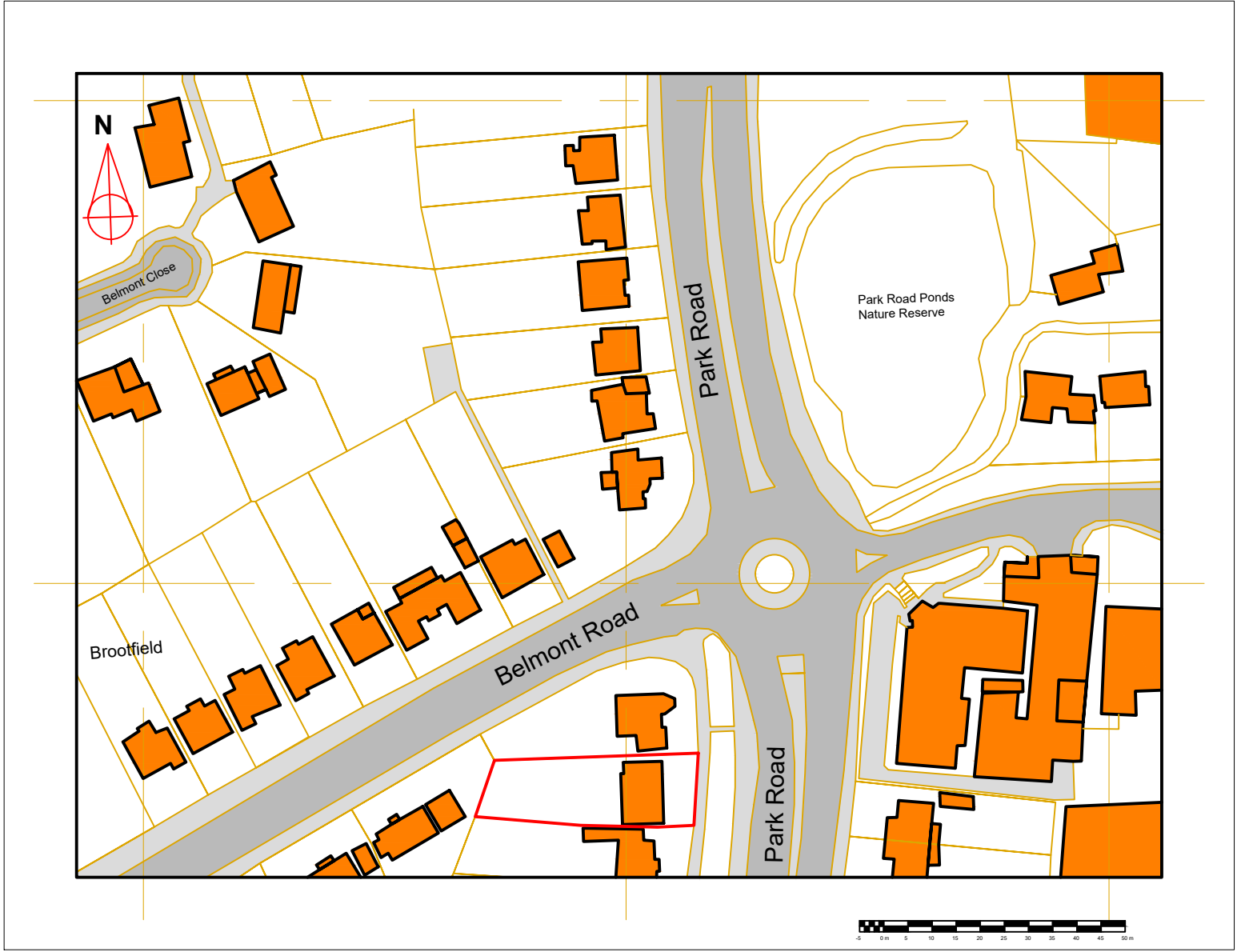


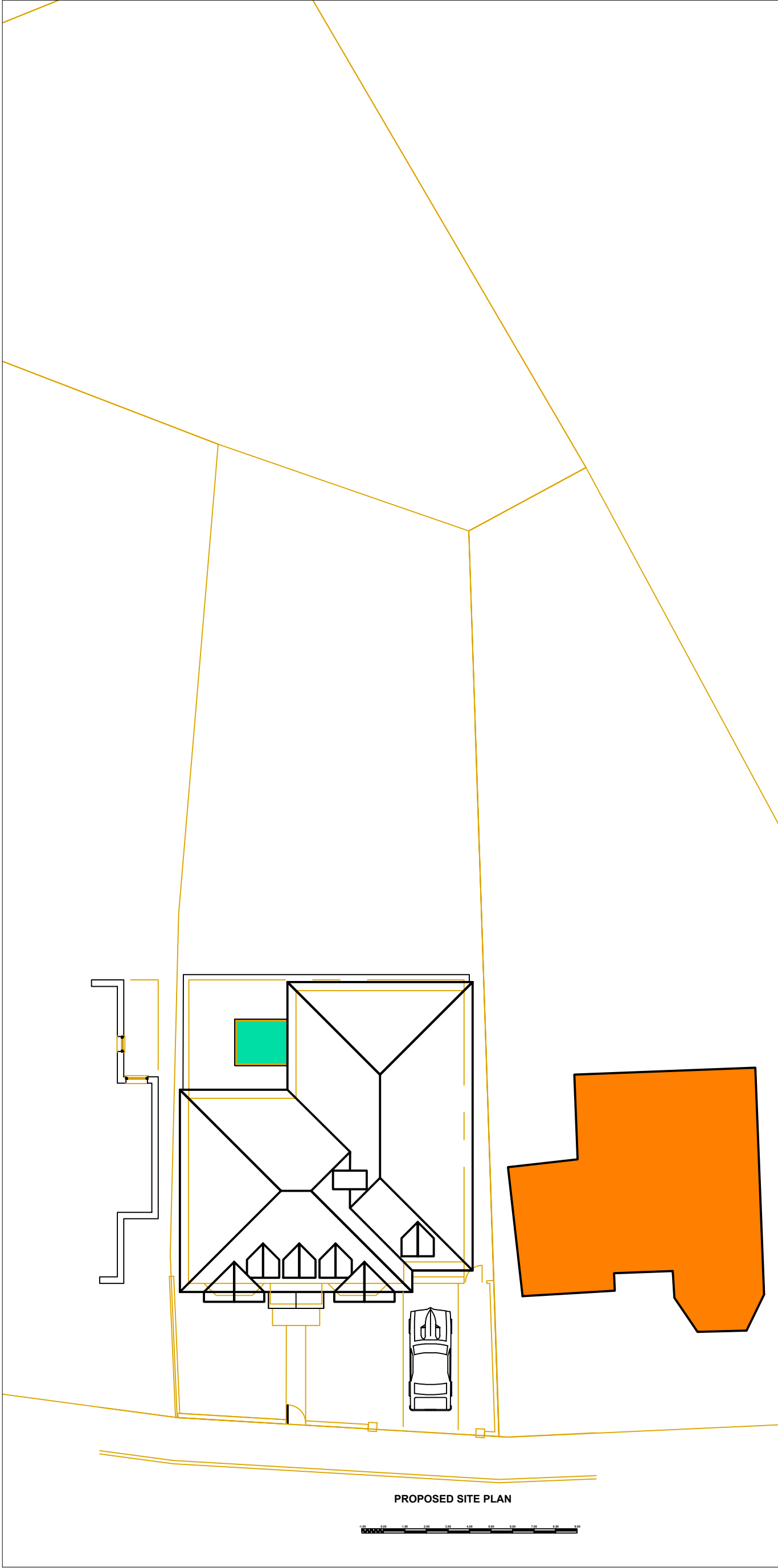
next door at no 195 has
double story rear
extension and extend
5.5m to rear



SITE PLAN 1/1250

Design and Access Statement

- The property located on quite area at 197 Park Road, Uxbridge UB8 1NP.
- The purpose of the proposal is to amend front elevation which related with granted planning permission at ref 75790/APP/2020/4309.
- At exist house there is two bay windows at ground floor only. With granted permission we granted porch at main entrance.
- Proposed front elevation that we believe to get better design, meet with Hillingdon Borough guide design and street scanned design.
- Proposed elevation which continue the bay window to up with front small dormer windows at roof riches the design of house elevation and match with surrounding houses.
- The house has already external amenities at rear of the garden and the size of land is big.
- The proposal will not be a cause of shadow for both neighbours.
- At proposal design we have enough spaces for more than two cars. With new landscape design at front we proposed outdoor two car parking space.
- The design gets in charge that two bin refusing and recycling parking.
- The proposed-works- is wholly within-the land belonging to 197 Park Road, Uxbridge UB8 1NP and there will be no overshadowing, visibility, noise, lighting issues, as the proposal will be kept same scan of the street at front.
- The house is solely private domestic.
- The proposal does not make any impact on any highway or public route, nor does it affect any existing amenities.
- Crime prevention measure to the scheme, are to accommodate by utilizing the existing house alarm system.
- All materials specified on the drawings are using traditional materials, brick, timber, windows, glass, flat roof that can be easily repaired by specialized trades. Traditional materials would be more environmentally friendly than plastics.



SITE PLAN scale 1/200

Client	Mr. Apdolfettah Ekrayem 197 Park Road Uxbridge UB8 1NP
Project Address	197 Park Road Uxbridge UB8 1NP
Agent	Safa Alattar Safa Design and Construction 4 Forty Lane Wembley HA9 9EB
SITE PLAN AND DESIGN STATEMENT	
SCALE 1/1250	
DRW NO	01
REV	A