

Flood Risk Assessment

Development:

Construction of single storey garage to side of property

Site Address:

11 Woodville Gardens
Ruislip
London
HA4 7NB

Development Grid Reference:

TQ 08329 87673

Applicant:

Anthony and Patricia Wilson
11 Woodville Gardens
Ruislip
London
HA4 7NB

Date of Assessment:

Friday 15th January 2020

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Introduction

This flood risk assessment has been produced in accordance with the standing advice and is to accompany the planning application for the construction of a single storey garage to the side of the property.

Although the location of the minor development on the site is within flood risk zone 1, part of the site falls within Flood Zone 2, therefore it is a requirement that a flood risk assessment be carried out to accompany the planning application.

As this assessment makes clear, this minor development will not be at risk of flooding, nor will it increase the risk of flood in other areas nearby.

Description of the Minor Development

There is an existing shed at the location of the development which currently has no methods of surface water management i.e., guttering or soakaways as seen in Photograph 01 in Appendix 1.

The new garage to be constructed to the side of the property will replace the existing shed and will include a soakaway, which is a suitable method of surface water management.

The works are being carried out under building control approval and will be carried out in accordance with requirements under Approved Document H.

Flood Risk

As required under the standing advice, it is required to demonstrate the estimated flood level for a 1 in 100 or greater annual probability, including an allowance for climate change.

As illustrated within the data provided by the environmental agency in Appendix 3, and on the drawings provided in Appendix 2, the garage to the side of the property does not sit within Flood Zone 2, nor is the development at risk of flooding for a 1 in 100 or greater annual probability with a 70% climate change (CC) allowance.

The proposed garage has both the same floor level as the existing property and is also more than 300mm above the estimated flood level. Drawings have been produced with levels shown on the elevations relevant to the Ordnance Datum and can be found in Appendix 2.

The new garage to be constructed will have a gutter and a downpipe which connects into a soakaway within the rear garden of the property.

Summary

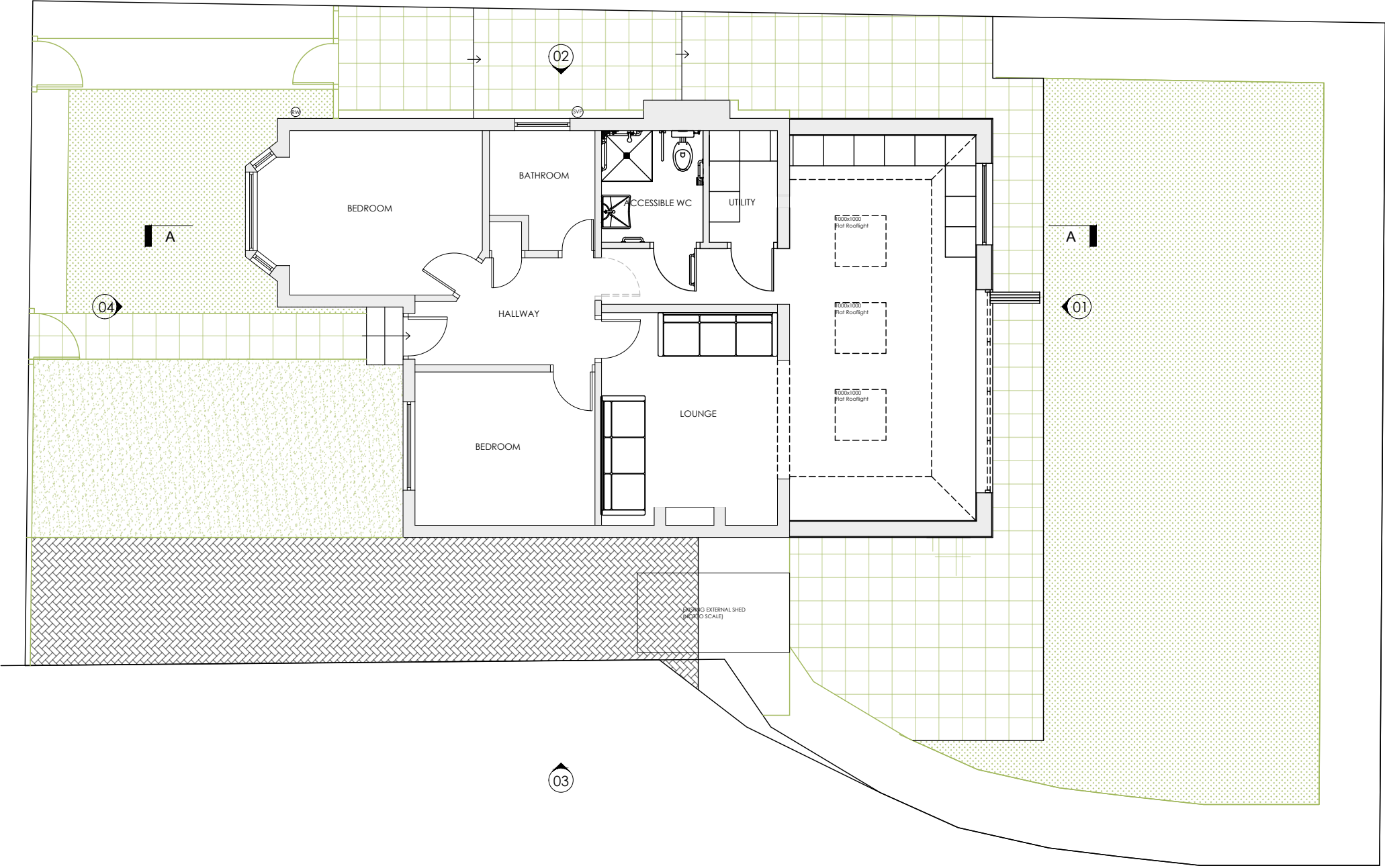
- The site is within Flood Zone 2 - Grid Ref: TQ 08329 87673.
- The development within the site is in Flood Zone 1.
- The 1 in 100 or greater year probability flood level with a 70% CC is 40.72m above Ordnance Datum.
- Finished floor levels are 41.735m above Ordnance Datum and are therefore more than 300mm above the estimated flood level.
- Surface water will be dealt with by discharging to soakaway to rear garden as shown on plans.

Appendix 1 – Photographs



Photograph 01 –
Existing shed structure with no surface water
management.

