
Accendo Fire Safety
Services

25-49 Victoria Road,
Ruislip Manor

Fire Statement Report

25-49 Victoria Road, Ruislip Manor

Fire Statement Report

Audit Sheet

Revision	Description	Date	Issued By	Reviewed By
0	Issued to Design Team	15 June 2023	JL	MK

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1.0 AUTHOR QUALIFICATIONS

This report has been compiled by John Lewis MSc BSc (Hons) MIFireE MRICS MCIOB.

John is the founder and director of Accendo Fire Safety Services. He has over twenty years' experience of applying and assessing Part B of the Building Regulations. This has been obtained on a range of residential and non-residential buildings up to £75M.

John is member of the Institution of Fire Engineers and is currently in the process of obtaining CEng status via that organisation.

Professional Associations and Education

- MSc Fire and Explosion Engineering, University of Leeds (2013)
- BSc (Hons) Construction Management, South Bank University, London (1993)
- Successfully passed the RICS EWS Competency Training Scheme (2021)
- Application submitted for Chartered Engineer (Fire Engineering) via The Institution of Fire Engineers
- Member of the Institution of Fire Engineers (1999)
- Member of the Royal Institute of Chartered Surveyors (2000)
- Member of the Chartered Institute of Building (1999)

Committee Membership

John currently sits upon the following committees:

- FSH/021/0-18 *Development of BS9414*
- FSH/021/0-19 *Review of BS8414-1 and BS8414-2*
- FSH/021/0-14 *Fire Precautions in Buildings (BS9991 and BS9999 suite of documents)*
- MHCLG Project on fire performance of cladding materials research (member of the Steering Group)
- Smoke Control Association *Guidance on Smoke Control to Common Escape Routes in Apartment Buildings (flats and Maisonettes)*
- Smoke Control Association *SCA guidance on the design, installation and maintenance of smoke control systems in single staircase office buildings exceeding 11m in height.*

Selected Publications

- Principal Author of Building Control Alliance Guidance Note 18 *Use of Combustible Cladding Materials on Buildings Exceeding 18m in Height.* Cited

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across the industry, BCA GN18 became the benchmark for assessing compliance of combustible cladding systems on high rise buildings.

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2.0 EXECUTIVE SUMMARY

This report details the measures needed to achieve an adequate standard of fire safety within the proposed scheme.

It has been developed to satisfy the requirements of Article 9A of The Town and Country Planning (Development Management Procedure and Section 62A Applications) (England) (Amendment) Order 2021.

It is concluded that, for the purposes of the planning application, the proposed scheme can satisfy Building Regulation and other necessary fire safety requirements.

3.0 INTRODUCTION

This report provides a Fire Safety Statement to support the Full Planning Application submitted to the London Borough of Hillingdon by the applicant, 'Urbanhold Ltd' (hereafter referred to as 'the applicant') for the redevelopment of 25-49 Victoria Road, Ruislip Manor (hereafter referred to as 'the site').

It has been developed to satisfy the requirements of Article 9A of The Town and Country Planning (Development Management Procedure and Section 62A Applications) (England) (Amendment) Order 2021.

This report should be read in conjunction with other supporting documents submitted with the planning application, including the Town Planning Statement and the Design and Access Statement which explain the Proposed Development in more detail and relate it to the surrounding context and planning policy framework for the Site

BS9991: 2015 and BS9999:2017 have been used to demonstrate compliance with the Part B (Fire Safety) functional requirements of the Building Regulations 2010 (as amended).

This Fire Safety Statement is not intended to provide a full fire strategy report for building regulation purposes however it is intended to be developed and built upon as further detailed design work progresses. During the course of the detailed design stage, a different fire safety guidance document may be substituted for the ones cited above.

