

MICHAEL OAKES ARCHITECTS LTD.

Michael Oakes (Director) B.A. Hons Arch, Dip. Arch, Registered Architect

REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

Telephone: 01895 235089 - E-mail: michaeloakesarchitect@googlemail.com

to revised, intermediate refuse point (early Thursday morning collection) - position, as approved in an identical scenario at Hazeldene Gardens, Hillingdon your reference: S6804/APP/2019/3696.

marked-up pedestrian walkway (includes bin collection position route - see drawing 82A)

garages re-partitioned as follows;



[Blue] Within ownership but not part of application

space store garage or kept as-is

space store garage or kept as-is

proposed parking for 2x cars within the re-partitioned garage/unit spaces, to give a 6.6m x 5.1m clear internal floor area, this parking to service the proposed new 4-bedroom home.

[Yellow] = pedestrian route when (99% of the time) the garage door is closed; when the garage door is open, pedestrians can walk ~2.5m away from the garage door, in order to be viewed by the forward-gear driver.

Proposed 4-bedroom self-build house footprint.

Side and rear access gate

BLUE: Ramped level threshold access - front driveway up to entrance. 1:20 gradient (not to exceed 1:15).

Purple: Rear access retained for No. 21 (minimum 1.13m wide passage)

proposed 'speed-hump/sleeping policeman, 2.4m wide x 1m deep x 60mm high, to ensure no "speeding" is possible around this corner.

current 'acceptable' bus/refuse point for number 99 Dickens Avenue (Chopra)

current 'acceptable' bus/refuse point for number 97 Dickens Avenue (Dharmesh)

Address	Client	Date
Garages At Dickens Avenue, Hillingdon, UB8 3DN	Michael Oakes	March 2025



Drawing Title: **Ground Floor Proposed Widened garages + turninghead**

Project no./ Stage/ Drawing no./ Revision: 0266- PLA- prov. sk 90

Revision notes: A - First Issue 16.5.26

Drawn by: RA

Planning Application for a dwelling and associated works

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IF recognised as a sensible + logical move by the council, the existing undersized units would be re-partitioned to give 2 No. 3.03m x 5.1m clear internal floor area units, available to rent (if desired) by the neighbouring properties 93, 95, 97 or 99. Dickens Avenue (subject to terms being agreed).

garages re-partitioned as follows;

3300 3300 6400

[Blue] Within ownership but not part of application

1. 2. proposed associated parking.

proposed 4-bedroom self-build house footprint

Side and rear access gate

BLUE: Ramped level threshold access - front driveway up to entrance. 1:20 gradient (not to exceed 1:15).

Purple: Rear access retained for No. 21 (minimum 1.13m wide passage)

No 21

Address: Garages At Dickens Avenue, Hillingdon, UB8 3DN
 Client: Michael Oakes
 Date: March 2025
 10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain



Drawing Title: **Ground Floor Proposed Widened garages + turninghead.**
 Planning Application for a dwelling and associated works

Project no./ Stage/ Drawing no. / Revision: 0266- PLA- **prov.sk 91**
 Revision notes: A - First Issue **16.5.26**
 Drawn by: RA

