

DESIGN AND ACCESS STATEMENT - v3

Site: 1 Arcon Drive, Northolt UB5 6FJ

Description of the proposed development:

Existing use of the proposed site is a residential dwelling within the Green Views Estate newly developed 10 years ago.

The original granted planning permission for the entire estate was on 17 May 2002 under planning reference 327/APP/2000/2106. The approved decision under condition 28 has ruled out the use of general permitted development rights for the estate. A submission of full planning application is therefore necessary for any type of extension. However, the general design guideline nationwide has been taken into consideration that new legislation laid in Parliament recently includes the introduction of the Class AA permitted development right which provides for the enlargement of a dwelling house by construction of additional storeys, taken effect since 31st August 2020.



Aerial photo of Green Views Estate with index location of all corner sites

The front elevation (Southwest) facing the Arcon Drive with a view towards the King George's field. There are two carpark spaces at the front and one carpark space at the back (in front of the garage) in addition to the existing garage for this property. Entrance to the property is on the south east side. At the moment, the existing Northwest side elevation facing Ballinger Way is a plain wall. The proposed side elevation which faces the Ballinger Way has added 4 new windows and timber cladding that is similar to other corner sites throughout the estate. This should be considered as an enhancement to the street scene for consistence character of the estate.

Corner sites example around the Estate:

All corner sites at the same estate development are three storeys single family property with a mini dormer front and timber cladding. The following sites are examples for this proposal:



5 Bedrooms property at 23 Arcon Drive within Green Views Estate



Front elevation - 23 Arcon Drive



Rear elevation - 23 Arcon Drive



Side view - 23 Arcon Drive



Road Side view with garage- 23 Arcon Drive



5 Bedrooms property at 3 Waxlow Way within Green Views Estate



Front elevation - 3 Waxlow Way



Rear elevation - 3 Waxlow Way



Road side view with garage - 3 Waxlow Way



Side view - 3 Waxlow Way



5 Bedrooms property at 9 Higham Mews within Green Views Estate



Side view – 9 Higham Mews



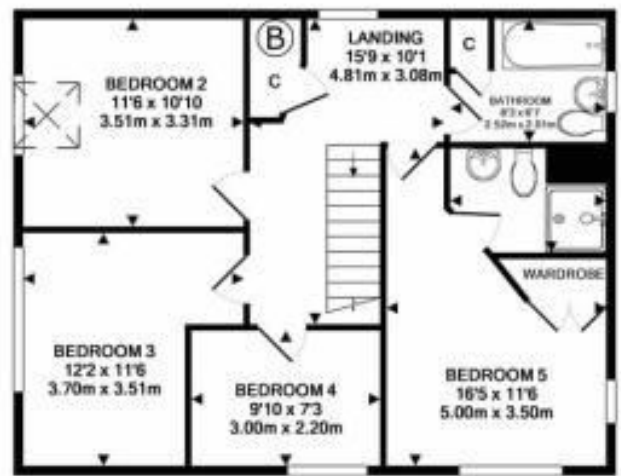
View at garage – 9 Higham Mews

General Layout example at 23 Arcon Drive

All other corner sites within the Green Views Estate are 5 Bedrooms properties. The proposed development will have the similar layout spaces that is consistent to all other corner sites. The following example would demonstrate the similar layout spaces proposed.



GROUND FLOOR
APPROX. FLOOR
AREA 716 SQ.FT.
(66.5 SQ.M.)



2ND FLOOR
APPROX. FLOOR
AREA 681 SQ.FT.
(63.3 SQ.M.)

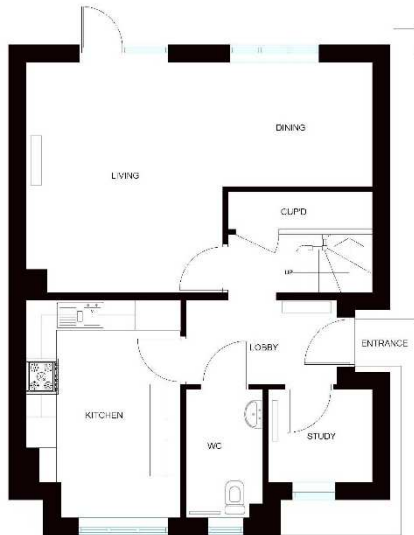
TOTAL APPROX. FLOOR AREA 2071 SQ.FT. (192.4 SQ.M.)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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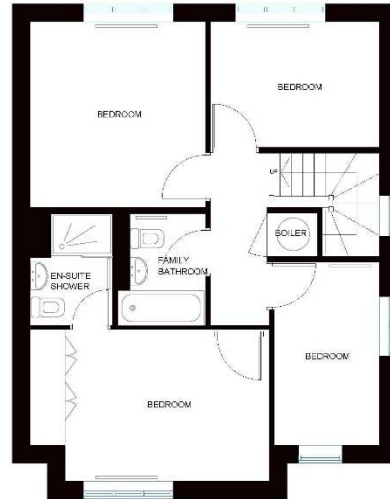


