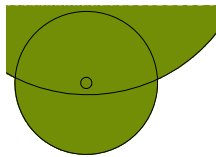
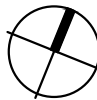
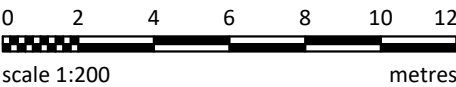


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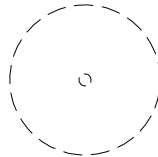
all dimensions to be checked on site and architect notified of any discrepancies prior to commencement.  
**do not scale.**

notes:

Layouts based on topographical survey produced by others



existing trees to be retained



existing trees to be removed



application | ownership boundary



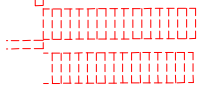
soft landscaping | existing vegetation to be retained



soft landscaping | proposed



existing buildings to be retained



existing buildings, structures and alike to be demolished

#### Cycling provision | 28no

existing residential @ 79% provision - 15no spaces  
proposed residential @ 100% provision - 13no spaces  
(policy requirement @ 1sp/1-2b | 2sp/3b)

#### Car parking

car-free development

#### Refuse provision | 5no bins @ 4,700l

100% allocation for both existing and proposed residential dwellings  
(policy requirement @ 4,190l based on BS 5906:2005 guidance - 100l/1b, 170l/2b and 240l/3b)

commercial bins stored within individual plots

A 09.06.2023 | Layouts and elevations updated to incorporate design team's comments - as per feedback received via emails on 2nd Jun 23 (ff)

rev: date: comment(s): name: check:



ARCHITECTS.  
URBAN DESIGNERS.  
PLANNERS.  
PROJECT MANAGERS.  
LANDSCAPE ARCHITECTS.  
**WE ARE IDP.**

status: **PLANNING**

3

client: Urbanhold Ltd

job: 25-49 Victoria Road, Ruislip Manor

title: **layouts | site plan (ground floor)**

drawn: ff date: May 23

checked: ff scale @ a3: 1:200

job no: **C4163** drg no: **010A**

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