

Notes

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Figured dimensions shall be used in preference to scaled dimensions. All dimensions shall be checked on site before commencing works.

*All work shall comply with the latest Building Regulations and be to the satisfaction of the local Authority.

*Workmanship and methods of construction shall be at least to the standard prescribed by the relevant Codes of Practice.

Materials shall be suitable for the purpose for which they are used and the quality shall not be lower than that defined in the relevant British or Continental Standard so designated.

General Specifications

- All drainage shown on this drawing is assumed only and it is the contractors responsibility to check exact depths and locations prior to the commencement of the works.
2. Proposed drains found under the proposed extension are to be surrounded in 150mm pea shingle and reinforced concrete bricks are to be provided in the walls above the drain run.
3. Existing sub-floor ventilation is to be maintained (if necessary) by providing 100mm dia pvc ducts extending from the existing air bricks to new 225 x 150mm pvc ducts.
4. All glazing is to be double glazed and to be to BS6206 and any glazing within 800mm of the floor level is to be tempered or laminated in accordance with Part F.
5. All new habitable rooms are to be provided with permanent ventilation of 60litres/sec and this is to be achieved by providing either trickle vents in the windows or by providing mechanical ventilation.
6. Provide vertical and horizontal dpc's at all levels, and all linths are to have a minimum and bearing of 150mm.
7. All steel beams are to be encased in 2 layers of 12.5mm plaster board and skim coat of plaster to achieve a fire rating of 120 hours.
8. All steel beams are to be encased in 2 layers of 12.5mm plaster board and skim coat of plaster to achieve a fire rating of 120 hours.
9. All glazing is to be low E glass with 16mm air gaps between panes.
10. Provide one low energy light fitting in new extension.
11. All electrical work required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so, prior to completion the Council should be notified and Part P has been completed to the satisfaction of the Council in accordance with BS 7671. A radiation certificate to be issued for the work by a person competent to do so.

Note: - Please refer to Structural Engineers design for beam and associated supports.

Note :- All new materials to match existing.

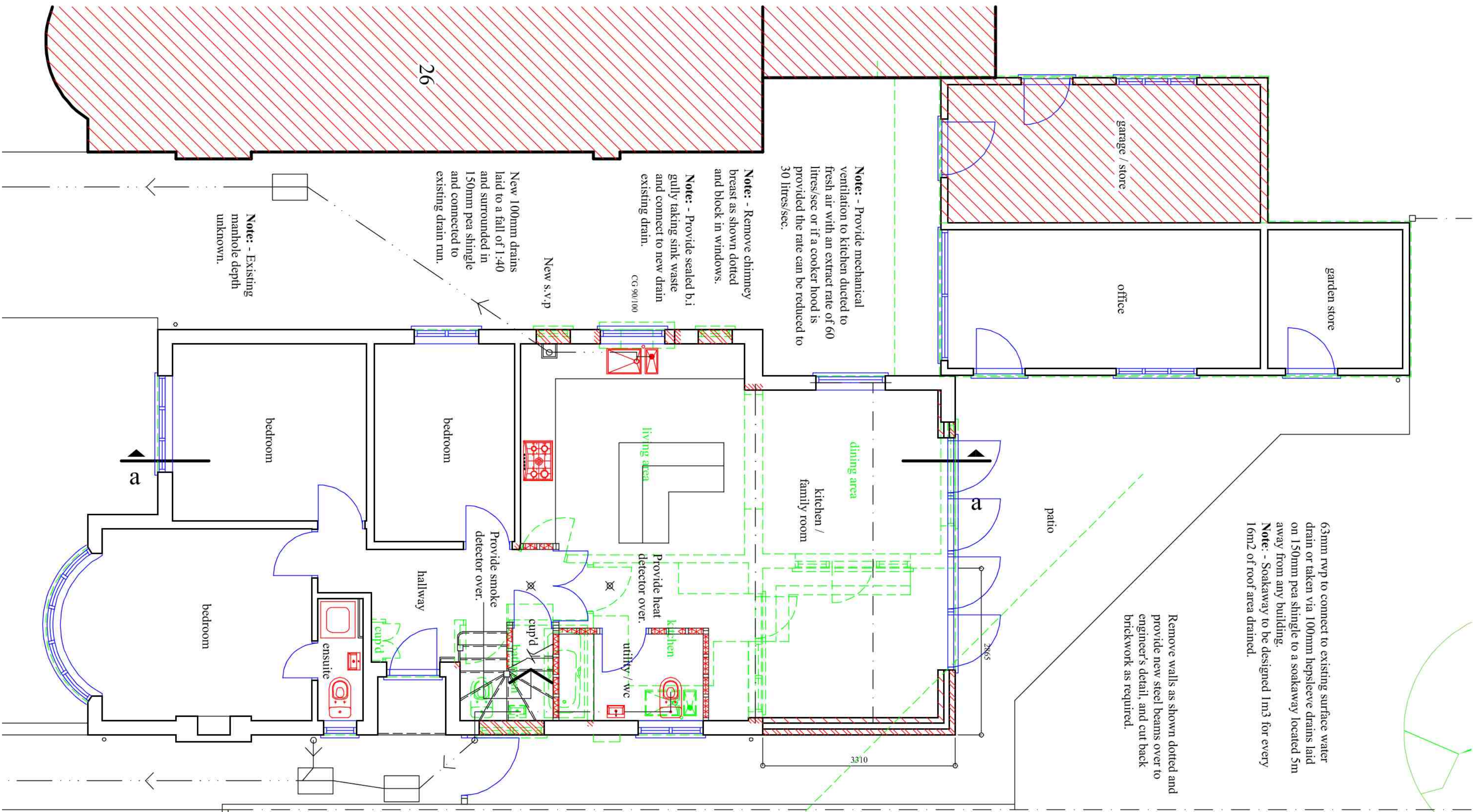
Provide stainless steel twisted cavity wall ties at 750mm horizontal centres and 450mm staggered vertical centres. Ties to be doubled up at corners and reveals.

