

Project Union – 7511/APP/2022/3012 S96A(1)

HDR Technical Notes

Bulls Bridge Industrial Estate, Hayes, UB3 4QQ

Date:	April 2023	Issue:	04
Reference:	WED15516	Status:	Issue

Prepared by:	Gabiela Krebs	Date:	17/04/2023
Edited by:	Ulrich Groenwald	Date:	18/04/2023
Authorised by:	John Foreman	Date:	19/04/2023
Issuing office:	Croydon		

Contents

1.0	Summary	3
2.0	Air Quality	4
3.0	BREEAM	5
4.0	Drainage	6
5.0	Energy	7
6.0	Noise	8
7.0	Sustainability	9

1.0 Summary

HDR Review of Technical Matters	Impact on Application Ref: 7511/APP/2022/3012
Air Quality	No change
BREEAM	No change
Drainage	No change
Energy	No change
Noise	No change
Sustainability	Improved*

*Predicted CO₂ savings have improved marginally from 78.2% (June 2020) to 80.6% (April 2023).

2.0 Air Quality

Project: ARK Union Park Date: 05/04/2023

Reference: 75111/APP/2022/3012 Prepared By: JF

Status: Information Issue: 1

Design Note: Application Ref: 75111/APP/2022/3012 - S96A – AIR QUALITY

1. HDR Assessment

The “slot-out” non-material amendment ref: 75111/APP/2022/3012 removed the energy centres from the applications scope, therefore, there are no generators within this S96A application and no requirement to assess air quality.

Refer to the S96A amendment under planning reference 7511/APP/2022/1007 for the air quality technical note associated with the minor amendments to energy centres contained therein.

3.0 BREEAM

Refer to the Sustainability Statement for BREEAM.

4.0 Drainage

Project:	ARK Union Park	Date:	05/04/2023
Reference:	75111/APP/2022/3012	Prepared By:	UG
Status:	Information	Issue:	1
Design Note:	Application Ref: 75111/APP/2022/3012 - S96A - DRAINAGE		

1. HDR Assessment

The proposed amendments as described within this S96A amendment to the “slot-out” planning application reference 75111/APP/2022/3012, has no impact on that application. The drainage system will remain as a gravity system with the required attenuation and pollution prevention measures all as previously described. Both the foul and water gravity sewers will retain the on-site drainage routes with outfalls to the Thames Water Public sewer and the River Crane respectively.

5.0 Energy

Refer to the Sustainability Statement for Energy.

6.0 Noise

London | 020 7859 4530 | hello@auricl.com
Reading | 0118 207 7324 | www.auricl.com



John Foreman
HDR
4th Floor, Knollys House
17 Addiscombe Road
Croydon
CRO 6SR

2 April 2023

Dear John

Project Union, S96(1) Submission – Acoustic Review

We write in reference to the proposed Non-Material Amendment under Section 96A of the Town and Country Planning Act 1990.

The proposed alterations to the scheme are understood to involve the removal of the permitted top storey of UP1, the retention / installation of roof-top gantry and louvres, changes to the materials to be used for the ground floor, and alterations to the roof top layout. The application would also include the alteration of Visitor Reception Centre 1 so that it is single rather than two storey.

Our previous noise report (attached) details our assessment of the proposals to date. It is understood that the proposed alterations will not alter the locations, noise levels or operational profiles of the proposed plant.

As such, the proposals are not expected to result in an adverse noise impact, in comparison to our previous assessment.

We trust the above is clear and meets with your requirements, but please do not hesitate to contact me if you have any queries or require any further information.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Nick Jones', written over a light blue dotted line.

Nicholas Jones

Principal Acoustic Consultant

auricl

T: 020 7859 4530
M: 07739 715411
E: njones@auricl.com

7.0 Sustainability

7.1 Purpose of S96a (1) addendum

The purpose of this addendum is to confirm that the changes included within the S96a (1) addendum planning submission have been assessed with respect to the approved Energy Statement (HDR, Rev03, June 2020), for the development and do not negatively affect the energy and sustainability issues mentioned herein.

