

NOTES

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS

DO NOT SCALE FROM THIS DRAWING

RS ATPA COPYRIGHT

Notes:

1. Do not scale this drawing

2. All dimensions to be verified on site and any discrepancy reported to the client

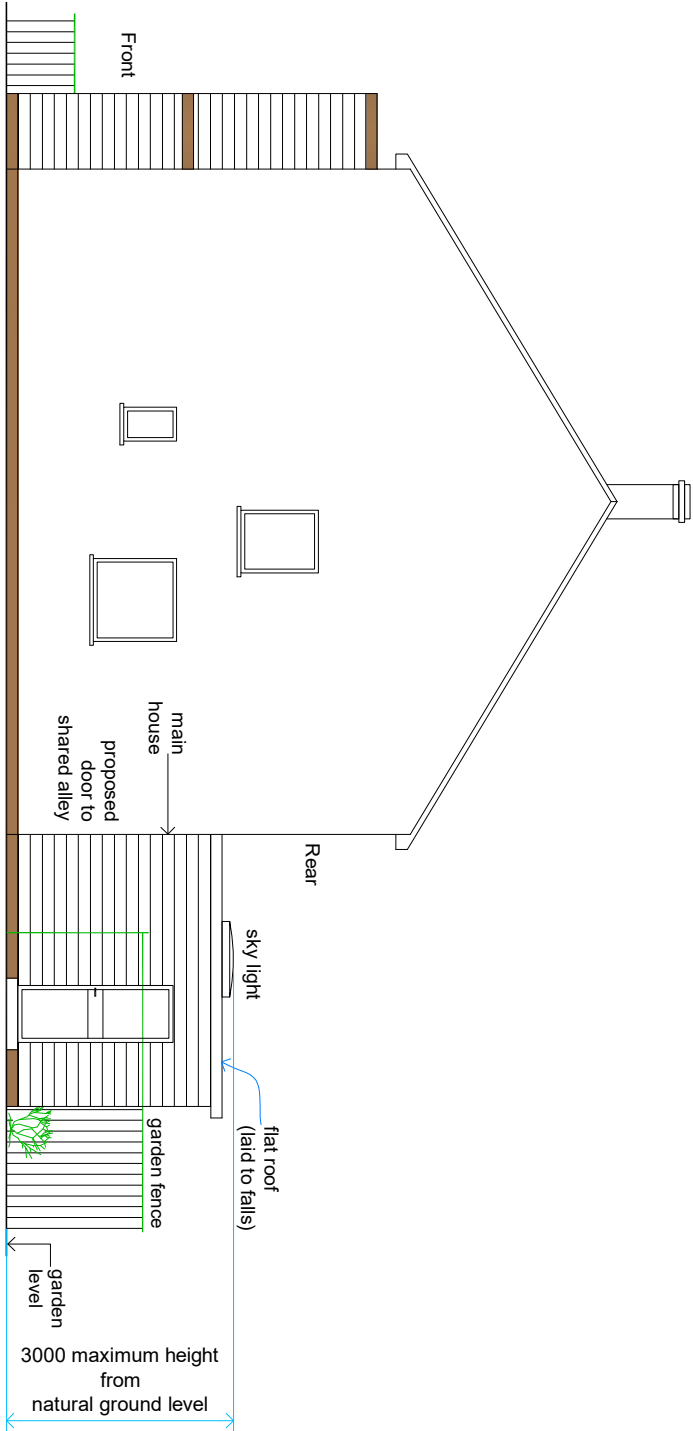
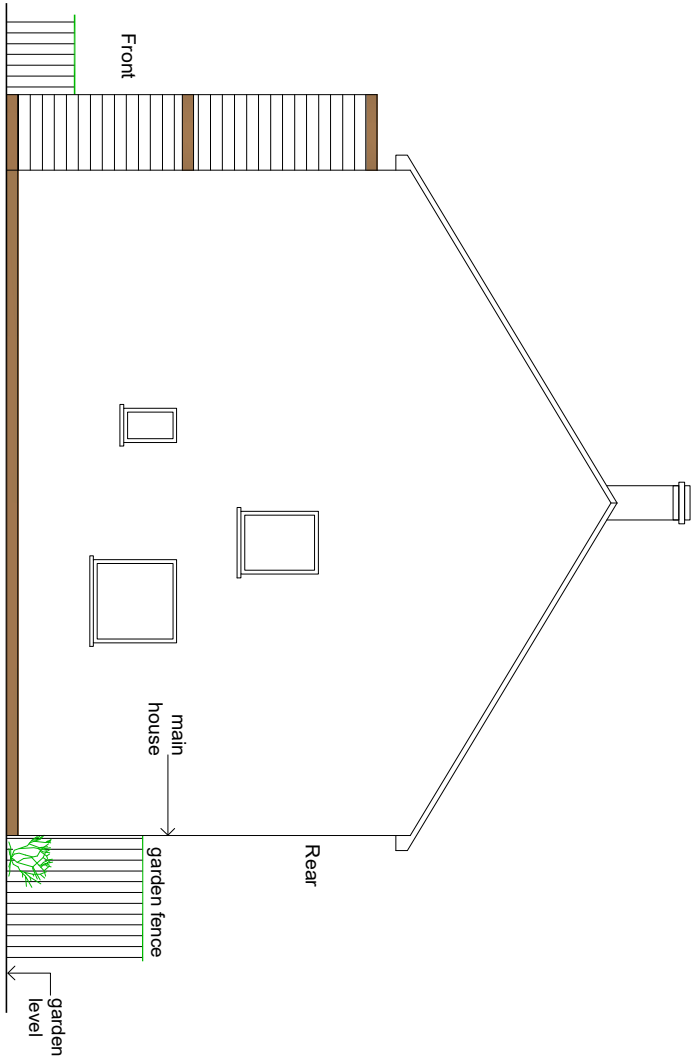
3. This drawing to be read in conjunction with all relevant drawings