This fire safety statement details how, at this stage of design, the development proposal is intended to function in terms of:

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- 1) the building's construction: methods, products and materials used, including manufacturers' details
- 2) the means of escape for all building users: suitably designed stair cores, escape for building users who are disabled or require level access, and associated evacuation strategy approach
- 3) features which reduce the risk to life: fire alarm systems, passive and active fire safety measures and associated management and maintenance plans
- 4) access for fire service personnel and how this will be achieved in an evacuation situation, water supplies, provision and positioning of equipment, firefighting lifts, stairs and lobbies, any fire suppression and smoke ventilation systems proposed, and the ongoing maintenance and monitoring of these
- 5) how provision will be made within the curtilage of the site to enable fire appliances to gain access to the building
- 6) ensuring that any potential future modifications to the building will take into account and not compromise the base build fire safety/protection measures.

The following documents have been used in the preparation of this report:

Drawing Name	Number	Rev
Layouts - Site Plan (Ground Floor)	C4163-010	-
Layouts – Proposed First Floor	C4163-012	-
Layouts – Proposed Second and Third Floor	C4163-011	-
Elevations – Front (Victoria Road) and Sides	C4163-021	-
Elevations – Rear (Service Road) and Sections	C4163-020	-

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4.0 SITE DESCRIPTION

The proposal site occupies 25-49 Victoria Road, Ruislip Manor and is a series of part two and part three-storey buildings, primarily used for retail purposes at ground level with residential uses above.

The proposal is for roof extensions at 2nd and 3rd floor level over parts of the existing terrace, along with internal reconfiguration and rear deck access. creating nine additional residential units.

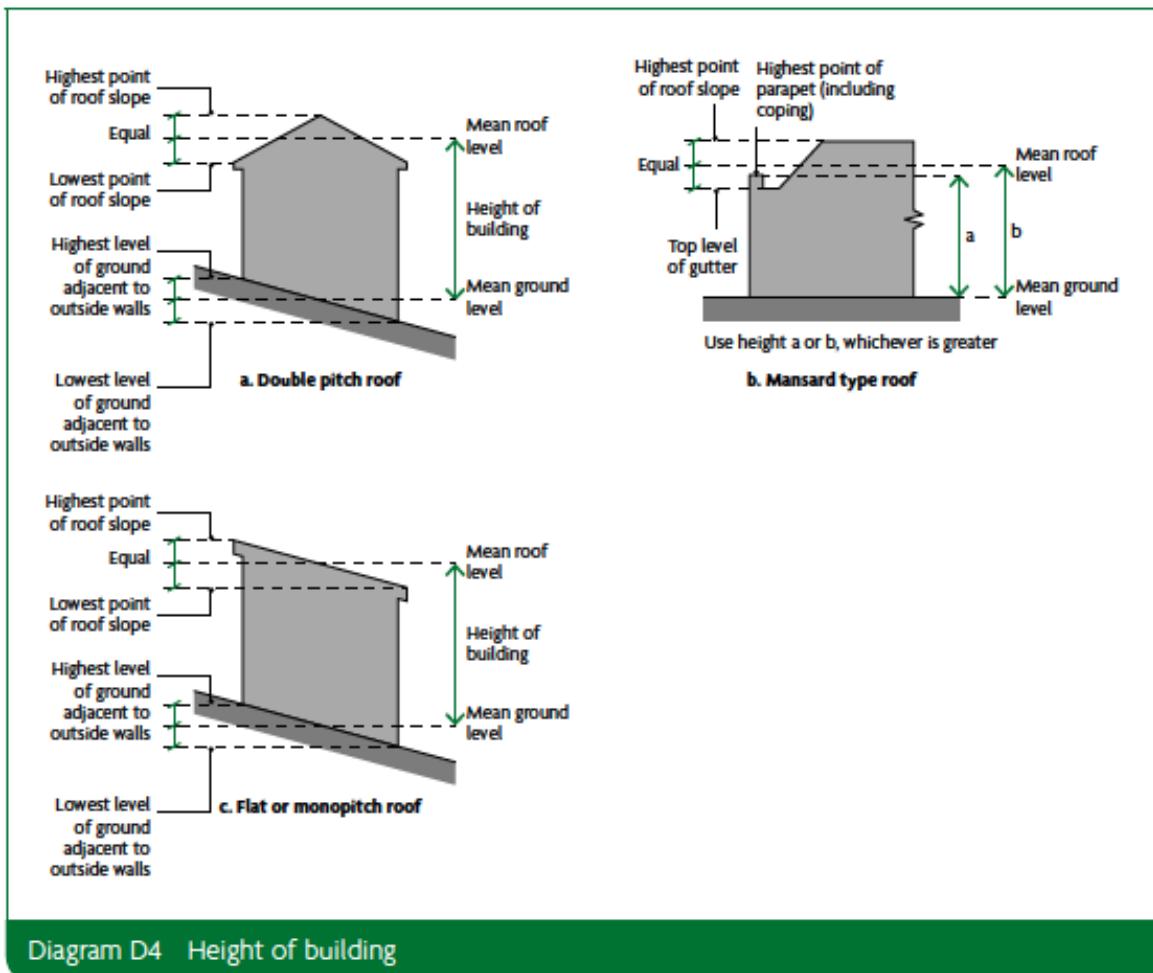
The planning application therefore proposes the following:

“Extension of the existing two-three storey buildings along 25 – 49 Victoria Road to provide nine additional dwellings arranged over two additional storeys; proposals include private amenity space, car and cycle parking, refuse storage, and other associated infrastructure.”

Building height has been measured in accordance with Approved Document B Volume 2 2020 Diagram D4:

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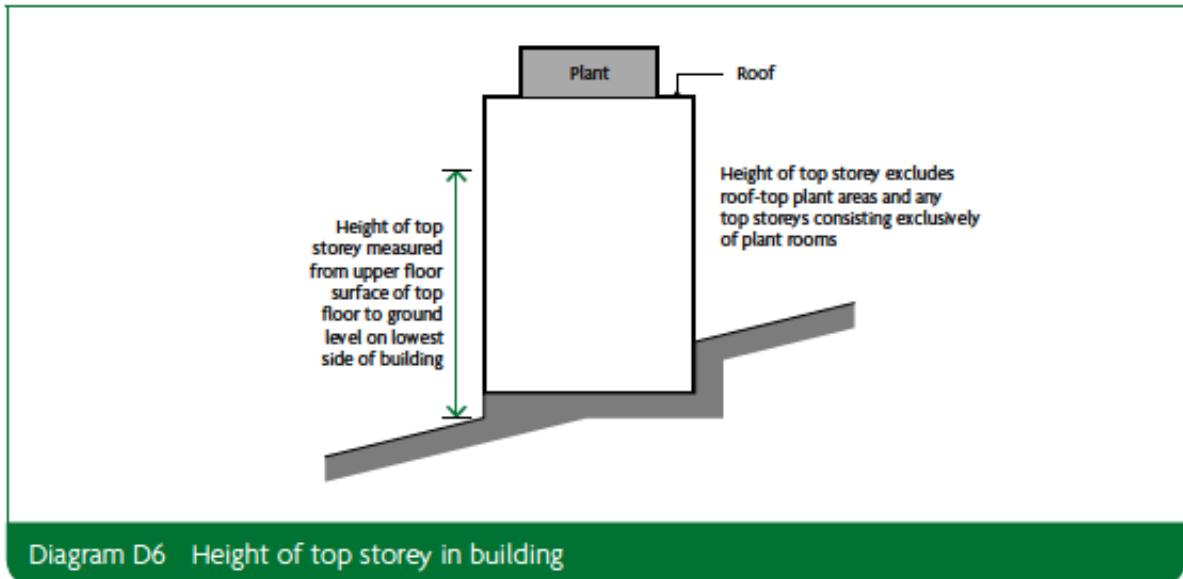


In accordance with this diagram, the maximum building height is around 13.50m

The height to the finished surface of the top storey of the building has been measured in line with Diagram D6:

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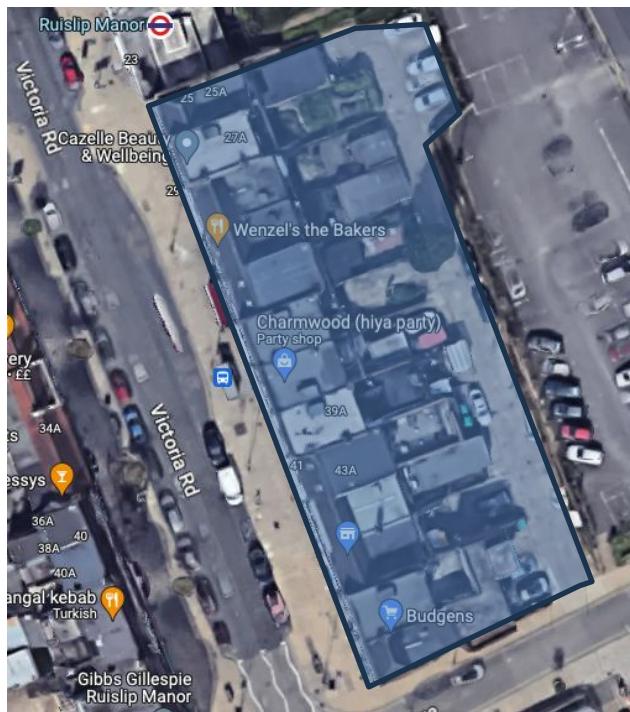
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In accordance with this diagram, the top storey height is around 10.70m.

The location and site plan of the building is shown below in Figure 1 and Figure 2:

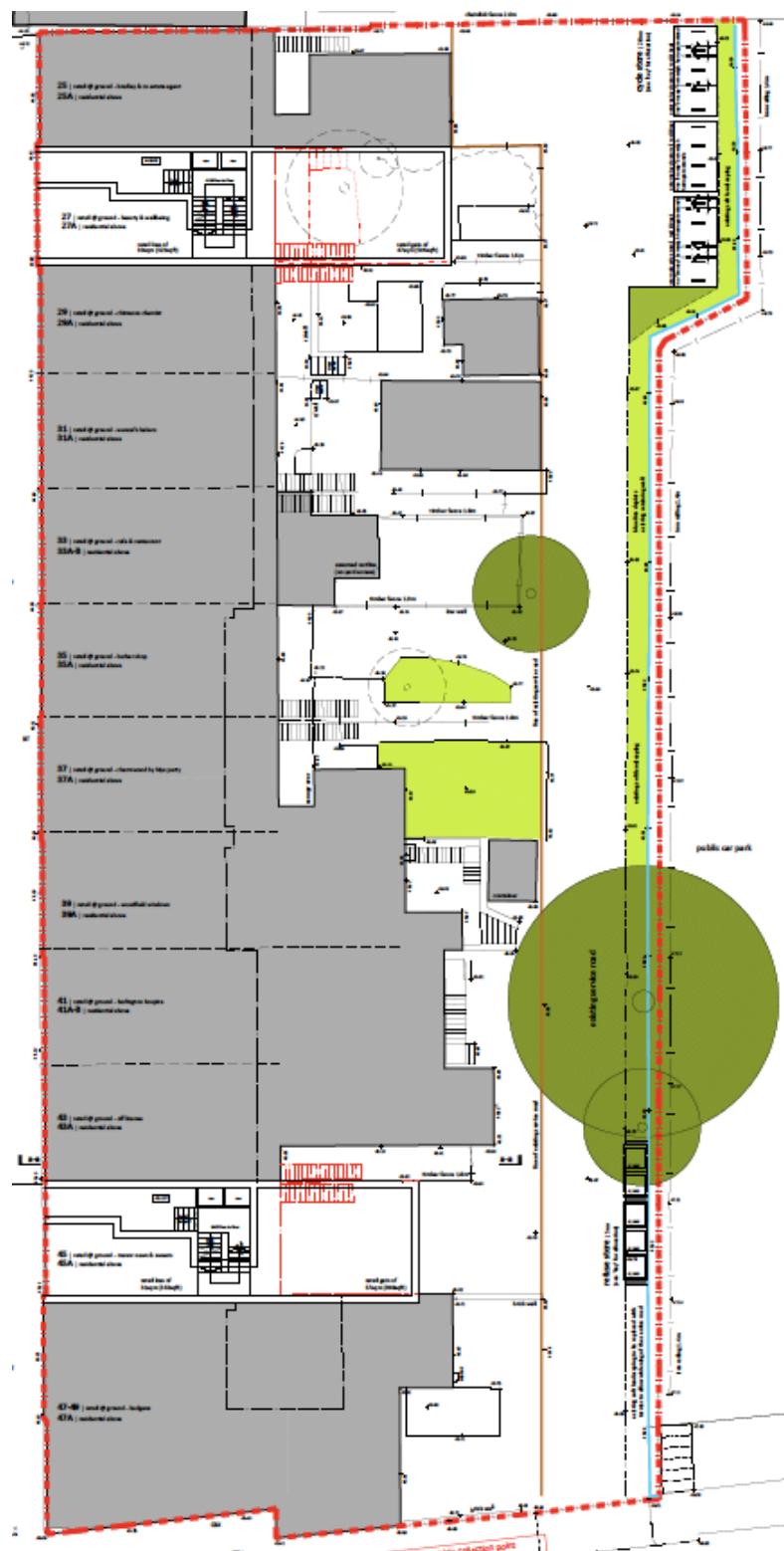
Figure 1 – Location Plan



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Figure 2 – Site Plan



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Upon completion of the development, it is intended that the building will be put to the following uses:

- Ground Floor – Existing Retail Units, together with entrances to new stairwells serving the upper residential flats and a rear extension to No. 45 Victoria Road
- First Floor – Existing residential flats and existing offices, together with new stairwell cores. Alterations are proposed to No. 27A, No. 33A and No. 45A Victoria Road
- Second Floor – Existing residential flats (Nos 27, 33, 35, 37, 39, 41 and 43 Victoria Road), together with new residential flats (Nos. 25, 29, 31, 43, 45, and 49 Victoria Road) and associated stair cores.
- Third Floor - New residential flats (Nos. 25, 29, 31, 33, 41, 43, 45, 47 and 49 Victoria Road) and associated stair cores.

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5.0 MEANS OF ESCAPE

With regards to forming a suitable means of escape strategy for the building, the following are proposed:

Evacuation Strategy – New Residential Areas

Initially, a 'stay put' evacuation strategy will be provided whereby a fire alarm within a flat will initially alert only the occupants of that flat to escape whilst all other flats remain in place.

However, upon a confirmed fire signal from elsewhere within the building, these areas will also feature a 'simultaneous' evacuation strategy where all occupants of the building will escape.

Evacuation Strategy – Existing Residential and Non-Residential Areas

Due to the unknown condition of the existing building, in order to provide the earliest warning to residents, the existing and new areas of the building will be provided with fire detection system which will sound a simultaneous evacuation of the building if a confirmed fire signal is received.

Provision for Disabled Occupants

No specific measures are required by BS9991 for the building to be constructed with facilities to assist the evacuation of disabled occupants. However, expectations are placed upon the management of the building to be able to evacuate all persons safely.

The building does not propose a lift and so it is assumed that occupants will be able bodies and capable of self-escape.

Detailed consideration of the requirements will be undertaken at Building Control stage.

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Horizontal Means of Escape

Residential areas - travel distances, routes and smoke control provision will be in accordance with Section 7 of BS9991.

Smoke ventilation within the staircases will be possible via roof mounted automatically opening smoke vents. A smoke detection system complying with BS5839-1 will be installed within the common parts to activate the smoke control system.

Internal Escape Within the Flats

Design of the flats will be in line with Section 9 of BS9991.

Vertical Escape

The stairwells will be sized to suit Part M requirements and, to assist fire-fighters, will be a minimum of 1000mm wide.

