

NOTES

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS

DO NOT SCALE FROM THIS DRAWING

RS ATPA COPYRIGHT

- Notes:
1. Do not scale this drawing
  2. All dimensions to be verified on site and any discrepancy reported to the client

3. This drawing to be read in conjunction with all relevant drawings

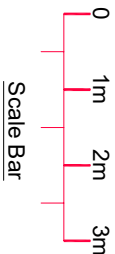
owners to serve party wall ad notice on owners of adjacent property and obtain written agreement, prior to commencement of any works

client/builder to obtain all planning permission approvals from the relevant authority, commencement of building works prior to the planning & building control approvals is to client/builders own risk

all rainwater guttering, down pipes locations to be confirmed by architect & not to encroach neighbors property

client/builder to liaise with local water board for any new works on or within the public sewer or drain runs and obtain approval from the local authority prior to commencement of any works

|     |                 |          |     |
|-----|-----------------|----------|-----|
| B   | Drawing Updated | 13.01.22 | RS  |
| A   | Planning Issue  | 14.10.21 | RS  |
| REV | AMENDMENT       | DATE     | CHD |



Single Storey Rear Extension

CLIENT

Manu Joshi

PROJECT

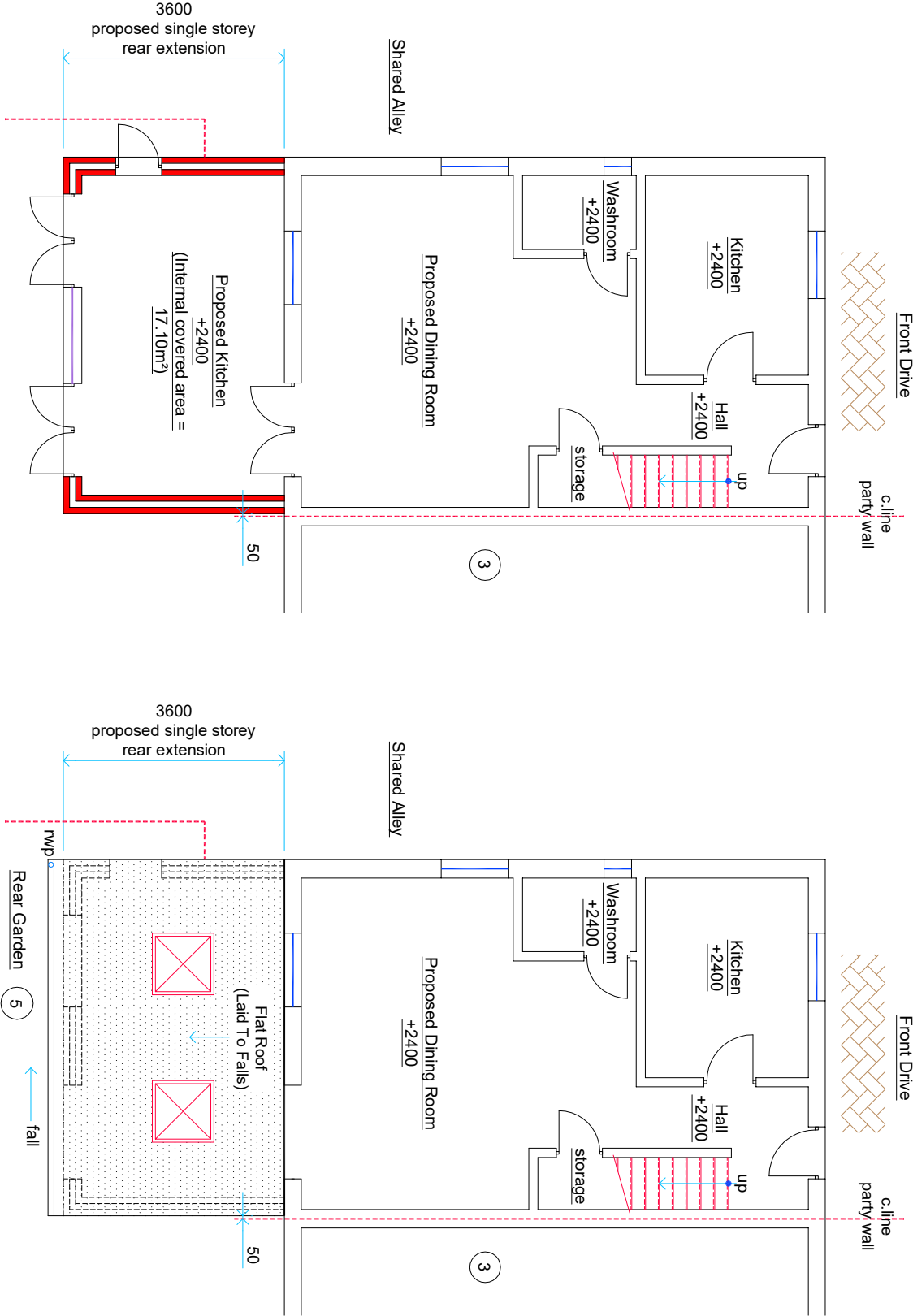
5 Fowler Way  
Andrews Park - Uxbridge  
UB10 0FP

