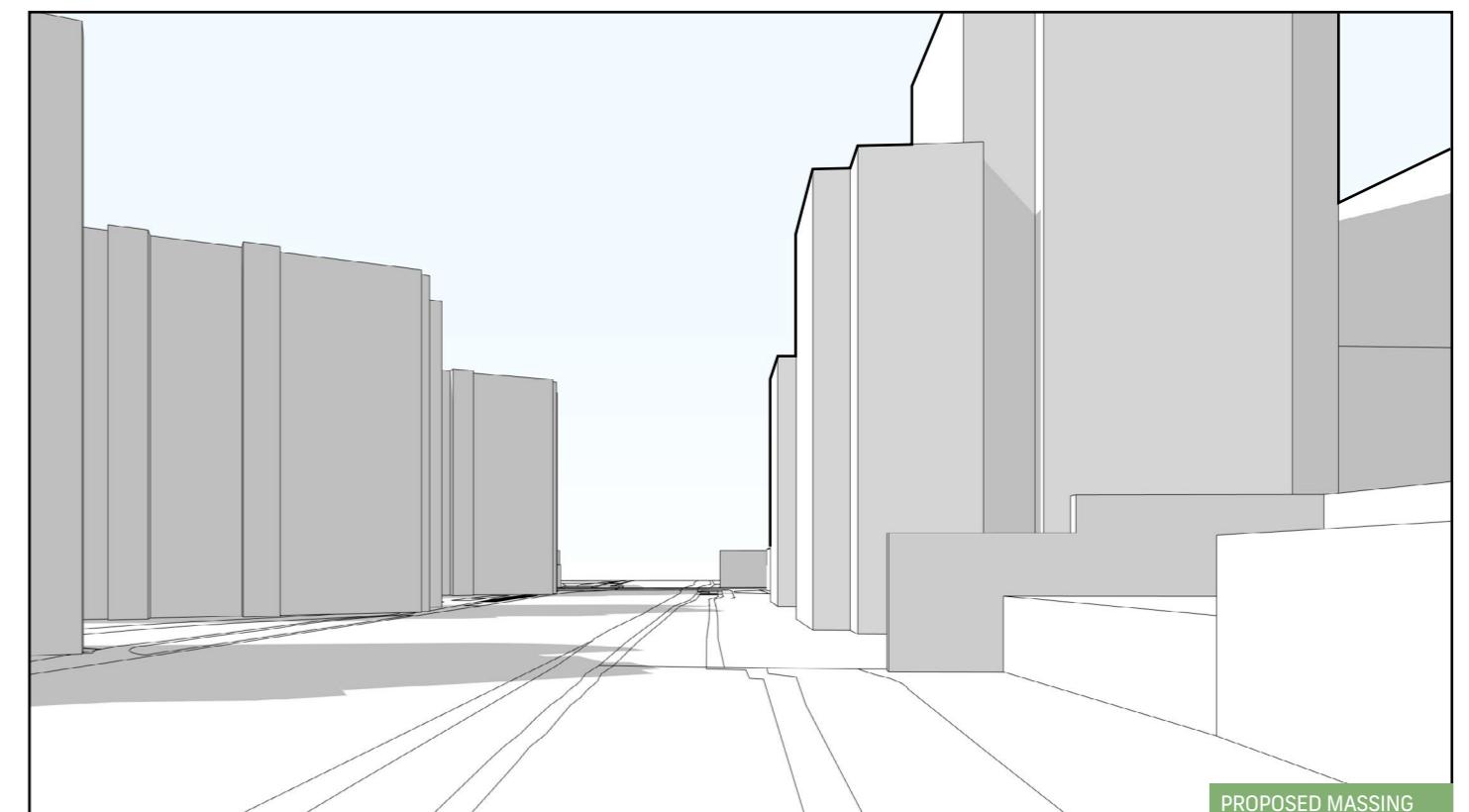
Looking west along the canal path, the blocks are set back from the path to provide breathing space to the important public route. As can be seen in the more zoomed out view, the blocks step down to the canal and are broken up with insets to the massing to reduce the sense of scale.