Appendix 2 – Site Plans



EXISTING - SITE PLAN

1:100

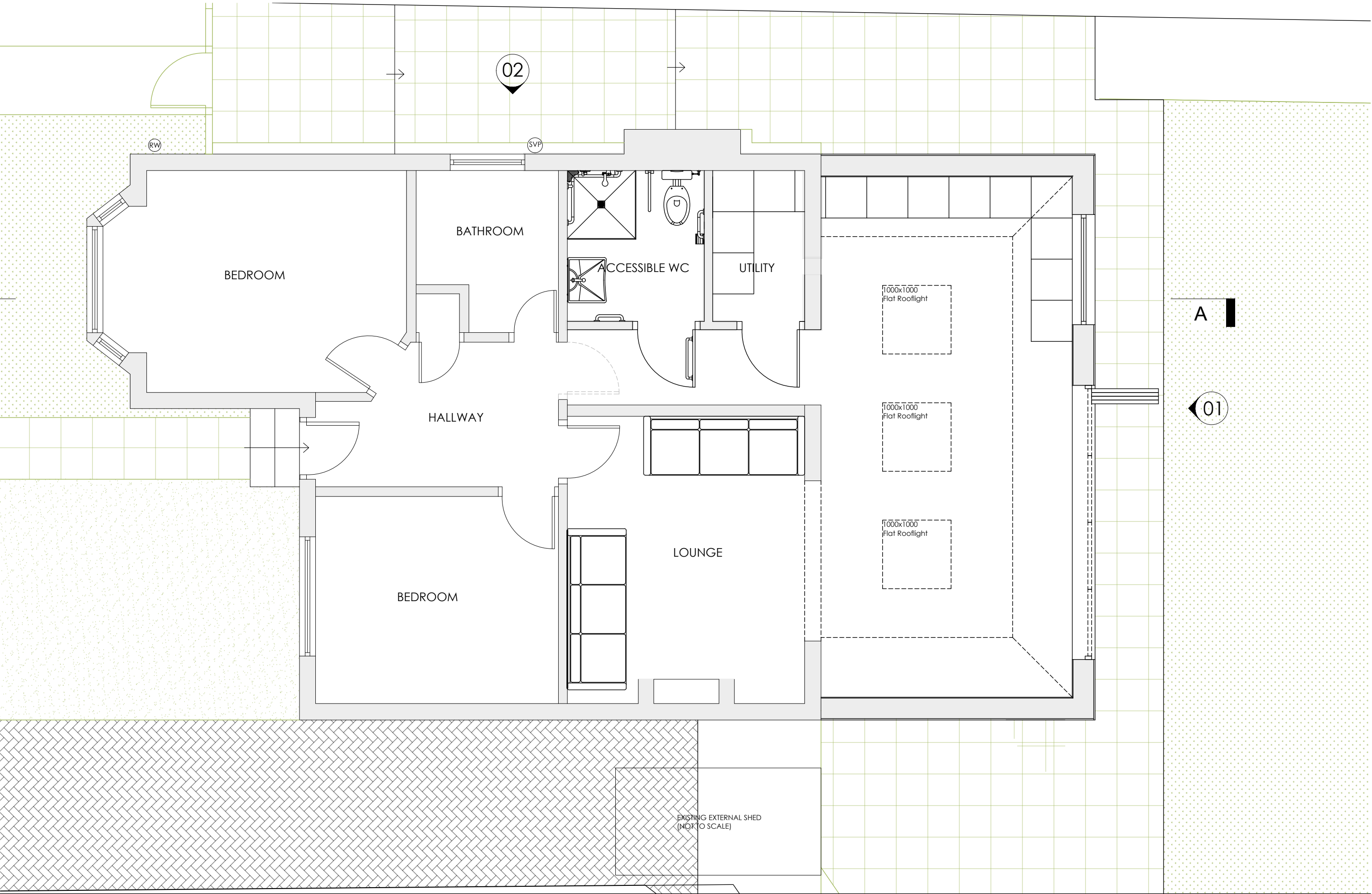
Client:
PAUL WILSON
Date:
NOVEMBER 2020

Project:
**11 WOODVILLE GARDENS
RUISLIP HA4 7NB**

Drawing Title:
EXISTING SITE PLAN
Scale:
1:100 @ A3

Drawing Issue:
DRAFT

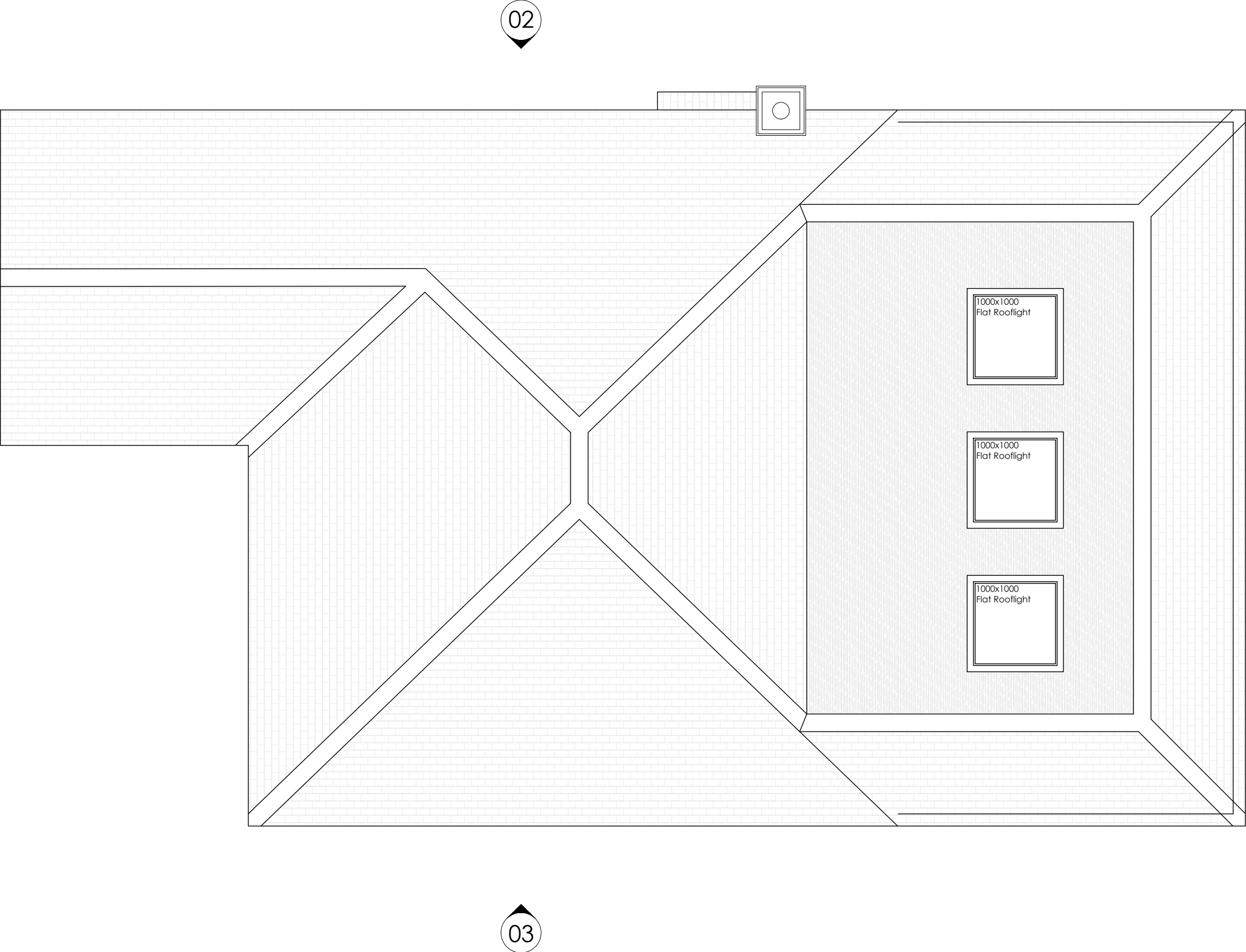
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| 11WOOD | LW102 | 001 | LW | - |
| Do not scale drawings. All dimensions to be verified & checked on site. The owner of the copyright is Jeffery & Wilkes Ltd. | | | | |