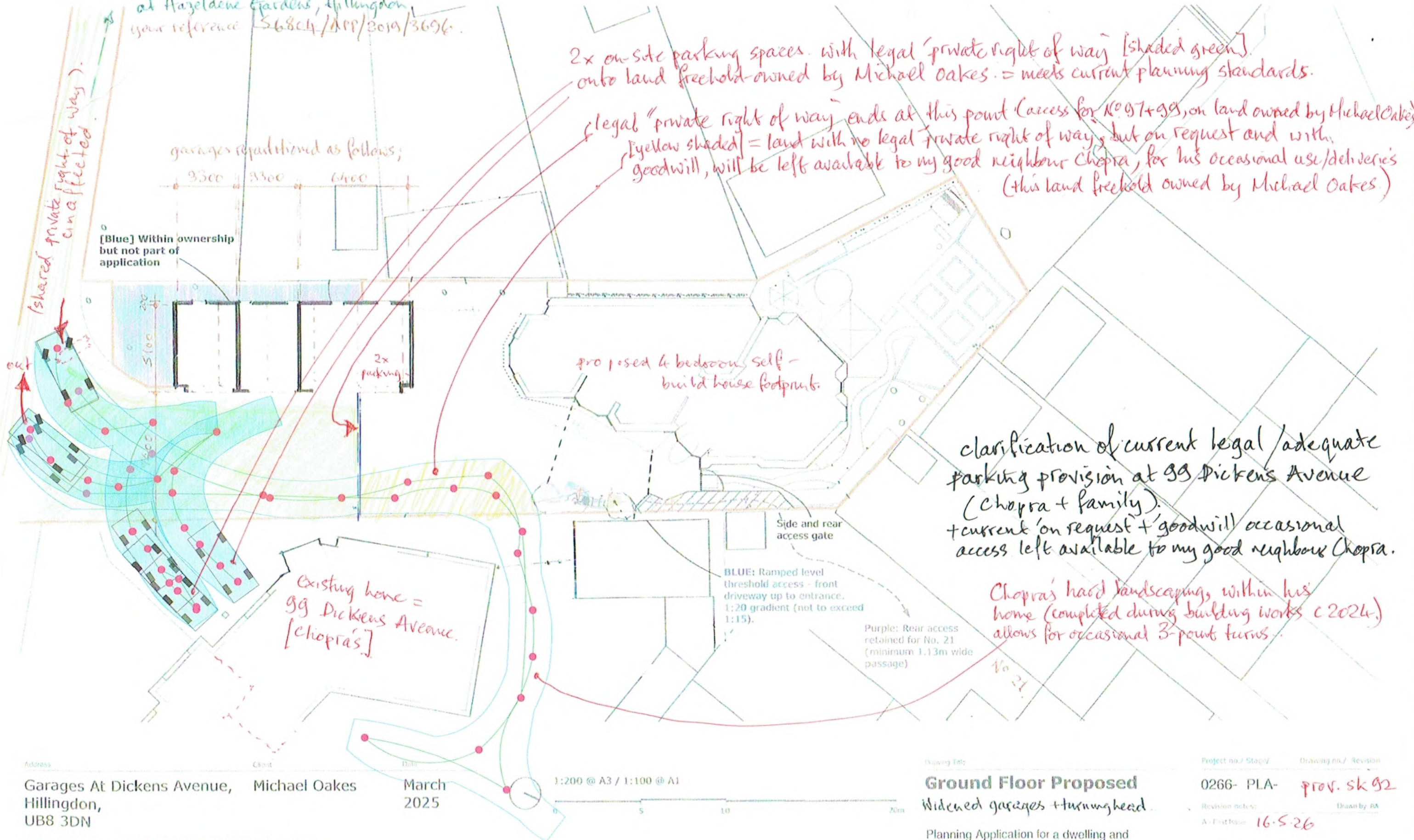
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2x on-site parking spaces with legal 'private right of way' [shaded green] onto land freehold-owned by Michael Oakes. => meets current planning standards.

legal 'private right of way' ends at this point (access for No. 97+99, on land owned by Michael Oakes) [yellow shaded] = land with no legal private right of way, but on request and with goodwill, will be left available to my good neighbour Chopra, for his occasional use/deliveries (this land freehold owned by Michael Oakes)

clarification of current legal/adequate parking provision at 99 Dickens Avenue (Chopra + family) + current 'on request' + 'goodwill' occasional access left available to my good neighbour Chopra.

Chopra's hard landscaping, within his home (completed during building works c2024) allows for occasional 3-point turns.