View Key



ILLUSTRATION (PROPOSED MASSING)



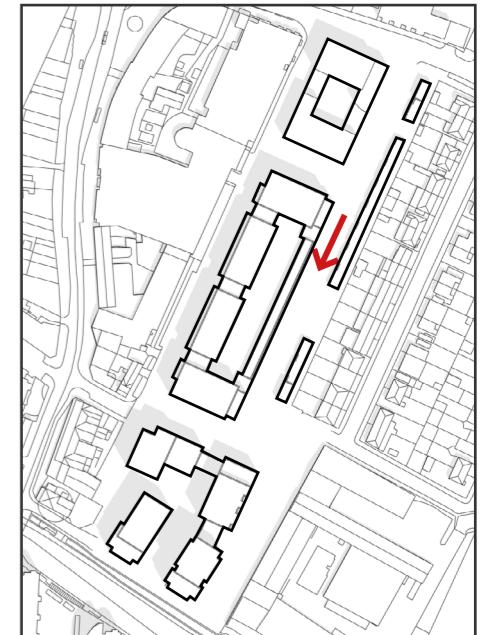
PROPOSED MASSING

ILLUSTRATIVE SCALE & MASSING

Massing and Townscape Views

This section shows the proposed illustrative massing from key views around the site. More views and further details are provided in the Townscape, Visual Impact Addendum prepared by Savills.

Looking south along the new residential street proposed where Austin Road is currently, the proposed street will be of a generous proportion, lined with 2 and 3 storey family homes that relate to a human scale and giving wide views of sky.



View Key



ILLUSTRATION (PROPOSED MASSING)



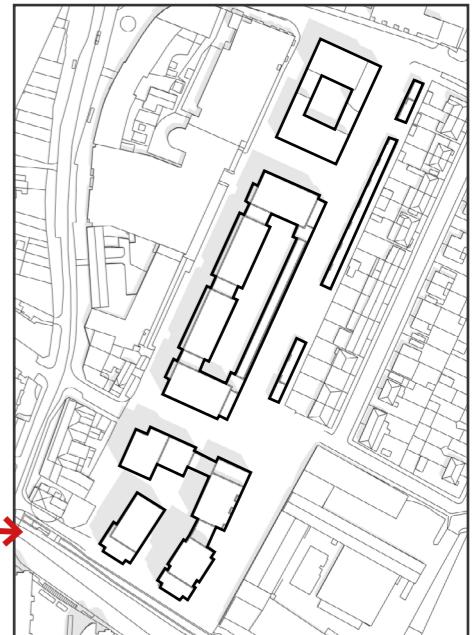
PROPOSED MASSING

ILLUSTRATIVE SCALE & MASSING

Massing and Townscape Views

This section shows the proposed illustrative massing from key views around the site. More views and further details are provided in the Townscape, Visual Impact Addendum prepared by Savills.