EXISTING - GROUND FLOOR

1:50

| <div>Client:</div> <div>PAUL WILSON</div> <div>Date:</div> <div>NOVEMBER 2020</div> | <div>Project:</div> <div>11 WOODVILLE GARDENS</div> <div>RUISLIP HA4 7NB</div> | <div>Drawing Title:</div> <div>EXISTING GF</div> <div>Scale:</div> <div> 1:50 @ A3</div> | <div>Drawing Issue:</div> <div>DRAFT</div> | <table><tr><th>Project</th><th>Reference</th><th>Dwg No</th><th>Name</th><th>Rev</th></tr><tr><td>11WOOD</td><td>LW102</td><td>002</td><td>LW</td><td>-</td></tr></table> <div>Do not scale drawings.</div> <div>All dimensions to be verified & checked on site.</div> <div>The owner of the copyright is Jeffery & Wilkes Ltd.</div> | Project | Reference | Dwg No | Name | Rev | 11WOOD | LW102 | 002 | LW | - |
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EXISTING - ROOF PLAN

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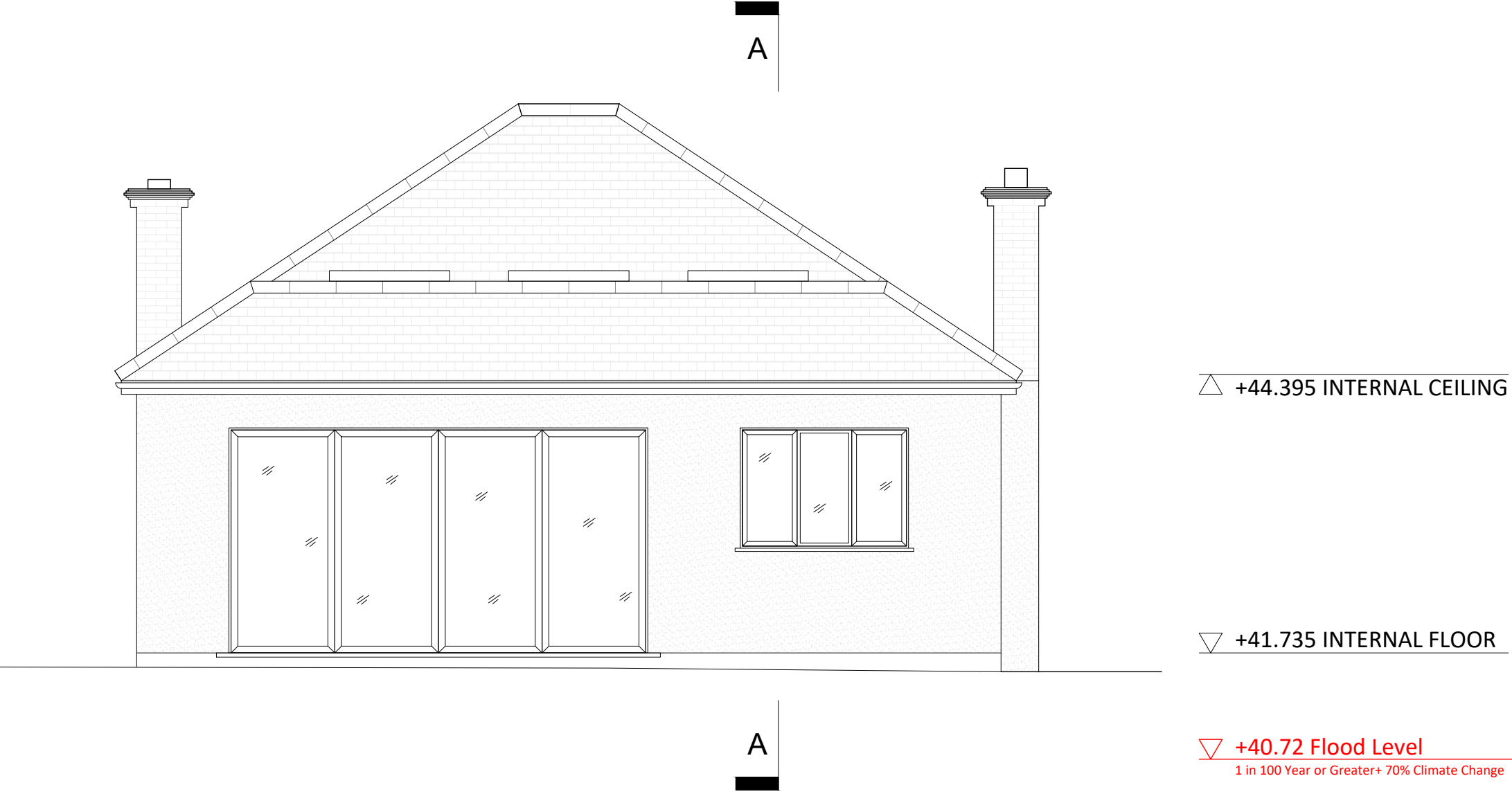
Client:
PAUL WILSON
Date:
NOVEMBER 2020

Project:
11 WOODVILLE GARDENS
RUISLIP HA4 7NB

Drawing Title:
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Scale:
1:50 @ A3

Drawing Issue:
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| Project | Reference | Dwg No | Name | Rev |
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| 11WOOD | LW102 | 003 | LW | - |
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01► EXISTING REAR ELEVATION

1:50

| <div>Client:</div> <div>PAUL WILSON</div> <div>Date:</div> <div>NOVEMBER 2020</div> | <div>Project:</div> <div>11 WOODVILLE GARDENS</div> <div>RUISLIP HA4 7NB</div> | <div>Drawing Title:</div> <div>EXISTING REAR</div> <div>Scale:</div> <div> 1:50 @ A3</div> | <div>Drawing Issue:</div> <div>DRAFT</div> | <table><tr><th>Project</th><th>Reference</th><th>Dwg No</th><th>Name</th><th>Rev</th></tr><tr><td>11WOOD</td><td>LW102</td><td>004</td><td>LW</td><td>-</td></tr></table> <div>Do not scale drawings.</div> <div>All dimensions to be verified & checked on site.</div> <div>The owner of the copyright is Jeffery & Wilkes Ltd.</div> | Project | Reference | Dwg No | Name | Rev | 11WOOD | LW102 | 004 | LW | - |
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△ +44.395 INTERNAL CEILING