owners to serve party wall adt notice on owners of adjacent property and obtain written agreement, prior to commencement of any works

client/builder to obtain all planning permission approvals from the relevant authority, commencement of building works prior to the planning & building control approvals is to client/builder's own risk

all rainwater gutturing, down pipes locations to be confirmed by architect & not to encroach neighbors property

client/builder to liaise with local water board for any new works on or within the public sewer or drain turns and obtain approval from the local authority prior to commencement of any works



all new facing brickwork/render, roof tiles to match existing dwelling (land scaping to suit natural ground profile) roof sky light windows (installed to Manufacturers requirements)

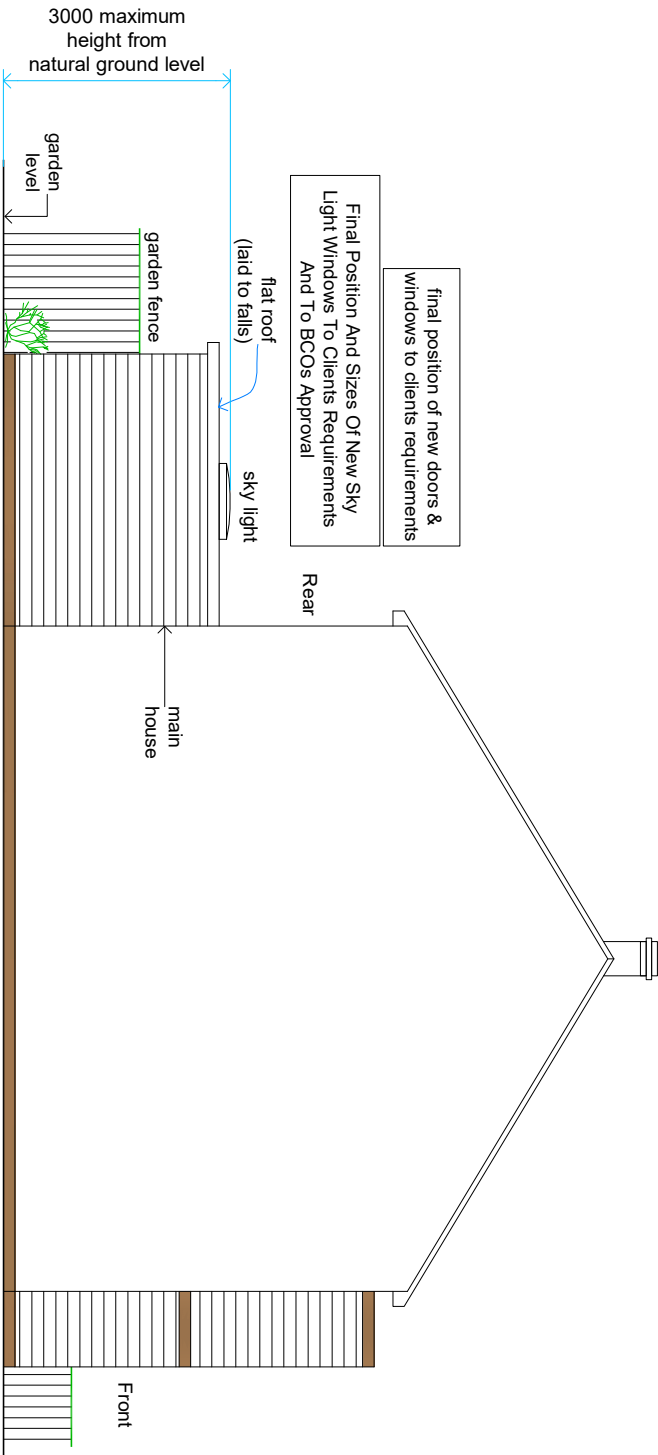
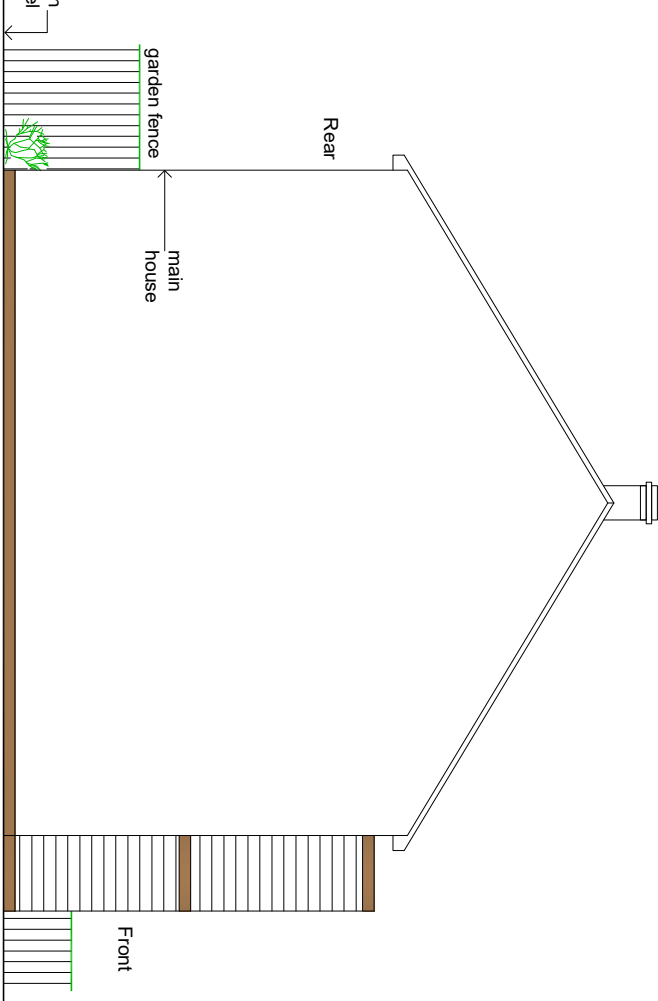
new velux window not to protrude 150mm, beyond the plane of the slope of the original house measured perpendicularly with the external surface of the original roof.

3600 proposed single storey rear extension

final position of new doors & windows to clients requirements

Rain Water Guttering Not To Encroach Neighbours Property

Final Position And Sizes Of New Sky Light Windows To Clients Requirements And To BCOS Approval



all new facing brickwork/render, roof tiles to match existing dwelling (land scaping to suit natural ground profile) roof sky light windows (installed to Manufacturers requirements)

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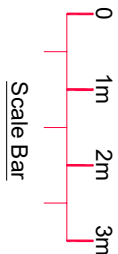
3600 proposed single storey rear extension

final position of new doors & windows to clients requirements And To BCOS Approval

flat roof (laid to falls)

sky light

Rain Water Guttering Not To Encroach Neighbours Property



Single Storey Rear Extension

CLIENT

Manu Joshi

PROJECT

5 Fowler Way
Andrews Park - Uxbridge
UB10 0FP

DRAWING TITLE

Proposed Single Storey Rear Extension
Existing & Proposed Elevations
Sheet 2

SCALE

DRAWN BY RS CHECKED RS DATE 14.10.21

1:50 @ A1
1:100 @ A3

DRAWING STATUS

Planning Issue

DRAWING NUMBER

2021 -102- 02

REVISION

B