Existing home = 99 Dickens Avenue [Chopra's]

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1:200 @ A3 / 1:100 @ A1
0 5 10 20m

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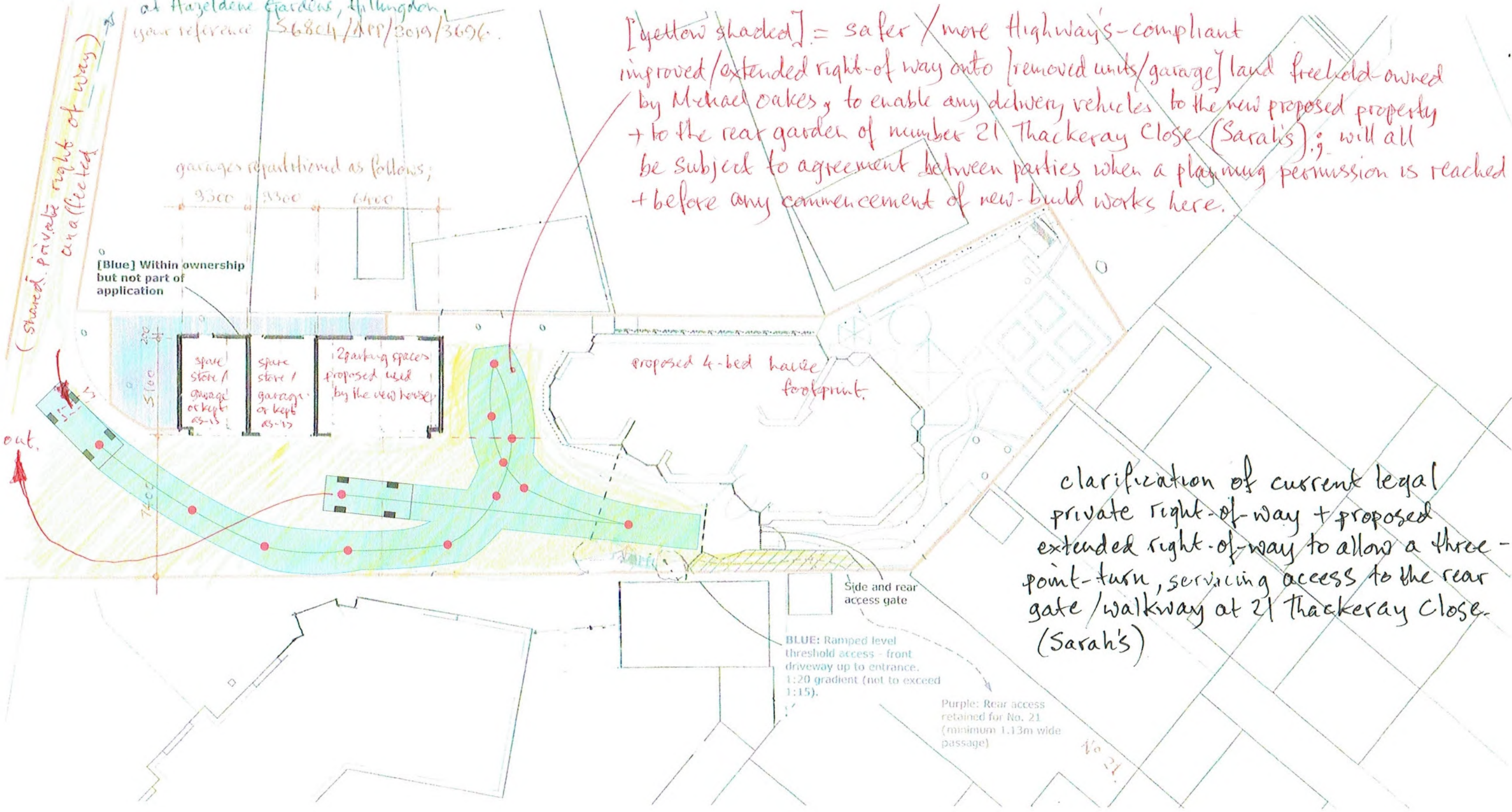
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[yellow shaded] = safer / more Highway's-compliant improved / extended right-of-way onto [removed units/garage] land freehold-owned by Michael Oakes, to enable any delivery vehicles to the new proposed property + to the rear garden of number 21 Thackeray Close (Sarah's); will all be subject to agreement between parties when a planning permission is reached + before any commencement of new-build works here.



clarification of current legal private right-of-way + proposed extended right-of-way to allow a three-point-turn, servicing access to the rear gate / walkway at 21 Thackeray Close. (Sarah's)

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Project no./ Stage/ Drawing no./ Revision: 0266- PLA- prov. sk 93
 Revision notes: A-First Issue 16.5.26
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