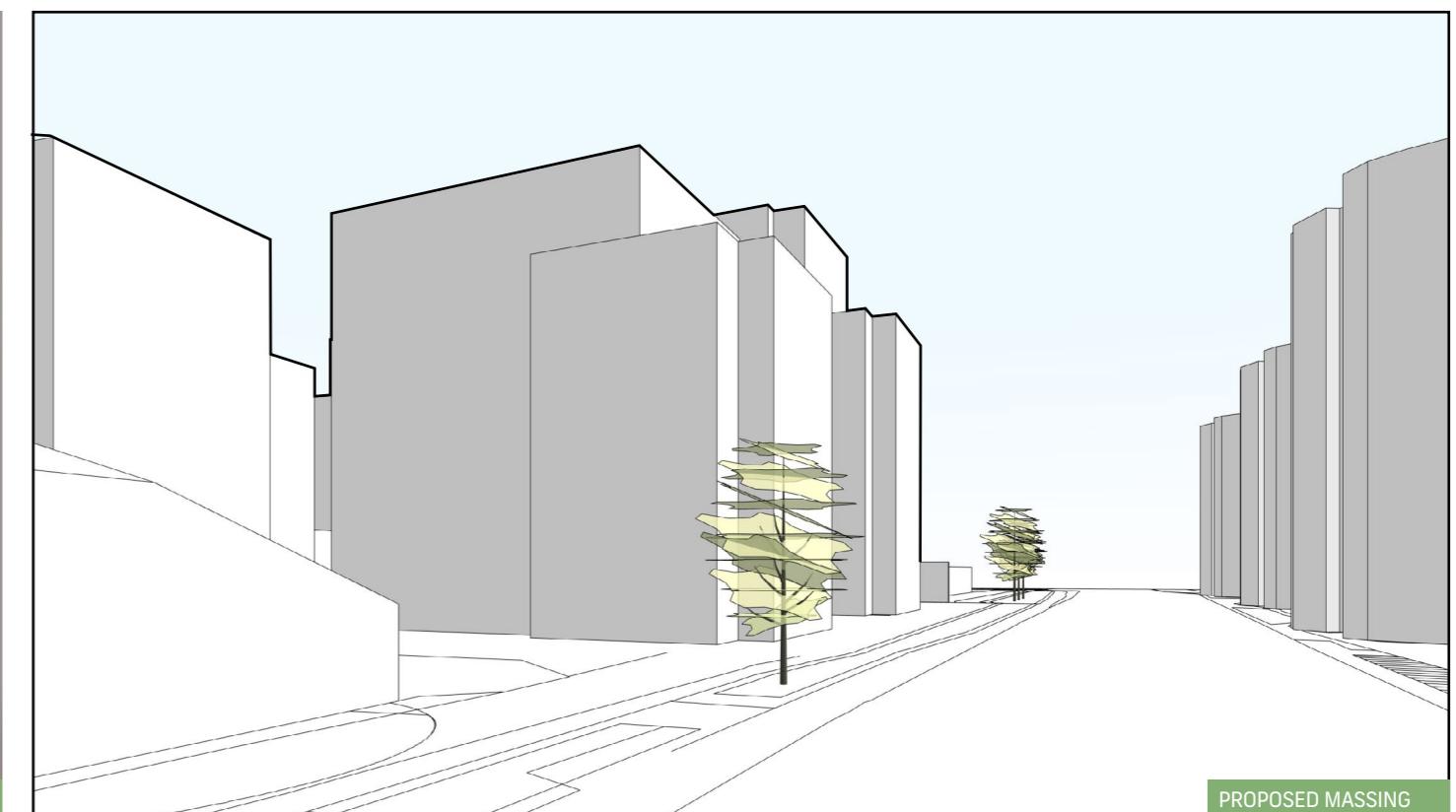
Looking east along the canal path, the proposed illustrative massing steps down to the canal improving the pedestrian experience and creating a better human scale. The blocks are articulated and proportionate in scale to those on the other side of the canal.



View Key



ILLUSTRATION (PROPOSED MASSING)



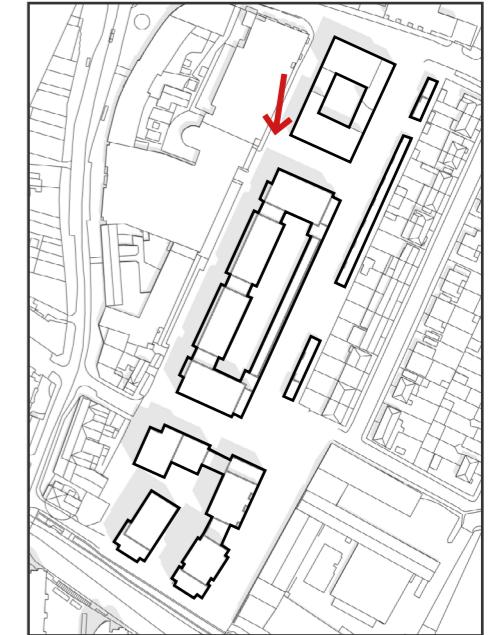
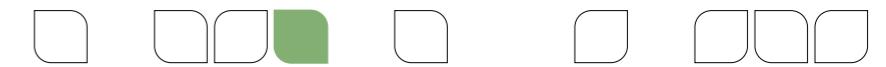
PROPOSED MASSING

ILLUSTRATIVE SCALE & MASSING

Massing and Townscape Views

This section shows the proposed illustrative massing from key views around the site. More views and further details are provided in the Townscape, Visual Impact Addendum prepared by Savills.

