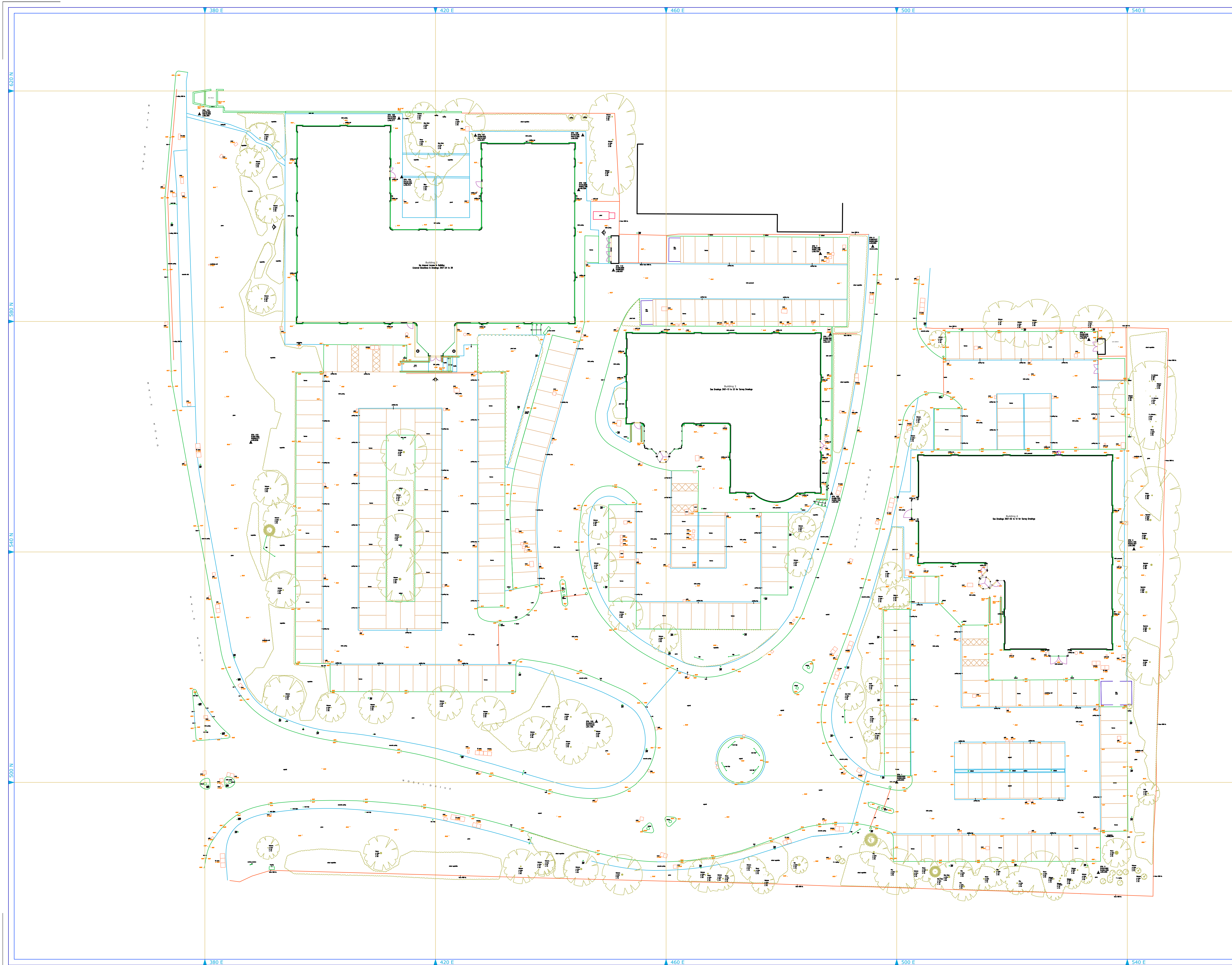
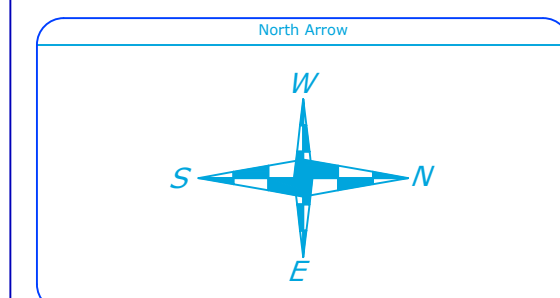


Appendix A Surveys and Asset Records

[illegible][illegible]