DRAWING TITLE

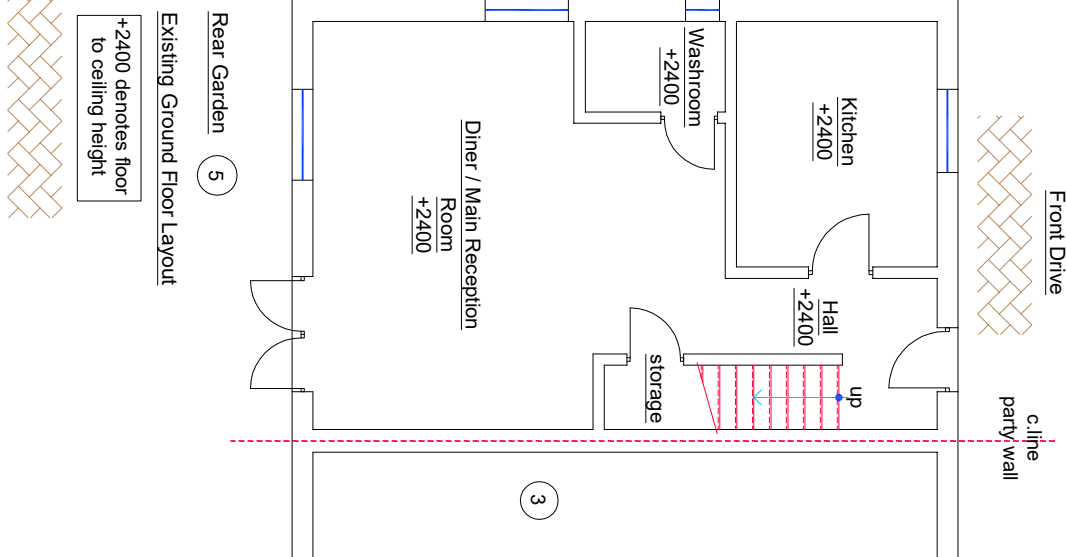
Proposed Single Storey Rear Extension  
Existing & Proposed Floor Layouts  
Sheet 1

|            |          |         |          |
|------------|----------|---------|----------|
| SCALE      | DRAWN BY | CHECKED | DATE     |
| 1:50 @ A1  | RS       | RS      | 14.10.21 |
| 1:100 @ A3 |          |         |          |

|                |          |
|----------------|----------|
| DRAWING NUMBER | REVISION |
| 2021 -102- 01  | B        |



- Rear Garden 5
- ✱ denotes FD30 fire doors (all to BCOs approval)
- SD denotes mains operated, self-contained smoke alarms with battery back up all to be interlinked
- HD denotes heat detector to proposed kitchen (land scapping to suit natural ground profile)
- +2400 denotes floor to ceiling height
- all new facing brickwork / render, roof tiles to match existing dwelling
- Rain Water Guttering Not To Encroach Neighbours Property



Shared Alley