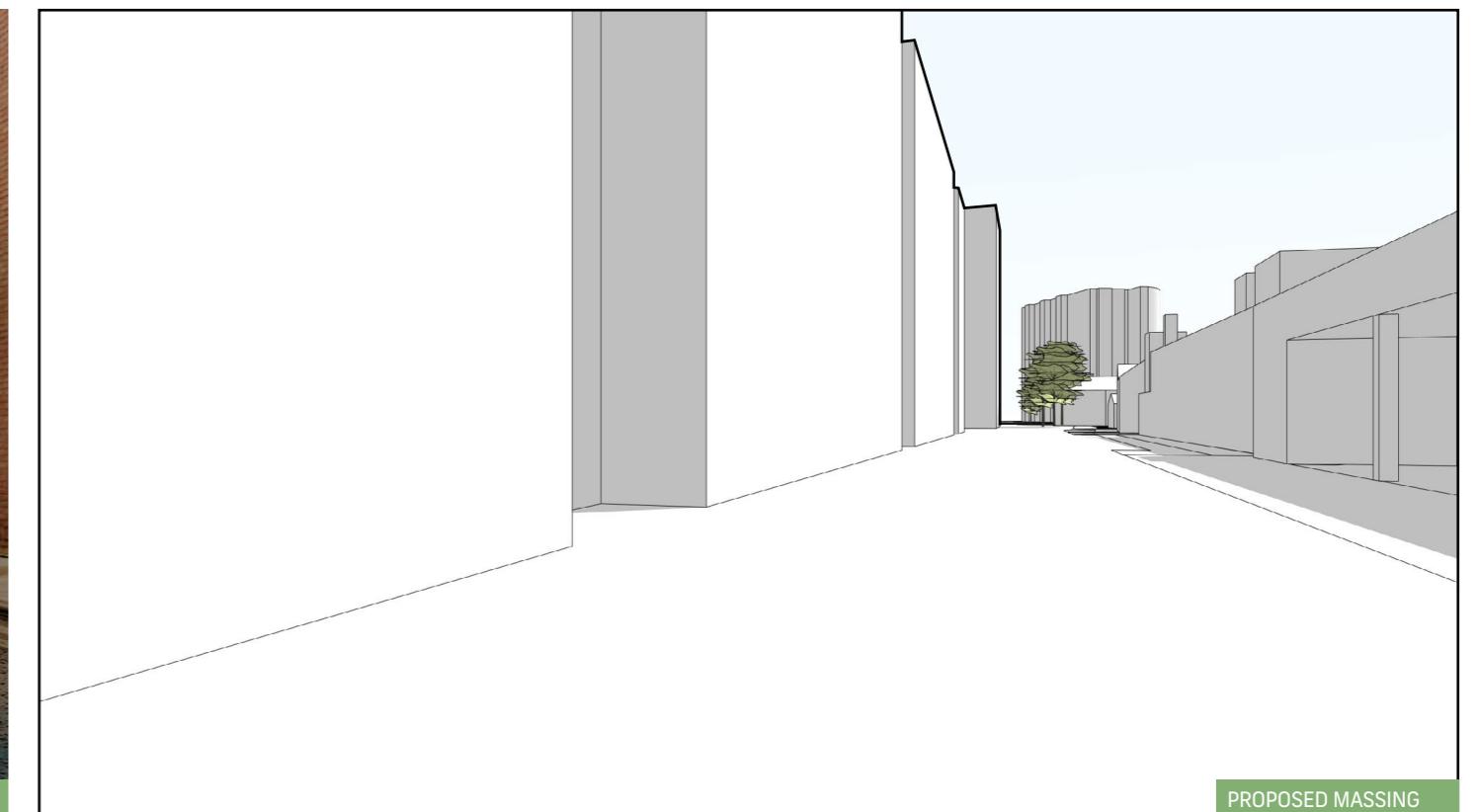
Looking south down Crown Close, the proposal provides good active frontages to counteract the existing context to the back of the high street. The width of the proposed urban street respects the existing building line, giving enough space to allow for tree planting and other greenery along the front of the development.



