

NOTES

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS

DO NOT SCALE FROM THIS DRAWING

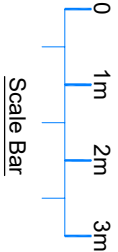
RS ATPA COPYRIGHT

- Notes:
- Do not scale this drawing
 - All dimensions to be verified on site and any discrepancy reported to the client
 - This drawing to be read in conjunction with all relevant drawings
- Prior To Commencement Of Any Works, Agree With Adjoining Neighbours

Client/Builder To Obtain All Planning Permission Approvals From The Relevant Authority, Commencement Of Building Works Prior To The Planning & Building Control Approvals Is To Client/Builders Own Risk

Client/Builder To Liaise With Local Water Board For Any New Works Or Within The Public Sewer Or Drain Runs And Obtain Approval From The Local Authority Prior To Commencement Of Any Works

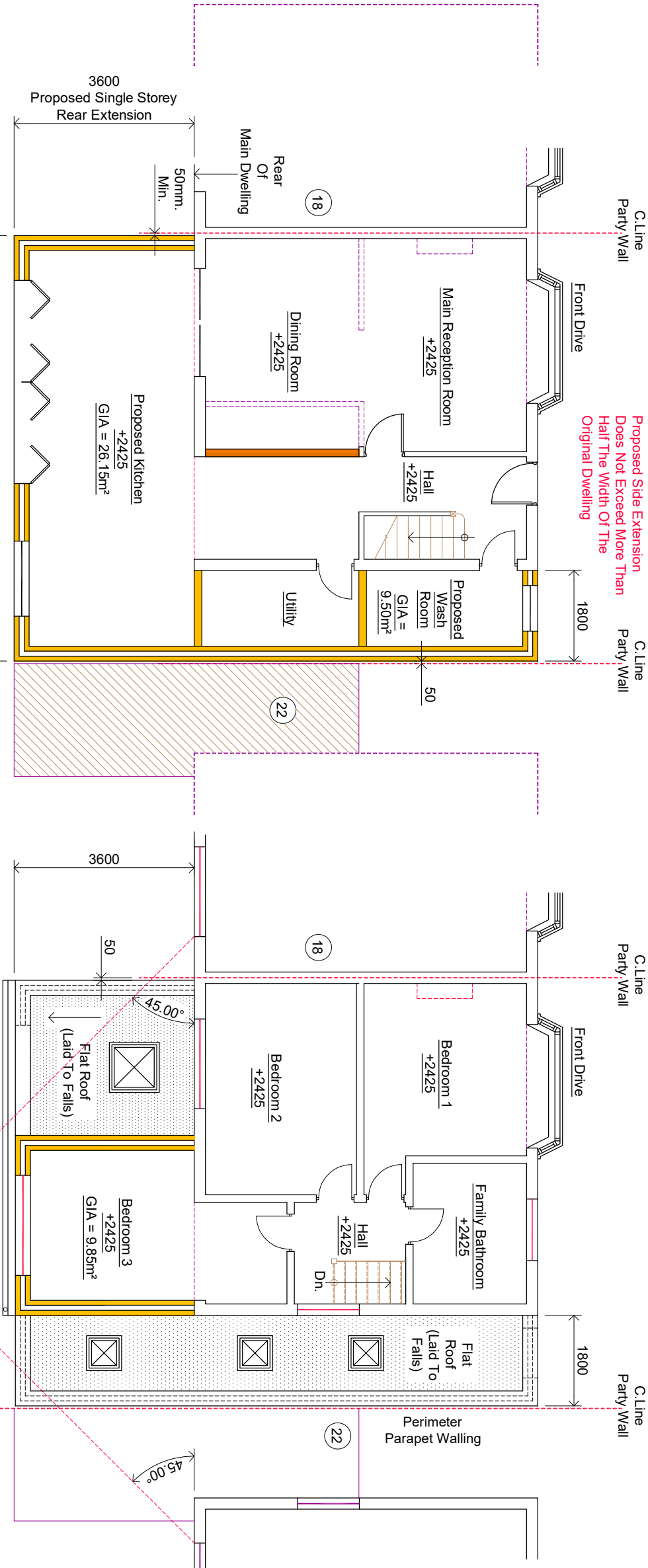
REV	AMENDMENT	DATE	CHNO
A	Planning Issue	18.07.25	RS



CLIENT	Muhammad Iran
PROJECT	20 Morello Avenue Uxbridge UB8 3ER
DRAWING TITLE	Proposed Single Storey Rear Extension Part First Floor Rear Extension Proposed Floor Layouts Sheet 3

SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1	RS	RS	18.07.25
1:100 @ A3			

DRAWING NUMBER	2025 - 78 - 03	REVISION	A
----------------	----------------	----------	---



- ✱ Denotes FD30 Fire Doors (All To BCOs Approval)
- SD Denotes Mains Operated, Self-Contained Smoke Alarms With Battery Back Up All To Be Interlinked
- HD Denotes Heat Detector To Proposed Kitchen
- Denotes Existing Internal Walls To Be Demolished Including Chimney Breast Secured In Loft Space

Rain Water Gutters, Foundations & Eaves Not To Encroach Neighbours Property

(Land Scapping To Suit Natural Ground Profile)

Rear Garden

+2425 Denotes Floor To Ceiling Height

Proposed Ground Floor Layout (20)

Location Of Proposed Washroom To Clients Requirements

Proposed Extension

3600
Proposed Single Storey
Rear Extension

50mm.
Min.

Rear
Of
Main Dwelling

(18)

Dining Room
+2425

Main Reception Room
+2425

Front Drive

C.Line
Party Wall

Proposed Side Extension
Does Not Exceed More Than
Half The Width Of The
Original Dwelling

C.Line
Party Wall

1800

50

Proposed
Wash
Room
GIA =
9.50m²

Hall
+2425

Proposed Kitchen
+2425
GIA = 26.15m²

(22)

Proposed Extension

Final Size And
Location Of Proposed
Washroom
To Clients Requirements

All Windows To Proposed
Washroom To Have Obscure
Glass - Fixed Glass &
Non Opening able

All New Facing
Brickwork/Render,
External Doors &
Windows
To Match Existing
Main Dwelling

Proposed First Floor Layout (20)

+2425 Denotes Floor To Ceiling Height

Rear Garden

Roof Sky Light Windows
(Installed To
Manufacturers Requirements)

New Velux Window
Not To Protrude 150mm. Beyond
The Plane Of The Slope
Of The Original House
Measured Perpendicularly
With The External Surface Of
The Original Roof.

Final Position And Sizes Of New Sky
Light Windows To Clients
Requirements And To BCOs
Approval

C.Line
Party Wall

Front Drive

1800

Bedroom 1
+2425

(18)

Bedroom 2
+2425

Family Bathroom
+2425

Hall
+2425

Dn.

3600

50

Flat Roof
(Laid To Falls)

45.00°

Bedroom 3
+2425
GIA = 9.85m²

Fall →

C.Line
Party Wall

Perimeter
Parapet Walling

(22)

45.00°