

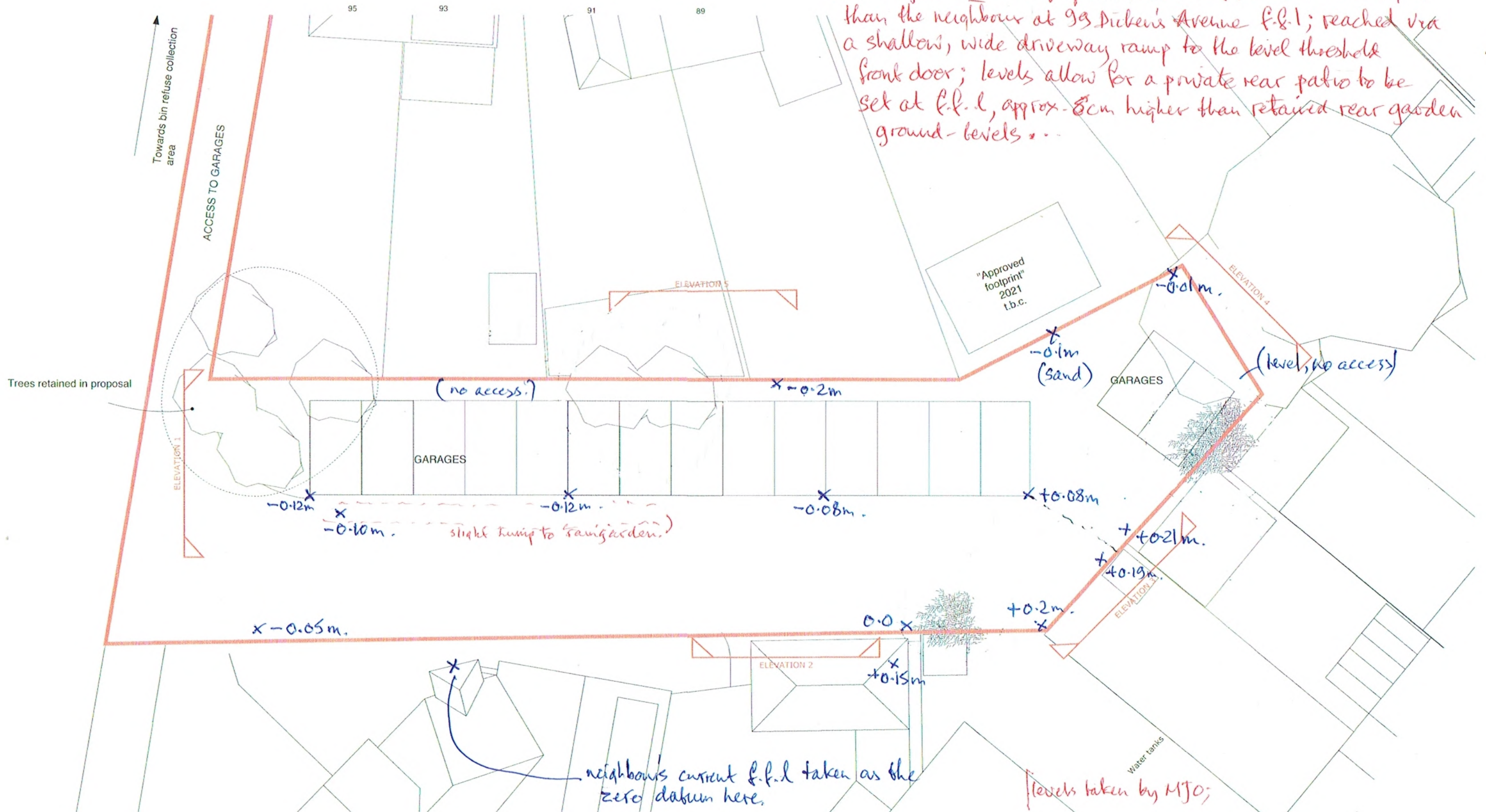
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IMPORTANT! these existing levels are to be retained, unchanged - BUT the proposed floor-slab f.f.l. is set 0.15m higher than the neighbour at 93 Dickens Avenue f.f.l; reached via a shallow, wide driveway ramp to the level threshold front door; levels allow for a private rear patio to be set at f.f.l., approx. 8cm higher than retained rear garden ground-levels...



Address: Garages At Dickens Avenue, Hillingdon, UB8 3DN
 Client: Michael Oakes
 Date: March 2025



Drawing Title: **Site Plan - levels. As Existing**

Project no./ Stage/ Drawing no./ Revision: 0266- PLA- 33_A
 Revision notes: Drawn by: RA
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10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

Planning Application for a dwelling and associated works