▽ +41.735 INTERNAL FLOOR

▽ +40.72 Flood Level
1 in 100 Year or Greater+ 70% Climate Change



02► EXISTING SIDE ELEVATION

1:50

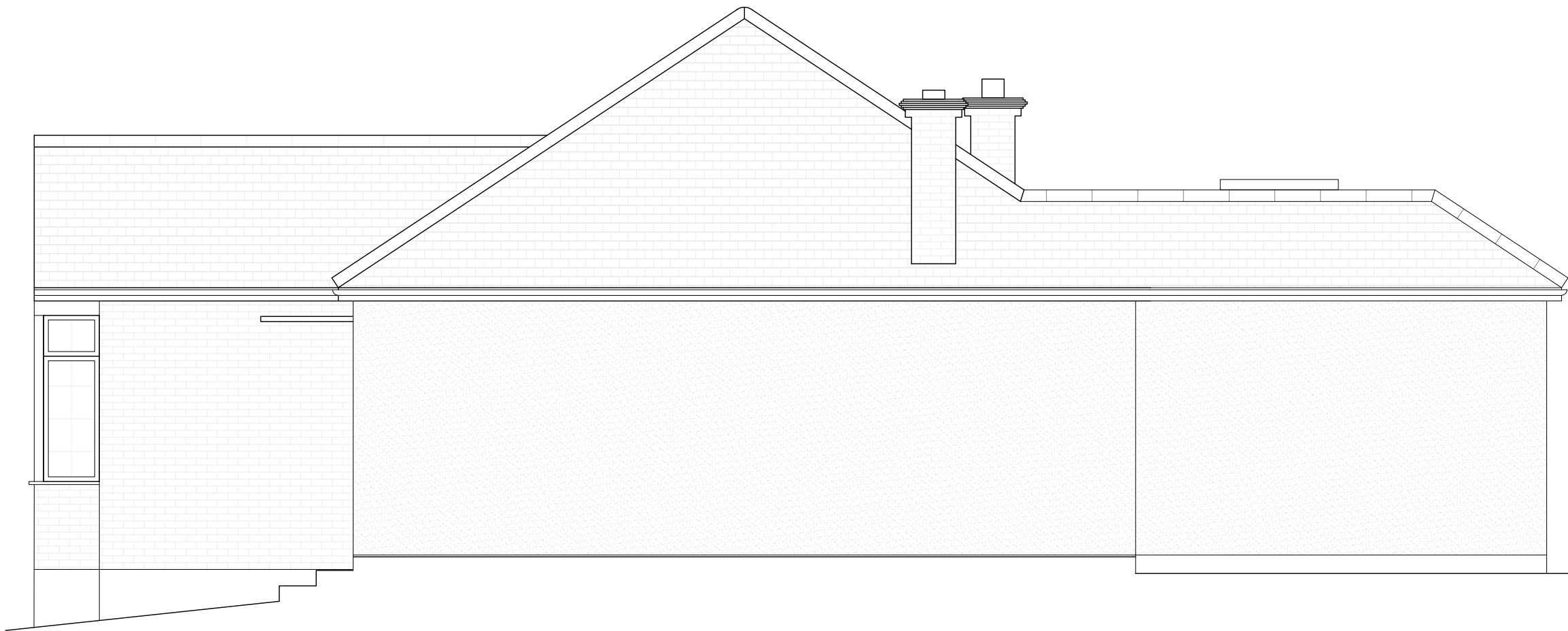
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PAUL WILSON
Date:
NOVEMBER 2020

Project:
**11 WOODVILLE GARDENS
RUISLIP HA4 7NB**

Drawing Title:
EXISTING SIDE
Scale:
 1:50 @ A3

Drawing Issue:
DRAFT

| Project | Reference | Dwg No | Name | Rev |
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03► EXISTING SIDE ELEVATION

1:50

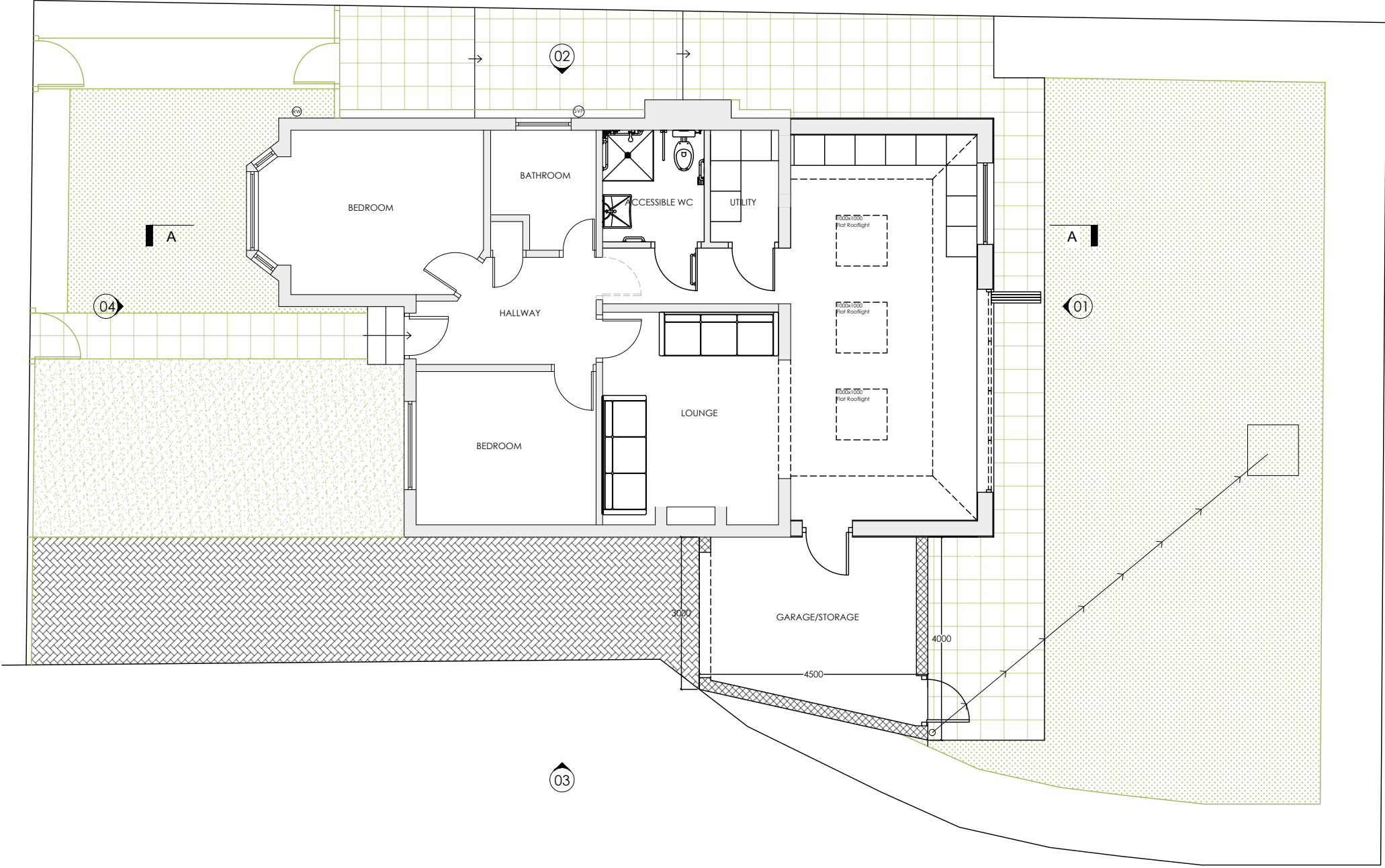
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04► EXISTING FRONT ELEVATION