The proposed minor alterations are as follows

- Parapet changes to UP1.
- Removal of top floor of UP1.
- Changes to the materials to be used for the ground floor (brickwork to cladding),
- Alterations to the roof top layout
- No changes to UP2 and 3.

This report provides an addendum to the Energy Statement (HDR, Rev03, June 2020) noted above, which outlined the energy strategy for the Union Park data centre campus. The June 2020 document should be read in conjunction with this S96a addendum.

7.2 Overview of Union Park

The project consists of a new build data centre campus of 3 no. data centres.

The development is located on the Bulls Bridge Industrial Estate in Hayes, West London and is adjacent to the Grand Union Canal and the main railway line into London Paddington.

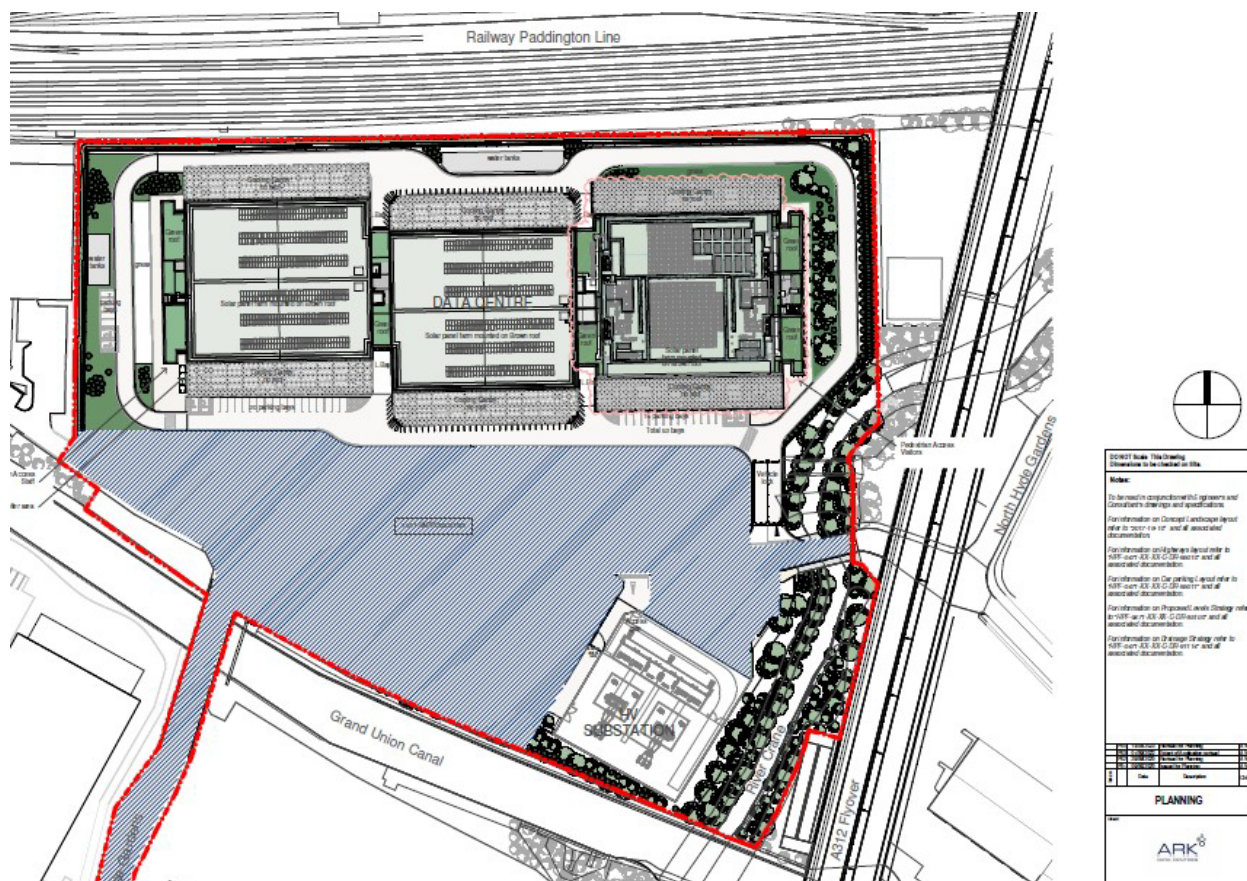


Figure 1 - Site location, layout and redline boundary (S96a (1))

7.3 S96a proposals

The proposed minor alterations are as follows:

- Parapet changes to UP1.
- Removal of top floor of UP1.
- Changes to the materials to be used for the ground floor (brickwork to cladding),
- Alterations to the roof top layout
- No changes to Data centres UP2 and 3.