*Original example sales
plan at 23 Arcon Drive*

Existing Layout plans at no. 1 Arcon Drive

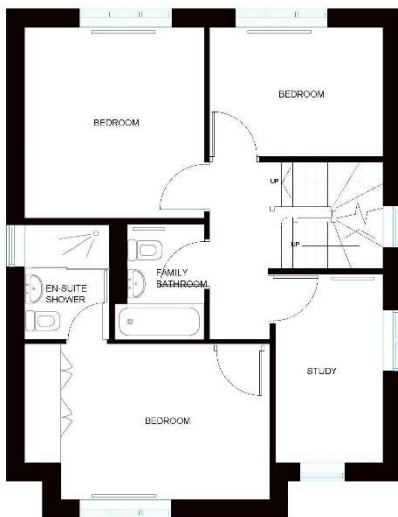


Ground Floor Plan

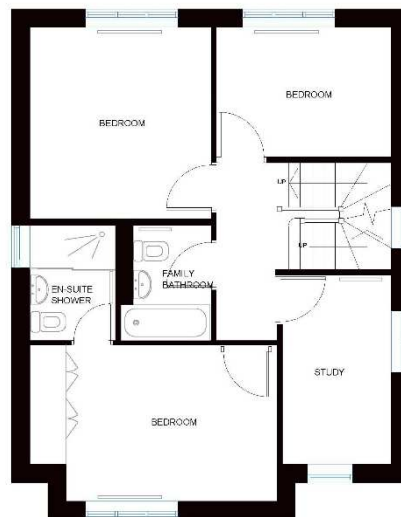


First Floor Plan

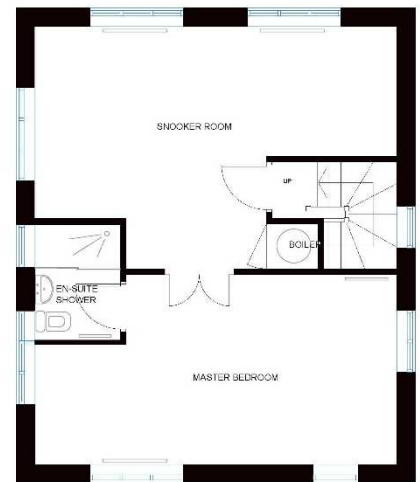
Proposed Layout plans at no. 1 Arcon Drive