1:50

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PROPOSED - SITE PLAN

1:100

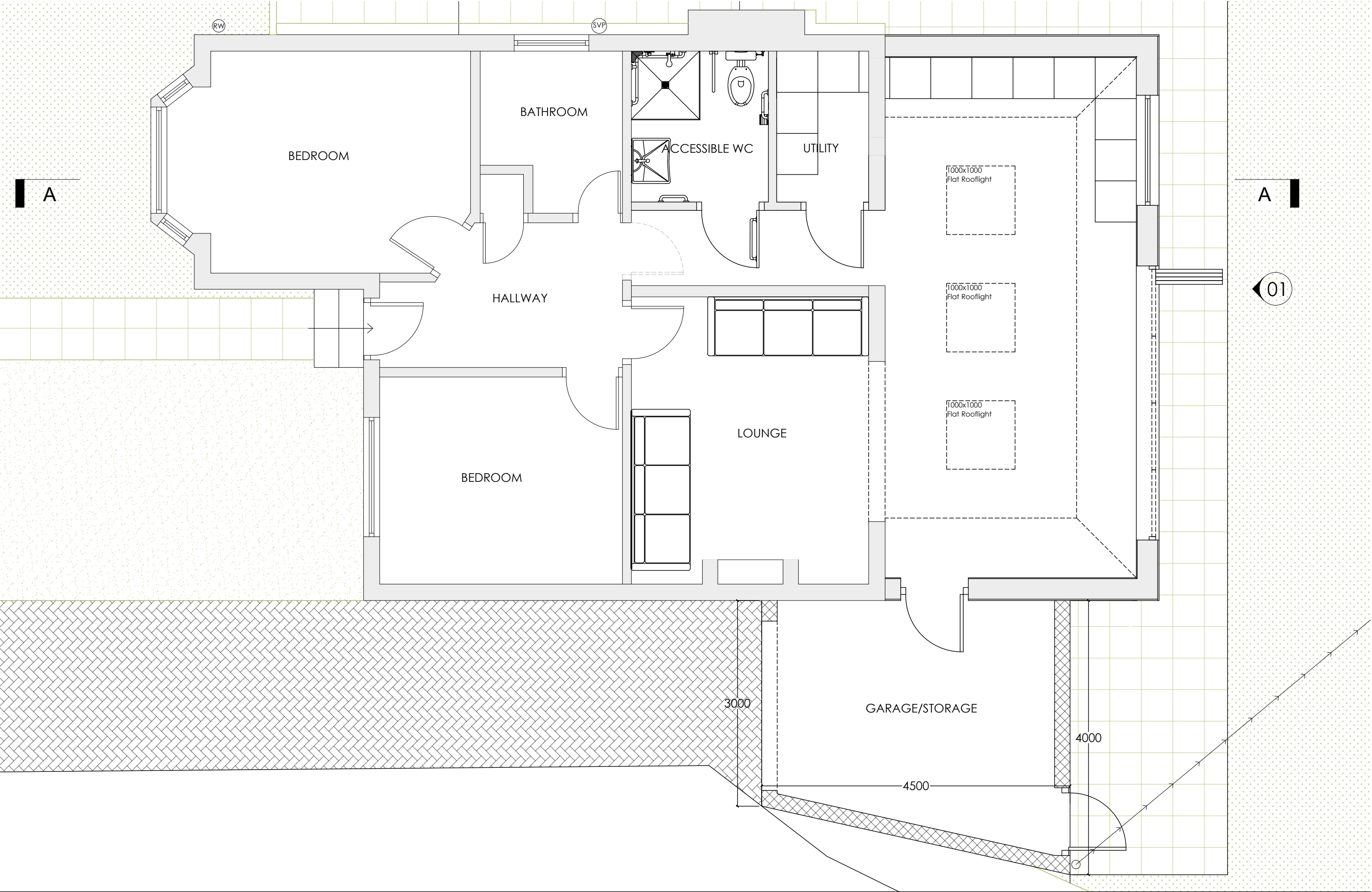
Client:
PAUL WILSON
Date:
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Project:
11 WOODVILLE GARDENS
RUISLIP HA4 7NB

Drawing Title:
PROPOSED SITE PLAN
Scale:
1:100 @ A3

Drawing Issue:
DRAFT

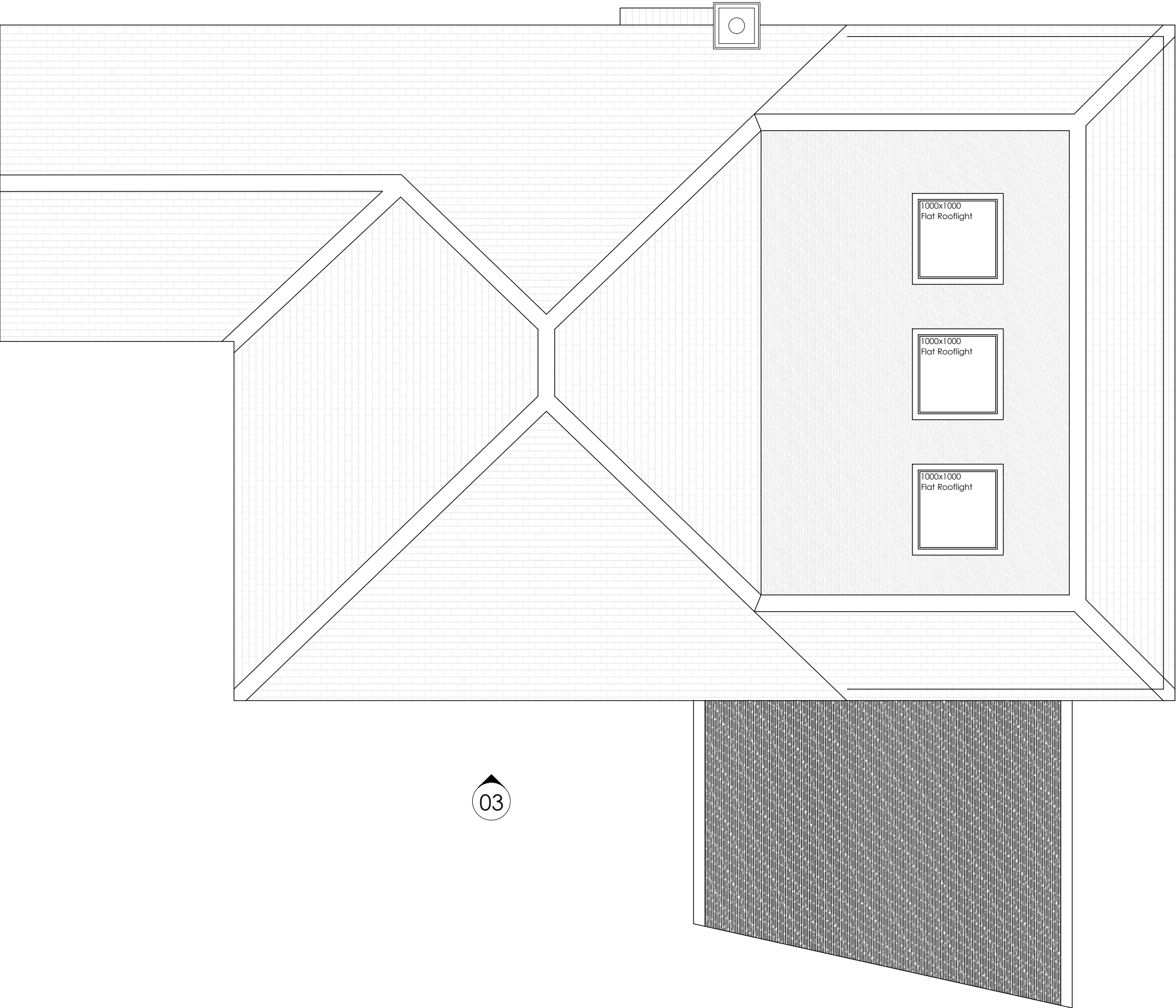
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PROPOSED - GROUND FLOOR