View Key



ILLUSTRATION (PROPOSED MASSING)



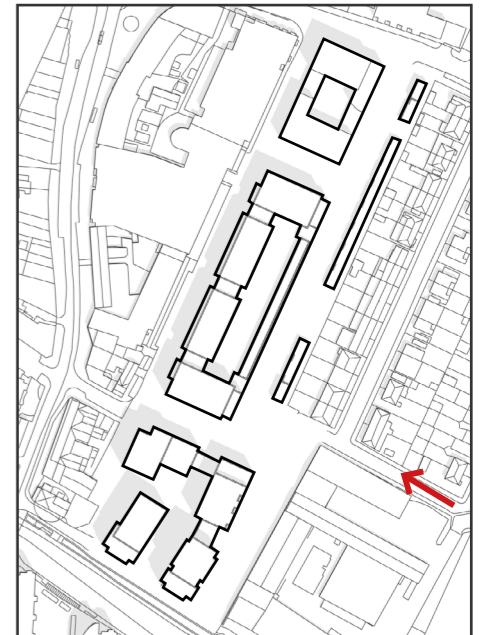
PROPOSED MASSING

ILLUSTRATIVE SCALE & MASSING

Massing and Townscape Views

This section shows the proposed illustrative massing from key views around the site. More views and further details are provided in the Townscape, Visual Impact Addendum prepared by Savills.

The images below show the view looking west down Silverdale Road. From here, the hierarchy of blocks stepping up towards the canal is visible, with the articulated massings of the proposed phase 4 breaking up the scale.



