

Permission 75069/APP/2021/1679

Site adjacent To 1 Evelyns Close, UB8 3LR

Condition 5: Landscaping

1. Soft Landscaping:

The landscaping works to be undertaken will be as per the plan 2021/SUN/P5.2 submitted with the planning application. The landscaping plan attached reflects this.

Grass:

The grassed area occupies approximately 80m² for each dwelling. This is mostly in the rear garden although there are strips by the sides and front of the properties. The grass will be in the form of turf strips rather than seeds complying with the following:

- All areas to be turfed shall be levelled with compost and a suitable pre-germination fertiliser added as per manufacturers instructions.
- Turf used shall be in accordance with BS3969
- Any shrinkage may be filled with sandy topsoil and the turf regularly watered with due care not to wash out the added topsoil.

Flowers:

Rows of perennial flowers will be planted along the Eastern and Western boundaries of the gardens as per the landscape plan and planting schedule to add urban greening.

There will also be a timber decking planter (approx 3m x 0.3m wide by 1m high) at the front of plot 2 containing petunias and other such flowers. It will be custom built on site to look similar to this picture



Planting Schedule:

The following schedule will be used for flowers, hedges and trees:

Species	Size	Density
Photonia fraseri 'Red Robin'	Container Grown 10L pots	2-3 per metre
Acer campestre 'Elegant' Field Maple	12-14cm herth container grown	3 per 5 metres
Mix of Salvia x sylvestris, Sedum Spectabile, Rudbekia	Bulb grown. Approx 40cm when grown	3-4 per metre

2. Hard Landscaping:

Refuse Storage:

Each property can be expected to have one 240 litre 'wheelie' bin for recyclable waste and a similar one for non-recyclable waste. Additionally there may be a food 'caddie'. Below is a pre-fabricated timber shelter for the refuse from **Wickes**.

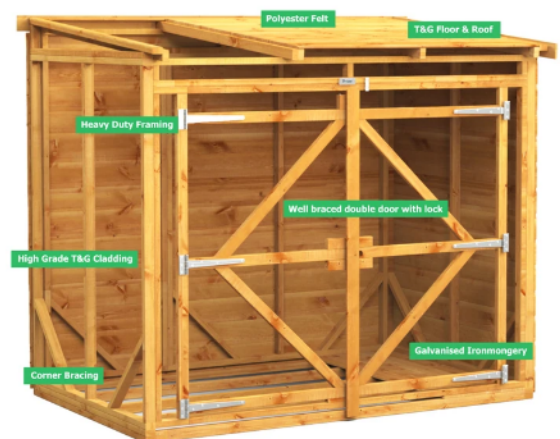


Dimensions - Height: 1.2m
Width: 1.66m
Depth: 0.79m

Alternatively, a custom built timber construction with these dimensions, door types and general appearance may be used. They shall be placed as per the landscaping plan attached to this condition.

Cycle Storage:

Cycle storage shall also be in the form of a timber shelter as shown here from **Purewell Timber Buildings**, or very similar.



Dimensions - Width: 180cm, Height 160cm, Depth 60cm

Park Layout:

The development has four car parking spaces of regulation size, as per the site plan and landscape plan. It is proposed that an electric vehicle 'wallpod charging point' is provided for each dwelling in the approximate locations shown in the landscape plan.

An example of a suitable charger is the **Rolec EV WallPod Charging Station (32A Type 2)**.



These will provide active vehicle charging points for two parking spaces. Cabling will be fitted to allow for more points in the future, thus providing passive points for the other two spaces.

Boundary Treatments:

The landscaping plan shows the location of fencing around the properties. This will be in the form of standard **1.8m high close boarded timber fencing** in the form of 1.8m wide timber panels fixed with concrete posts in a standard fashion. 30cm high wooden trellis panels will sit on top of this fencing to provide a pleasant finish.

Timber gates will be placed at the entrances to the side passages of the dwellings. They will be approx **915mm x 1800mm** high such as this **Flat Top** variety from Wickes.

The front gardens of the properties will be divided by **900mm high black metal railings** similar to this **Barbican** style one from Jackson's

Wickes **Flat Top** Timber Gate



Jackson's **Barbican** railings



Hard Surfacing Materials:

The paving around the property as shown in the landscaping plan will be 450mm x 450mm x 32mm **Marshall's riven buff** paving.



They will be laid on a surface of sand and joints shall be finished with dried kiln sand between them.

The parking spaces will use 200mm x 100mm x 60mm high **Marshall's Driveline Priora** permeable block paving in **Red** and **Charcoal Grey** as per the landscape plan. They will be laid on an appropriate aggregate base as per the manufacturer's instructions, as part of the SuDS strategy.

Wheel stops shall be placed in the location as per the site plan. They shall be placed at roughly 1m spacing to ensure they will obstruct any vehicle accordingly.

900mm or 1.8m wide wheel stops from Barriers Direct will be used



External Lighting:

External lighting shall be discreet wall mounted PIR motion sensor lights placed by the front doors, side passages and the rear patio doors as required by the Secured by Design specifications.



Example 10w PIR black metal lighting from TLC Electrical Supplies (model LTFL10PIRWW). This or very similar will be used to surround the houses.

3. Landscaping Maintenance Schedule:

The landscaping for these properties is fairly simple and should be quite robust. Immediately after laying the turf, it shall be watered daily for one week. Thereafter watered twice a week for a month, and finally watering with sprinklers on a monthly basis, or as needed to prevent the ground from drying out. When the turf has 'bedded in', it shall be mowed regularly to establish good grass growth.

The hedging plants shall be watered daily for the first month after planting and thereafter watered regularly to prevent drying out. Appropriate fertilising material will also be added to promote growth. The plants will be pruned during the summer to establish healthy growth and maintain appearance. Weed killer may be added judiciously if needed.

The perennial flowers will be planted in late Summer and early Autumn and will be watered regularly for the first month, to ensure they establish themselves in the soil. Fertiliser will also be used.

These patterns of regular watering (especially in Summer), mowing and pruning will continue for the first five years and beyond.

Replacement:

Replacement will simply consist of digging up the dead or damaged plant or stretch of turf and replacing with a new specimen of the same variety at the first available opportunity if seasonality of planting is an issue.

If this is not possible, an appropriate variety shall instead be planted with the Local Authority's permission. Any new plants shall be maintained as 'new' before joining the maintenance schedule as the other plants.

4. Implementation Schedule:

The hard landscaping, storage facilities and boundary fencing shall be implemented once the building superstructure is completed and watertight.

The turfed area will be prepared soon after. This is expected to be by the end of August 2021. The hedge and flower planting is expected to occur in between summer and late autumn 2021.

If there are any delays, then they shall be planted at the first available opportunity thereafter. This plan remains in place for the first five years.