1:50

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PROPOSED - ROOF PLAN

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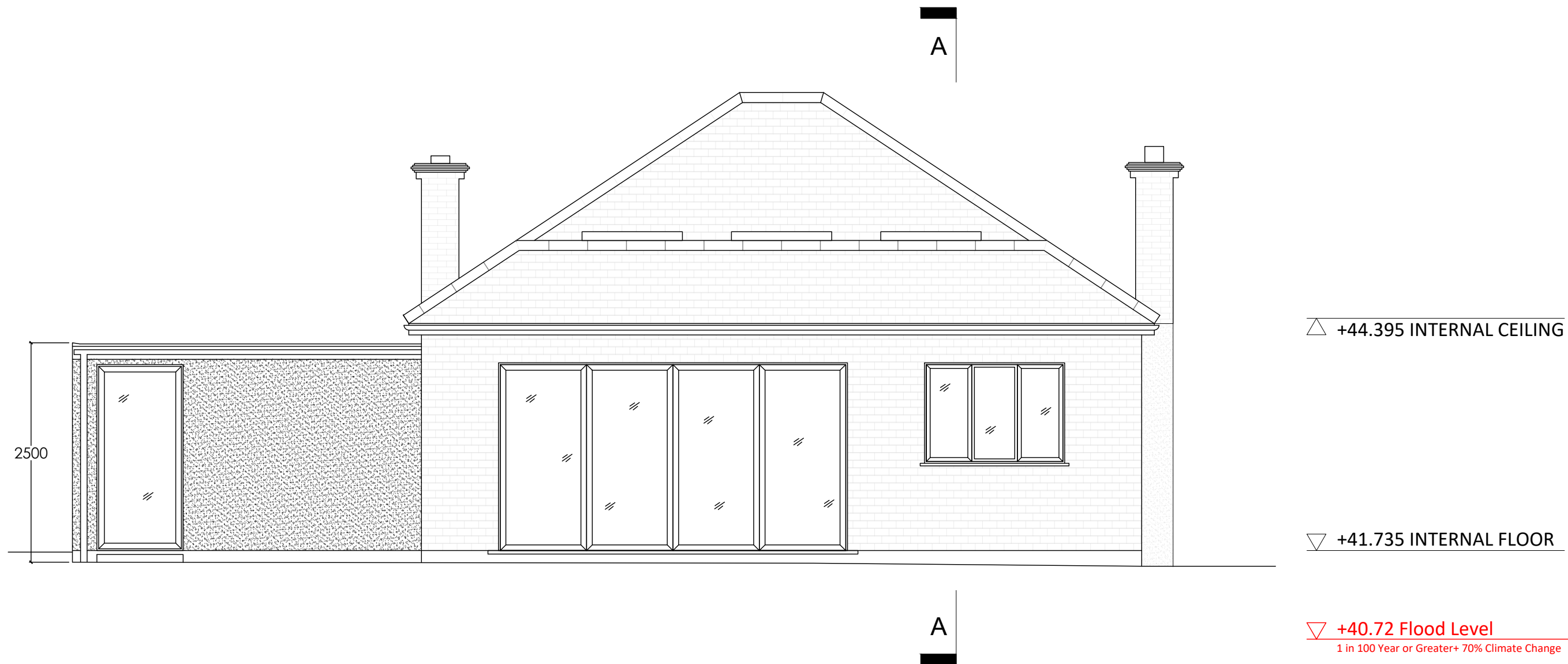
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11 WOODVILLE GARDENS
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PROPOSED ROOF PLAN
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1:50 @ A3

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01► PROPOSED REAR ELEVATION

Client:
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**11 WOODVILLE GARDENS
RUISLIP HA4 7NB**

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PROPOSED REAR
Scale:
 1:50 @ A3

Drawing Issue:
DRAFT

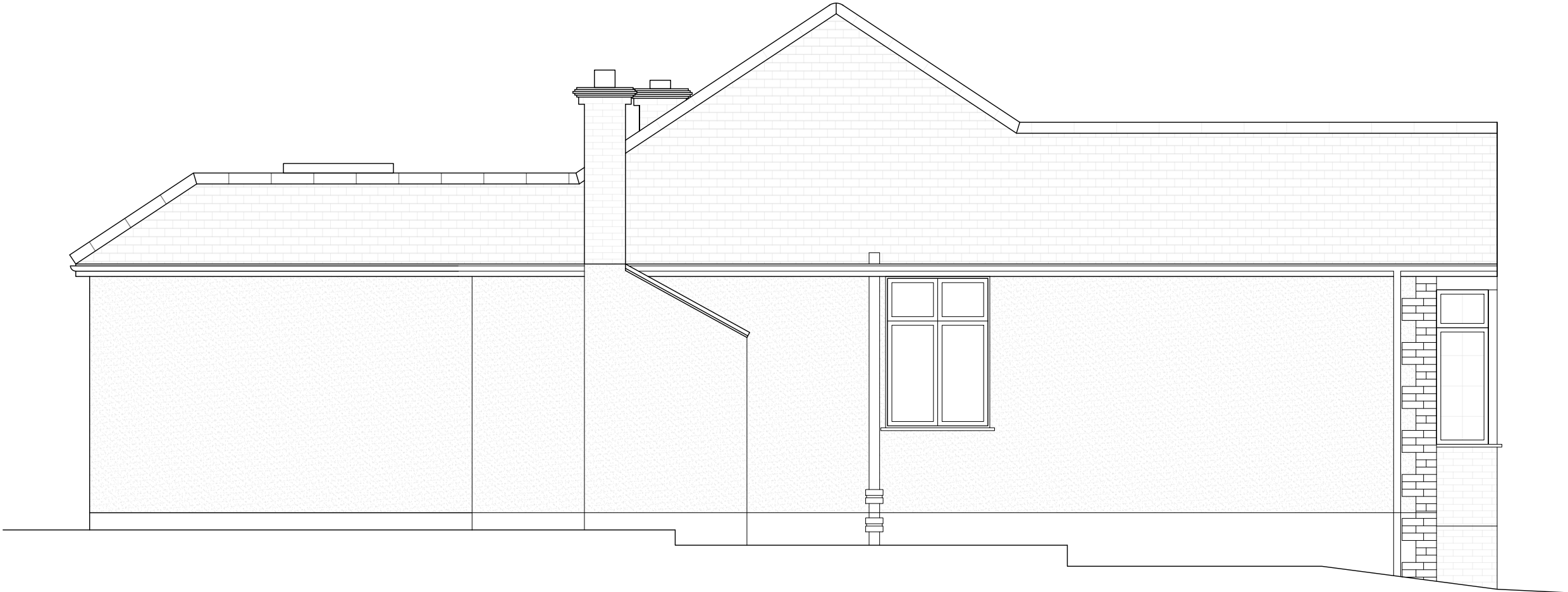
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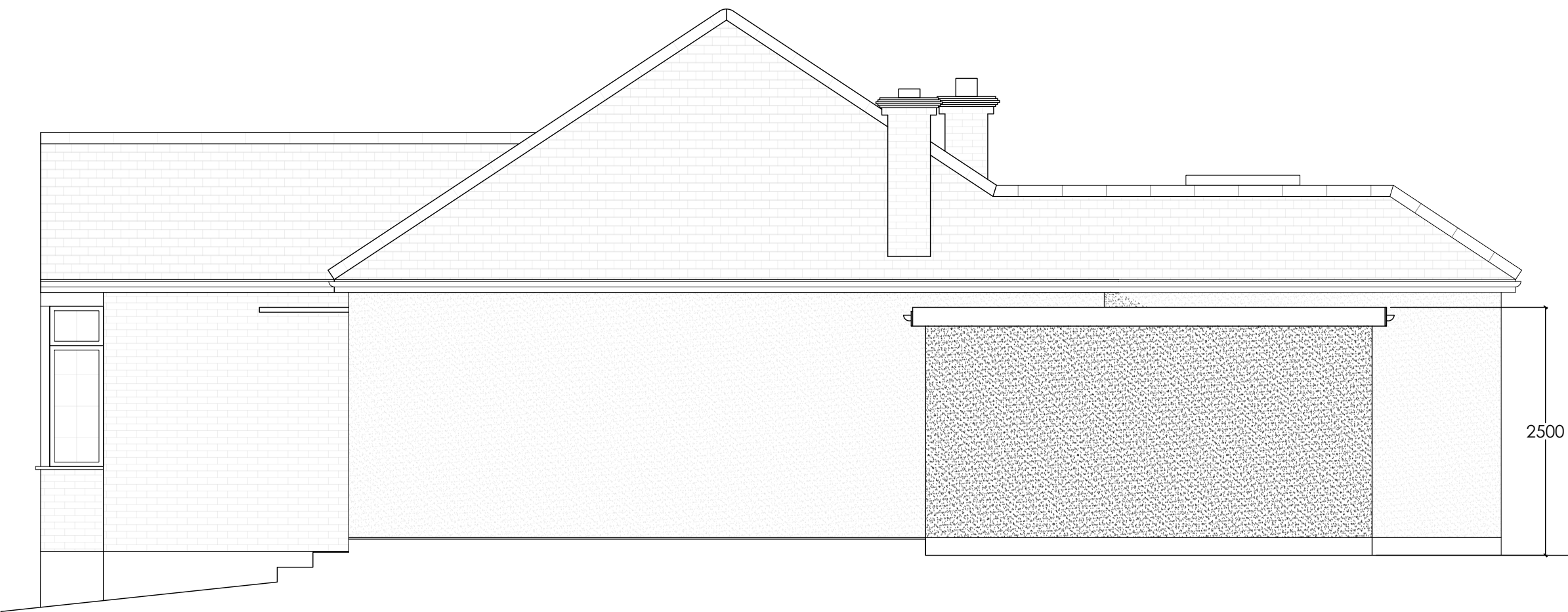
▽ +40.72 Flood Level
1 in 100 Year or Greater+ 70% Climate Change