8 Energy and sustainability assessment

An Energy and Sustainability assessment review for air quality, drainage, energy, noise and BREEAM in relation to the S96a (1) changes has been undertaken.

8.1 Air quality

The minor alterations of this S96a (1) do not include generators. However, in terms of air quality, the following still apply:

- Background pollution concentrations across the site are likely to be below the relevant UK Air Quality Strategy Standard concentrations.
- During construction, adopting appropriate mitigation measures should prevent any significant air quality effects on the surrounding area.
- Increases in pollution concentrations due to development-generated traffic are not expected to have a significant impact on local air quality.
- The proposed development is expected to achieve air quality neutrality with respect to transport and building emissions.
- The proposed development includes several measures that will minimise the proposed development's impact on local air quality and an S106 financial contribution is proposed so that the proposed development can actively contribute to improving local air quality.
- Following the agreement of a suitable financial contribution, the proposed development is expected to actively contribute to improving air quality in line with LBH policy DMEI 14.

As the proposed development would not significantly impact local air quality, air quality should not pose any significant obstacles to the development progressing through the planning process.

8.2 Drainage

The proposed S96a (1) amendments have no impact in terms of the drainage system which will remain as a gravity system with the required attenuation and pollution prevention measures all as previously described. Both the foul and water gravity sewers will retain the on-site drainage routes with outfalls to the Thames Water Public sewer and the River Crane respectively.

8.3 Energy

The proposed S96a (1) alterations for the Union Park development have been assessed with respect to the approved Energy Statement issued in June 2020 and do not negatively affect the predicted carbon savings.

This S96a (1) addendum provides an update to the June 2020 Energy Statement which predicted CO₂ savings as per Table 1 below:

Table 1 – Predicted CO₂ savings (Energy Statement June 2020)

Savings from:	Regulated carbon dioxide savings	
	Tonnes CO ₂ per annum	(%)
Be lean: Savings from energy demand reduction	6,525	78.2%
Be clean: Savings from heat network	-	0.0%
Be green: Savings from renewable energy	45	0.5%
Total cumulative savings	6,569	78.7%

The summary result of the updated energy model as per S96a (1) is outlined in Table 2 below:

Table 2 – Predicted CO₂ savings (S96a (1) April 2023)

Savings from:	Regulated carbon dioxide savings	
	Tonnes CO ₂ per annum	(%)
Be lean: Savings from energy demand reduction	6,010	80.0%
Be clean: Savings from heat network	-	0.0%
Be green: Savings from renewable energy	47	0.6%
Total cumulative savings	6,057	80.6%

We can therefore conclude that the proposed changes herein are not predicted to result in an adverse change to the reported carbon savings in the approved Energy Statement from June 2020.

8.4 Noise

The proposed alterations will not alter the locations, noise levels or operational profiles of the proposed plant. As such, the proposals are not expected to result in an adverse noise impact, in comparison to the previous assessment.

8.5 BREEAM

The BREEAM pre-assessment was undertaken under the BREEAM Data Centres 2010 scheme and further reviewed to consider the S96a (1) updates regarding the following items:

- Air Quality;
- Drainage;
- Energy;
- Noise,

The above items are assessed by BREEAM under the following credit categories. There is no impact on these credits as a result of the S96a (1) changes.

- Hea 8 - Indoor Air Quality
- Pol 5 - Flood Risk
- Ene 1 - Reduction of CO2 Emissions
- Pol 8 - Noise Attenuation

Regarding the overall BREEAM assessment, the target rating of 'Very Good' remains.

In summary, as a result of the proposed changes of the S96a application no obstacles to achieving the Very Good rating are anticipated.