Ground Floor Plan



First Floor Plan



Second Floor Plan

Existing and Proposed views at no. 1 Arcon Drive



Proposed view of road front elevation



Existing view of road front elevation



Proposed view of side elevation



Proposed view of rear elevation



Existing view of rear elevation



Proposed view of rear elevation from distance

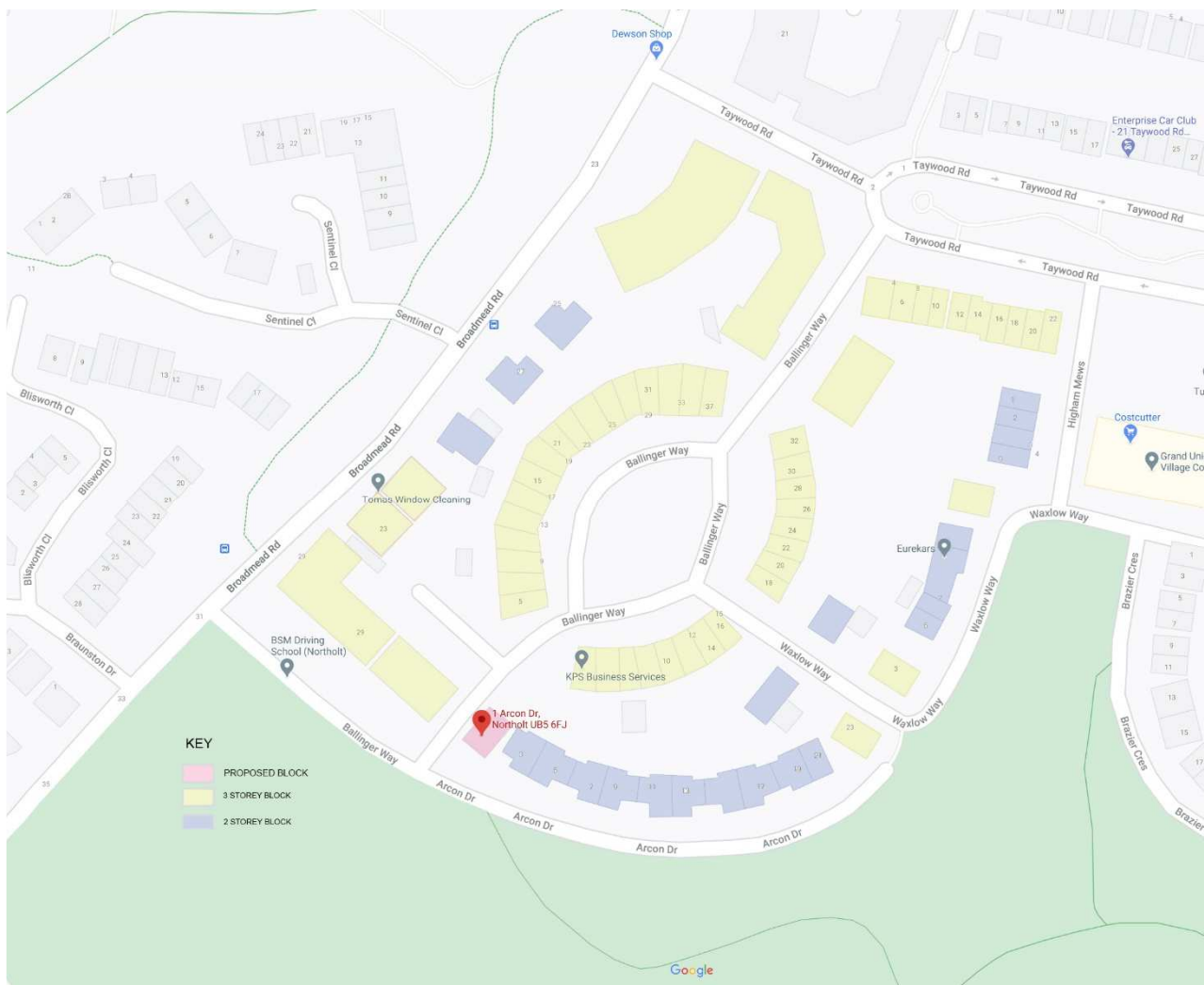


Existing view of rear elevation from distance

Site surrounding

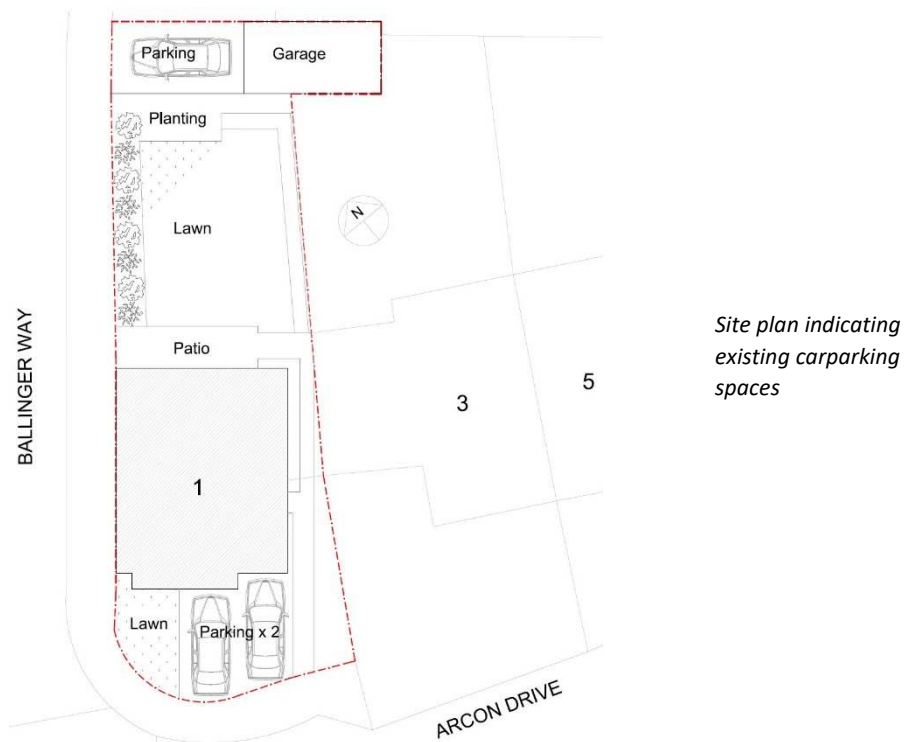


Views taking from existing first floor rear window towards the Green Views Estate



Indication of 2 and 3-storey properties among the Green Views Estate

Conclusion



The proposed storey will increase just over 66 sq meter measured externally. New windows at the rear elevation will be small and set at a higher level to ensure privacy. The external timber cladding to the side softens the massing that front the highway.

There will be no change on the car parking space and the existing carparking space including two at the front and one at the rear outside the garage will also be sufficient for the proposed development.

The proposed development is aimed to replicate the surrounding architectural features to ensure harmony with the streetscape. It is therefore in compliance with the latest National Design Guide published in October 2019.