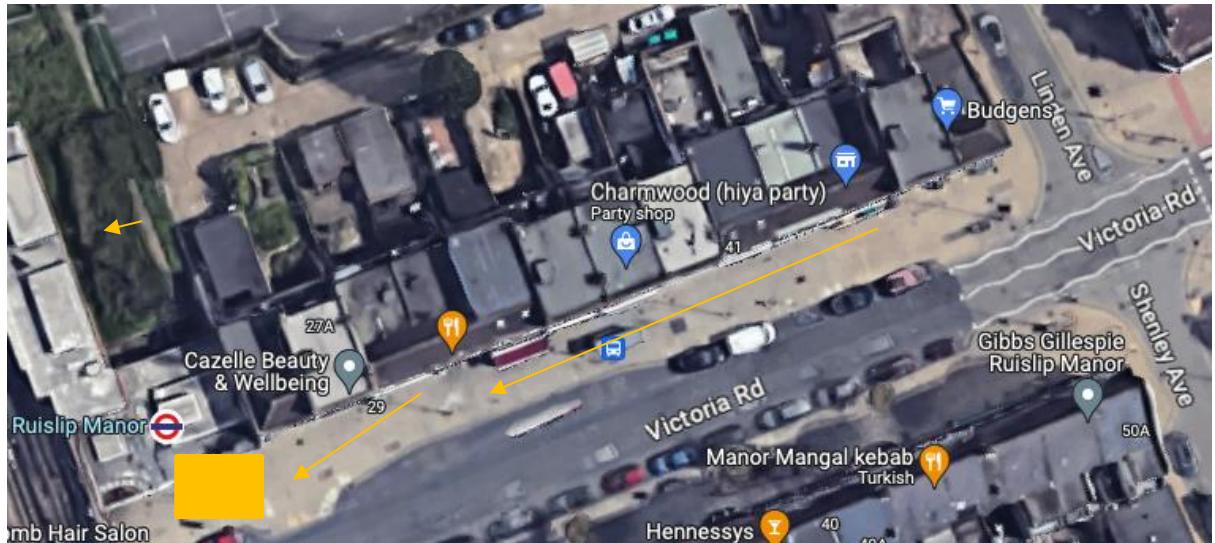
The stairs will discharge directly to external air at ground floor level.

Evacuation Assembly Points

The main entrances to the stairwells are from Victoria Road. Assembly on the roadside outside Ruislip Manor London Underground Station is possible:

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6.0 ACTIVE FIRE SAFETY MEASURES

With regards to active fire safety measures within the building, the following are proposed:

Fire Detection and Alarm Systems – Existing and New Residential Areas

All apartments are to be provided with a Category LD2 fire detection and alarm system designed, installed, and commissioned in accordance with BS5839-6:2019.

Due to the unknown condition of the existing building, a separate fire detection system in accordance with BS5839-1: 2017 will be provided which gives coverage to all parts of the building which will sound a simultaneous evacuation if either a heat detector is activated within the hallway of each flat or two separate smoke detectors are activated within any flat. This system will also activate smoke vents within the common parts.

The final design of the fire alarm system will be undertaken at Building Control stage.

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Fire Detection and Alarm Systems – Commercial Areas

Due to the unknown condition of the existing building, a separate fire detection system in accordance with BS5839-1: 2017 will be provided which gives coverage to all parts of the building which will sound a simultaneous evacuation if either a heat detector is activated within a retail unit or two separate smoke detectors are activated within a retail unit.

The final design of the fire alarm system will be undertaken at Building Control stage.

Smoke Control System – Residential Floors

The residential stairwells will be protected with a 1.0m² automatic opening vent located at the head of the residential staircase.

The system will be designed in accordance with Smoke Control, Association publication '*Guidance on Smoke Control to Common Escape Routes in Apartment Buildings*'

Sprinklers

Being a building with no new residential floors at a height exceeding 11m, and with no more than three storeys above the ground floor level the building will not be fitted with a sprinkler system.

Emergency Lighting and Signage

Emergency lighting to BS5266-1: 2016 will be installed within the common parts of the residential floors.

Escape route signage to BS5499-9 will be provided to all common escape routes.

Consideration will be given to providing an evacuation alert system to BS8629:2019 to the residential flats. This will be situated in one of the ground floor entrance areas (final positioning to be agreed later).