Provide insulated cavity closers to all new reveals.

Note: - External walls to achieve a minimum U' value of 0.28w/m²K.

Note:- Provide insulated cavity closers to all new reveals.

All new wastes to bathroom and utility / wc to be 40mm fitted with 75mm deep seal traps and cleaning eyes provided at changes of direction and connected to existing s.v.p.



63mm rvp to connect to existing surface water drain or taken via 100mm hoppersieve drains laid on 150mm pea shingle to a soakaway located 5m away from any building.
Note: - Soakaway to be designed 1m3 for every 16m2 of roof area drained.

Remove walls as shown dotted and provide new steel beams over to engineer's detail, and cut back brickwork as required.

Note: - Heated wholesome water or heated softened water to proposed wash hand basins and shower to be installed so as to resist the effects of temperature and pressure that may occur either in normal use or in the event of such malfunctions as may reasonably be anticipated, and must be adequately supported.

Note: - All baths / showers to be fitted with thermostatic valves so that the hot supply does not exceed 48 deg C.

Note: - Provide thermostatic radiator valves to new proposed radiators.

No part of the construction to encroach the boundary.

Bond new structure to existing using s/s profiles by cement or similar approved.

Note: - All boiler installations to be carried out and certified by a member of a class of persons approved by the HSE; for the time being this means they must be registered with Gas Safe, the Council of Registered Gas Installers.