View Key

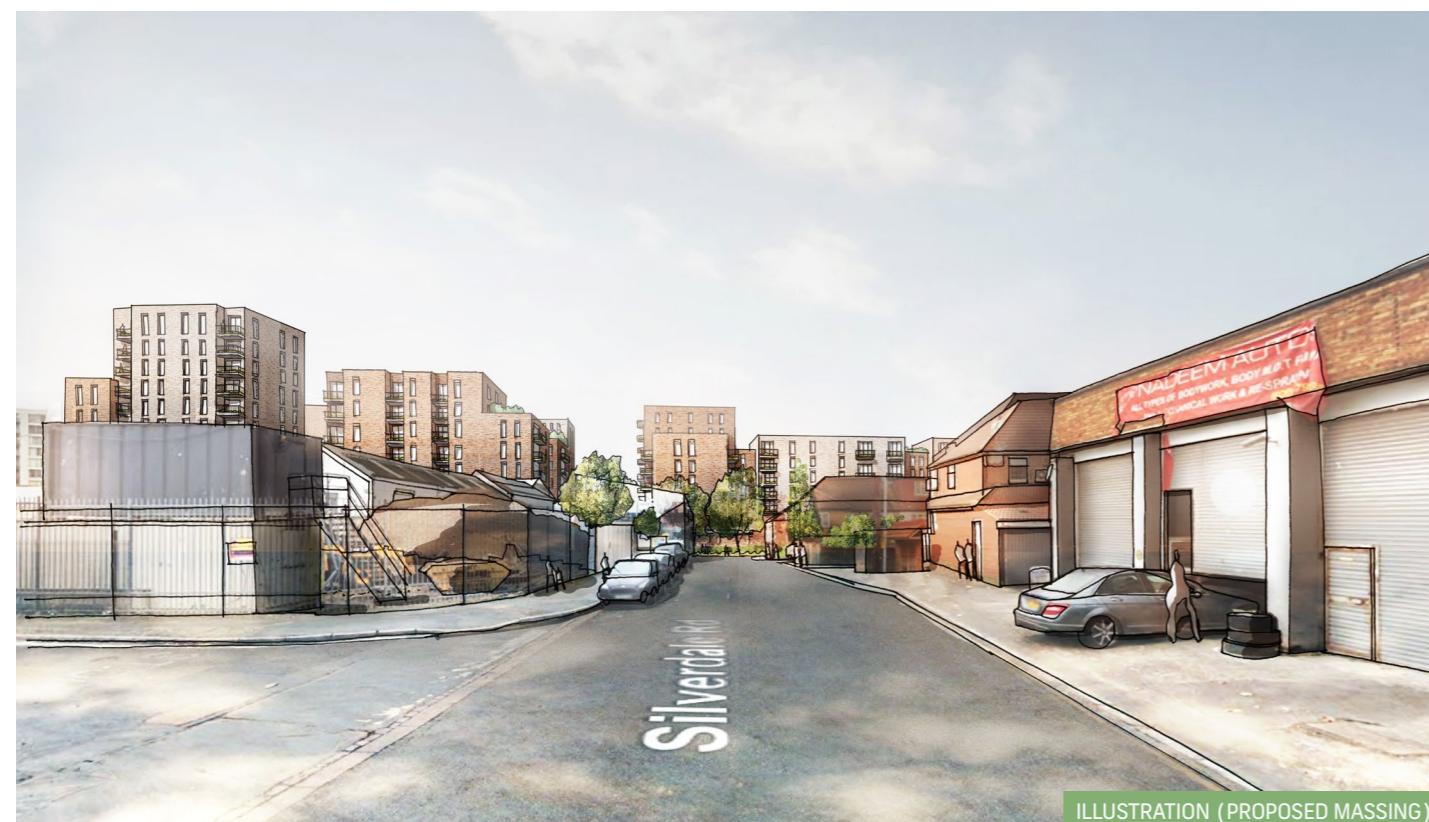


ILLUSTRATION (PROPOSED MASSING)



PROPOSED MASSING

4.4 ARCHITECTURE STRATEGIES

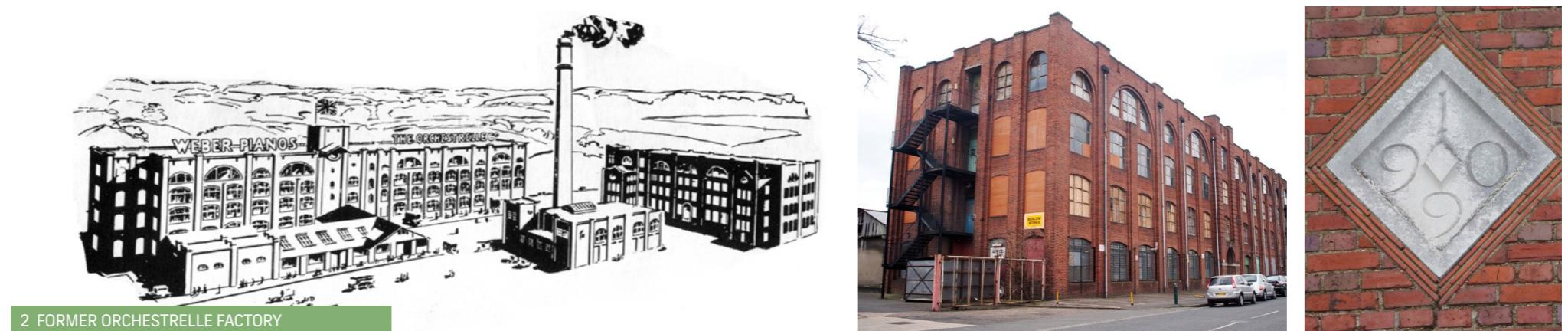
4.4.1 Context Introduction



THE ROLE OF THE FUTURE SUBMISSIONS

The following pages explore the illustrative work prepared to help craft the parameters that are being submitted as part of this application. The architectural language and design principles will be established through a Design Code to be submitted prior to the submission of any reserved matters application/s (RMA/s), with the detailed design of blocks and landscaping set out in the subsequent RMA/s.

The work shown here is to better explain the process that the design team has gone through in developing the parameters and illustrative masterplan.



INDUSTRIAL HERITAGE

- The site was historically the worker terraces for the surrounding industries (early 1900s).
- Industry came quite late to Hayes - late 19th and early 20th Century
- Notable industrial factories include the former Nestle Factory and the Old Vinyl Factory - both are Art Deco and both form part of major redevelopment in Hayes
- The site is adjacent to the location of the old Orchestrelle/Aeolian factory
- Strong musical history in Hayes
- Industrial buildings bordering the site date back to 1907 and were the former X Chair Factory