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7.0 PASSIVE FIRE SAFETY AND CONSTRUCTION DETAILS

With regards to passive fire safety measures and construction details within the building, the following are proposed:

Elements of Structure

The top floor of the building is at a height not exceeding 11m. Therefore, in line with BS9991 Section 16, elements of structure will achieve a 60minutes standard of fire resistance.

Compartmentation

Key fire resistance provisions within the development can be summarised as follows:

- All new floors and walls are to be designed as compartment floors / walls achieving the same level of fire resistance as required for the elements of structure.
- All existing floors and walls are to be upgraded to meet the current requirements for compartment floors / walls as well as achieving the same level of fire resistance as required for the elements of structure.
- All protected shafts which pass through compartment floors are to achieve the same level of fire resistance as required for the elements of structure.
- All residential units are to be separated from all other areas of the building by at least 60-minute fire rated construction (FD30S fire doors onto internal common corridors).
- All non-residential areas will be separated from the common parts with the same level of fire resistance as required for the elements of structure

Ancillary accommodation is to be enclosed in fire rated construction, in accordance with the requirements of Table 15 of BS9991:2015.

Fire Doors

Fire doors are to meet the requirements outlined within BS9991:2015.

Internal Wall and Ceiling Linings

Wall and ceiling linings will meet the requirements outlined within BS9991:2015.

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Fire Stopping and Cavity Barriers

The appropriate fire barrier provisions will be provided in line with the guidance within BS9991. Fire stops will be of the required fire resistance for the height of building. Cavity barriers will be of a minimum fire resistance of 30 minutes.

External Wall Construction

Although the building will not contain residential floors at a height exceeding 11m, the principal components of the external walls will be composed throughout of materials which achieve either a A1 or A2,s1-d0 combustibility classification in line with BS EN 13501-1.

The existing external walls be assessed for external fire spread purposes. Being a brick built building no adverse issues are expected in this regard.

A deeper intrusive investigation will be undertaken into the wall build-up and provision of fire barriers as part of the construction works.

Space Separation and External Areas

Detailed external fire spread analysis will be undertaken based on the enclosing rectangle method as described in BR187:2014. On an initial review of space separation, boundary distances appear sufficient to enable compliance with Requirement B4.

Roof Coverings

Roof coverings will achieve B_{ROOF}(t4) classification.

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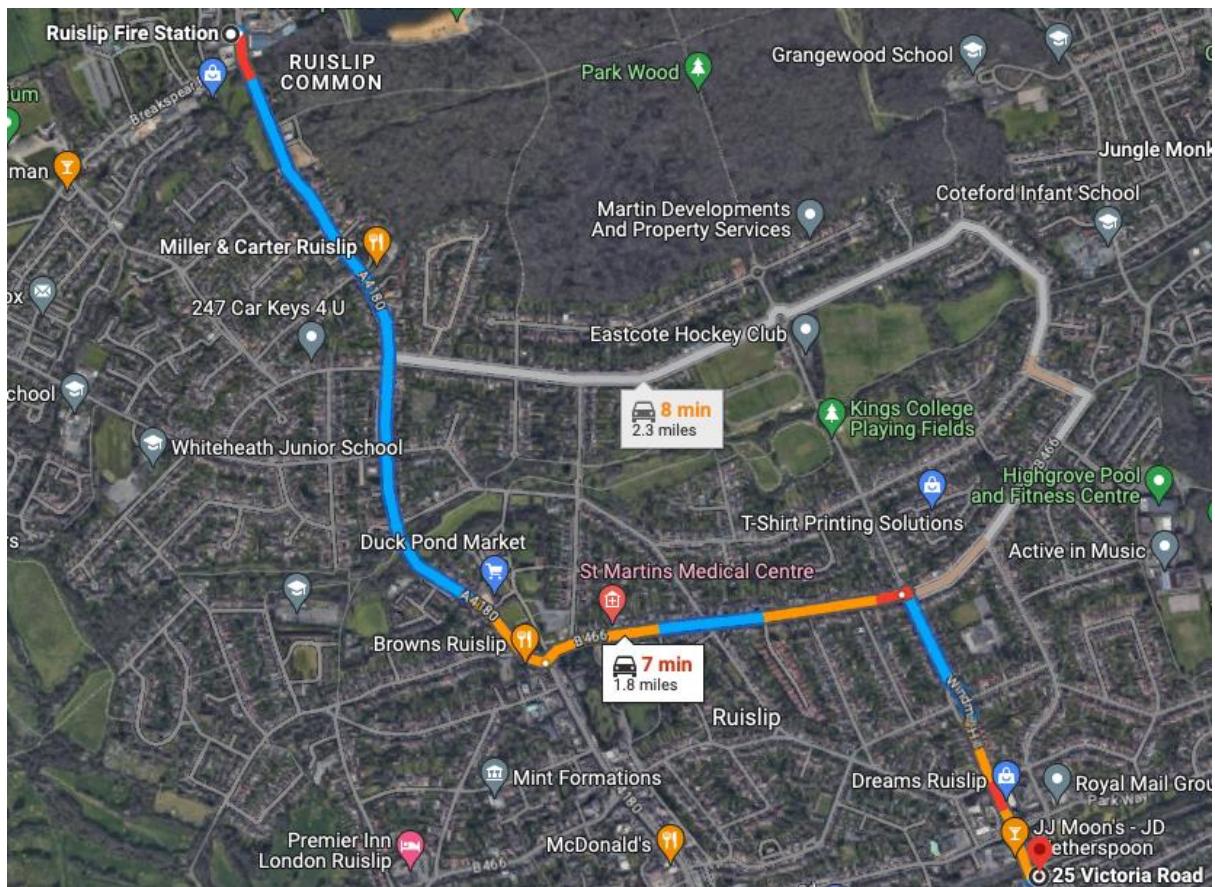
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8.0 ACCESS AND FACILITIES FOR THE FIRE AND RESCUE SERVICE