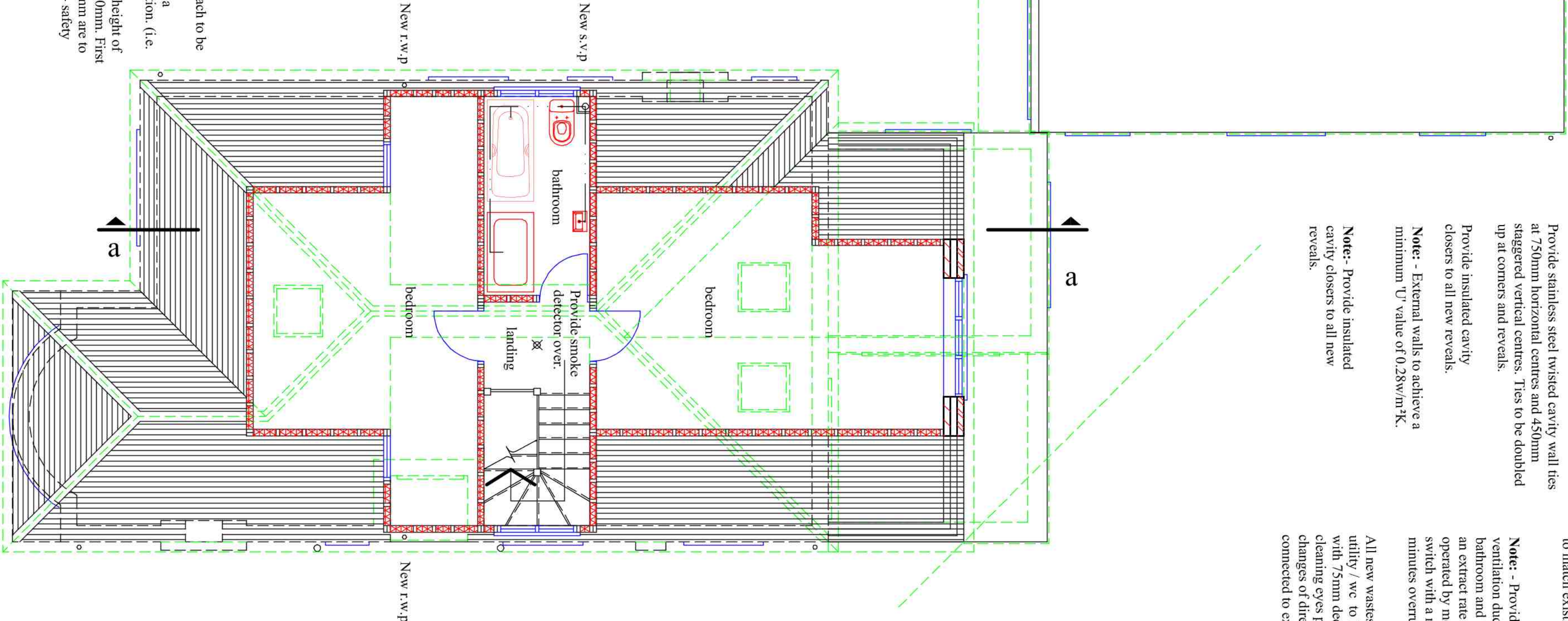
Note: - The SEDBUK 2009 seasonal efficiency rating of any proposed boiler should not be less than 88%.

Note: - Provide a self contained, mains operated, interlinked optical smoke detector system with battery back-up in accordance with BS 5839 or 5446 should be provided on each floor landing (ground floor and first floor landing levels) (B1). While giving due consideration to providing an additional smoke detector on the opposite landing so that each wing of the property is fully protected.

Note :- If gas or electric meters are located under the stair cupboards than the understair cupboards and cupboard doors should be lined with fire line plaster board.

Note: - Electrical installation to be carried out by a member of an Electrical Competent Person Scheme (ECPs) who on completion of the work must register the installation with their ECPs in order that a completion certificate can be issued.

Note: - The proposed habitable rooms are each to be provided with an operable window with an unobstructed area of minimum 0.33m² with a minimum 450mm dimension in either direction, (i.e. Clear unobstructed aperture to be minimum 750x450mm - with escape hinges). The eill height of these windows should fall between 800-1100mm. First floor windows with a cill height below 800mm are to provide adequate protection against falling - safety glass and child proof restrictors to be fitted.



Form all new timber stud partitions as shown on the drawing constructed in 100x50mm softwood timber at 400mm centres with 12.5mm plaster board and skim coat of plaster to both sides and infill with 100mm rockwall insulation. All new studs to be built of double joists bolted together with M12 bolts at 600mm centres.

A	04.03.21 To Clients Requirements.

Revisions

Project
Proposed plans and elevations.
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Scale 1:50 1:100 @ A1
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Drawn By D. J. BLYTH.
Drawing No: **BD/21/03/3A**

ground floor plan

scale bar 1:50

loft floor plan