02► PROPOSED SIDE ELEVATION

1:50

| Client: PAUL WILSON Date: NOVEMBER 2020 | | Project: 11 WOODVILLE GARDENS RUISLIP HA4 7NB | | Drawing Title: PROPOSED SIDE Scale:  1:50 @ A3 | | Drawing Issue: DRAFT | | <table><tr><th>Project</th><th>Reference</th><th>Dwg No</th><th>Name</th><th>Rev</th></tr><tr><td>11WOOD</td><td>LW102</td><td>013</td><td>LW</td><td>-</td></tr><tr><td colspan="5">Do not scale drawings. All dimensions to be verified & checked on site. The owner of the copyright is Jeffery & Wilkes Ltd.</td></tr></table> | | | | | Project | Reference | Dwg No | Name | Rev | 11WOOD | LW102 | 013 | LW | - | Do not scale drawings. All dimensions to be verified & checked on site. The owner of the copyright is Jeffery & Wilkes Ltd. | | | | |
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▽ +41.735 INTERNAL FLOOR

▽ +40.72 Flood Level
1 in 100 Year or Greater+ 70% Climate Change

03 PROPOSED SIDE ELEVATION

1:50

| Client: PAUL WILSON Date: NOVEMBER 2020 | Project: 11 WOODVILLE GARDENS RUISLIP HA4 7NB | Drawing Title: PROPOSED SIDE Scale:  1:50 @ A3 | Drawing Issue: DRAFT | <table><tr><th>Project</th><th>Reference</th><th>Dwg No</th><th>Name</th><th>Rev</th></tr><tr><td>11WOOD</td><td>LW102</td><td>014</td><td>LW</td><td>-</td></tr></table> <p>Do not scale drawings. All dimensions to be verified & checked on site. The owner of the copyright is Jeffery & Wilkes Ltd.</p> | Project | Reference | Dwg No | Name | Rev | 11WOOD | LW102 | 014 | LW | - |
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04► PROPOSED FRONT ELEVATION

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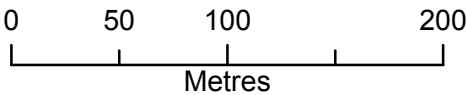
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Appendix 3 – Environmental Agency Flood Level Data

Detailed FRA centred on:11 Woodville Gardens, Ruislip, HA4 7NB - 07/01/2021 - HNL 199001 BC



Environment Agency
Alchemy,
Bessemer Road,
Welwyn Garden City,
Hertfordshire,
AL7 1HE



Legend

- Main Rivers
- Site location

Defended Flood Outlines

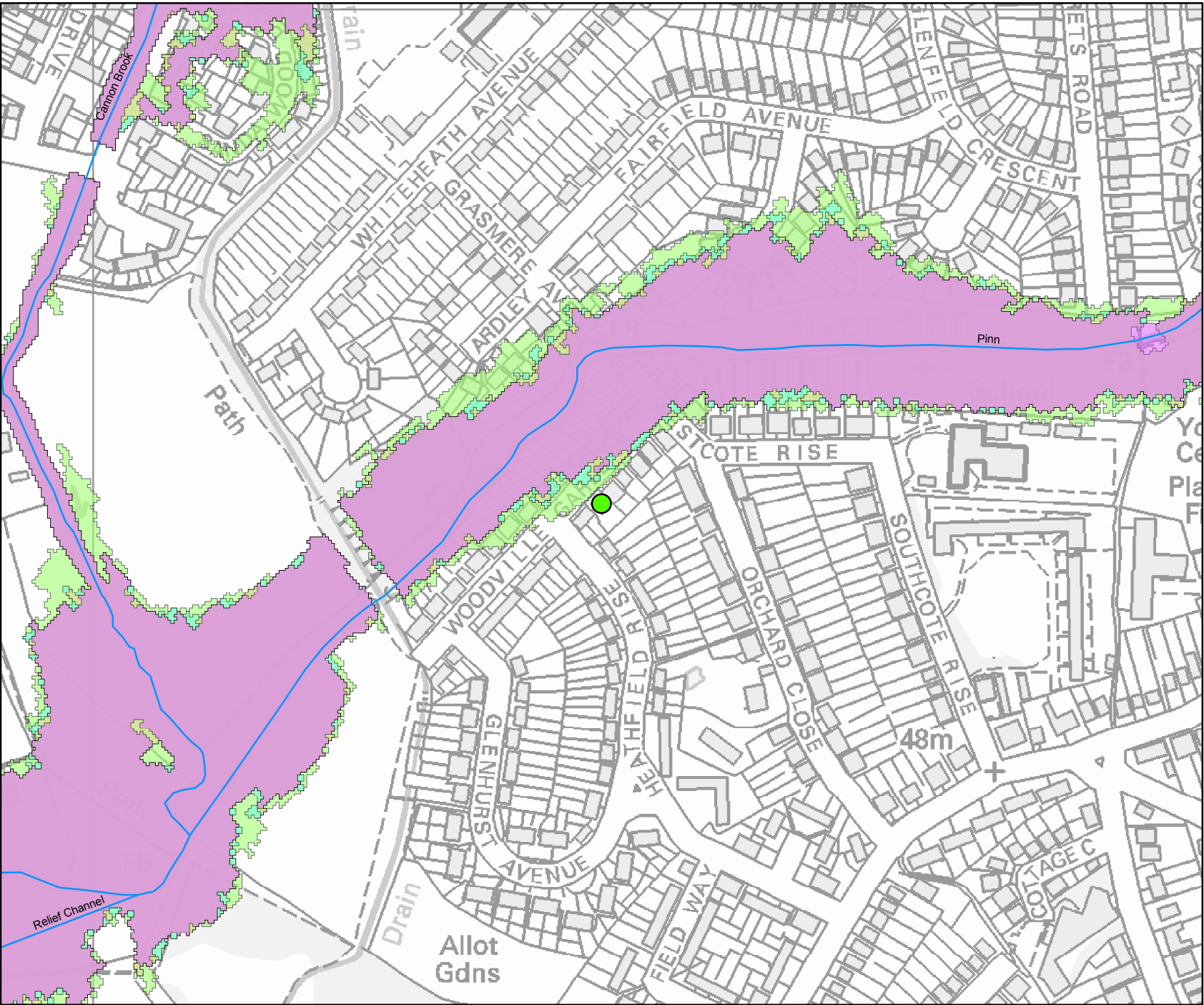
- 1 in 100 year + 20% (*CC) Defended
- 1 in 100 year + 25% (*CC) Defended
- 1 in 100 year + 35% (*CC) Defended
- 1 in 100 year + 70% (*CC) Defended