With regards to access and facilities for the fire and rescue service, the following are proposed:

Site Accessibility

The nearest fire station is Ruislip Fire Station. From analysis of Google Streetview, it can be seen the fire station is around a seven-minute drive from the front entrance of the building.



The primary approach to the building will via Victoria Road. Suitable access width and turning facilities for fire service vehicles already exist.

The road-facing elevations will house the main entrances to the stairwells. The dry riser inlets will also be positioned on these elevations.

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Fire-Fighting Access and Facilities

Residential Floors: The following measures are proposed:

- A protected stairwell.
- A dry rising main installed in line with guidance in BS9991.
- All parts of all flats can be reached within 45m of a dry rising main outlet.
- Dry rising main inlet connections located on the front elevation of the building facing the access road.
- Parking for the fire brigade pump to be within 18m of the dry riser inlet.

Fire Hydrants

In accordance with the requirements set out in BS9991:2015, fire hydrants should be located within 90m of the dry or wet rising main inlet locations. The location of the closest fire hydrant is currently unclear but is expected to be within Victoria Road.

If no suitable hydrant can be located within 90m an additional hydrant will be installed.

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9.0 FIRE SAFETY MANAGEMENT AND FUTURE DEVELOPMENT

This section of the Fire Statement is aimed at providing information in regard to the management of future fire safety within the building.

BS9991 provides guidance on ongoing management and maintenance of the building once occupied.

The Regulatory Reform (Fire Safety) Order 2005

The RRFSO will apply to the completed building and a suitable 'Responsible Person' will be appointed to undertake and constantly review a suitable fire risk assessment.

Regulation 38

Upon completion of the building works, all relevant details relating to fire safety will be handed to the Responsible Person in order for them to undertake a suitable fire risk assessment.

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10.0 REFERENCES

1. The Building Regulations 2010 (as amended 2013); Communities and Local Government.
2. Approved Document B Volume 2; HM Government. 2020
3. BS9991 'Fire Safety in the Design, Construction and Use of Buildings – Code of Practice for Residential Buildings'. BSi. 2015
4. BS9999 'Fire Safety in the Design, Construction and Use of Buildings – Code of Practice for Non-Residential Buildings'. BSi. 2017
5. BS EN 13501 Part 1' Fire Classification of Construction Products and Elements: Classification using Data from Reaction to Fire Tests