The data in this map has been extracted from the River Pinn Mapping Study (JBA, 2015). This model has been designed for catchment wide flood risk mapping. It should be noted that it was not created to produce flood levels for specific development sites within the catchment. Modelled outlines take into account catchment wide defences.

Flood risk data requests including an allowance for climate change will be based on the 1 in 100 flood plus 20% allowance for climate change, unless otherwise stated. You should refer to 'Flood risk assessments: climate change allowances' to check if this allowance is still appropriate for the type of development you are proposing and its location. You may need to undertake further assessment of future flood risk using different allowances to ensure your assessment of future flood risk is based on best available evidence.

<https://www.gov.uk/guidance/flood-risk-assessments-climate-change-allowances>

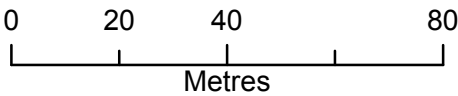
Produced by:
Partnerships & Strategic Overview,
Hertfordshire & North London



Detailed FRA centred on: 11 Woodville Gardens, Ruislip, HA4 7NB - 07/01/2021 - HNL 199001 BC



Environment Agency
Alchemy,
Bessemer Road,
Welwyn Garden City,
Hertfordshire,
AL7 1HE



Legend

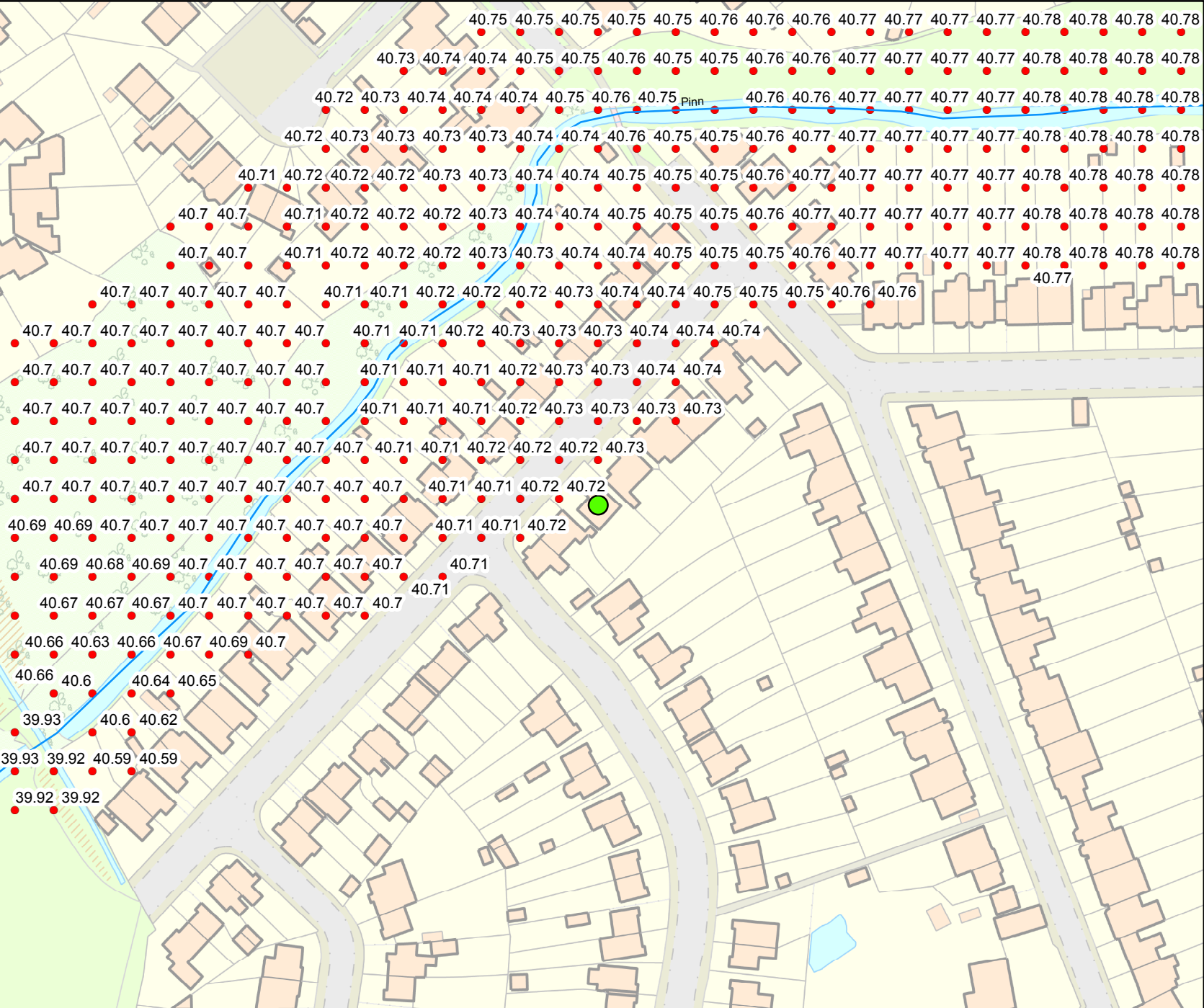
- Main Rivers
- Site location

2D Node Results: Heights

- 1 in 100 year + 70% (*CC) Defended

The data in this map has been extracted from the River Pinn Mapping Study (JBA, 2015). This model has been designed for catchment wide flood risk mapping. It should be noted that it was not created to produce flood levels for specific development sites within the catchment. Modelled outlines take into account catchment wide defences. Flood risk data requests including an allowance for climate change will be based on the 1 in 100 flood plus 20% allowance for climate change, unless otherwise stated. You should refer to 'Flood risk assessments: climate change allowances' to check if this allowance is still appropriate for the type of development you are proposing and its location. You may need to undertake further assessment of future flood risk using different allowances to ensure your assessment of future flood risk is based on best available evidence.

Produced by:
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Hertfordshire & North London



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