Legend	
	Indicates overhead or hidden feature.
	Indicates centre of steel, handrail or as annotated.
dh. 1960	Door height from finished floor level. (mm)
c. 950	Cill height from finished floor level. (mm)
h. 1280	Head height from cill level. (mm)
sp. 2350	Spring height from cill or finished floor level. (mm)
	Tie to ceiling/beam/soffit. (mm)
Trees identified and measured approximately only	
Tree species	
	d. 0.5m - Trunk diameter in metres
	h. 8m - Height in metres
	s. 10m - Spread in metres

Please Note:	
1)	This survey has been produced in accordance with the RICS specifications for Surveys of Land, Buildings and Utility Services.
2)	The accuracy of this survey is dependent upon the scale of the commissioned survey. Users must be careful when re-scaling from any plots, using the grid to verify the scale.
3)	This survey is on an arbitrary grid, both in origin and orientation. Furthermore, the North arrow is indicative only.



Levels
All levels are related to a Local Site Datum.
Levels are in metres, positions are indicated by a cross or as noted.
Local Datum Level Value 50.000m
Location: Traverse Station 1 nail near entrance to Building 4 car park

Project Title:	Status Park, Nobel Drive, Hayes, Middlesex UB3 5EY		
Project No.:	3167		
Drawing No.:	Site Plan		
Drawing No.:	3167-01	Revision:	
Client:	Planning & Consulting Ltd.		
	214 Stamford Hill London N16 6RA		
Drawn:	J.G.	Checked:	R.E.M.
Scale:	1:200	Sheet Size:	A0
Date:	March 2017		

Asset location search



Property Searches

Peter Brett Associates LLP
Waterloo House
Victoria Square
BIRMINGHAM
B2 5TB

Search address supplied Hotel Ibis
112-114
Bath Road
Harlington
Hayes
UB3 5AL

Your reference 44303

Our reference ALS/ALS Standard/2018_3835252

Search date 13 July 2018

Keeping you up-to-date

Knowledge of features below the surface is essential in every development. The benefits of this not only include ensuring due diligence and avoiding risk, but also being able to ascertain the feasibility for any commercial or residential project.

An asset location search provides information on the location of known Thames Water clean and/or wastewater assets, including details of pipe sizes, direction of flow and depth. Please note that information on cover and invert levels will only be provided where the data is available.



Thames Water Utilities Ltd
Property Searches, PO Box 3189, Slough SL1 4WW
DX 151280 Slough 13



searches@thameswater.co.uk
www.thameswater-propertysearches.co.uk



0845 070 9148



Search address supplied: Hotel Ibis, 112-114, Bath Road, Harlington, Hayes, UB3 5AL

Dear Sir / Madam

An Asset Location Search is recommended when undertaking a site development. It is essential to obtain information on the size and location of clean water and sewerage assets to safeguard against expensive damage and allow cost-effective service design.

The following records were searched in compiling this report: - the map of public sewers & the map of waterworks. Thames Water Utilities Ltd (TWUL) holds all of these.

This search provides maps showing the position, size of Thames Water assets close to the proposed development and also manhole cover and invert levels, where available.

Please note that none of the charges made for this report relate to the provision of Ordnance Survey mapping information. The replies contained in this letter are given following inspection of the public service records available to this company. No responsibility can be accepted for any error or omission in the replies.

You should be aware that the information contained on these plans is current only on the day that the plans are issued. The plans should only be used for the duration of the work that is being carried out at the present time. Under no circumstances should this data be copied or transmitted to parties other than those for whom the current work is being carried out.

Thames Water do update these service plans on a regular basis and failure to observe the above conditions could lead to damage arising to new or diverted services at a later date.

Contact Us

If you have any further queries regarding this enquiry please feel free to contact a member of the team on 0845 070 9148, or use the address below:

Thames Water Utilities Ltd
Property Searches
PO Box 3189
Slough
SL1 4WW

Email: searches@thameswater.co.uk

Web: www.thameswater-propertysearches.co.uk

Waste Water Services

Please provide a copy extract from the public sewer map.

Enclosed is a map showing the approximate lines of our sewers. Our plans do not show sewer connections from individual properties or any sewers not owned by Thames Water unless specifically annotated otherwise. Records such as "private" pipework are in some cases available from the Building Control Department of the relevant Local Authority.

Where the Local Authority does not hold such plans it might be advisable to consult the property deeds for the site or contact neighbouring landowners.

This report relates only to sewerage apparatus of Thames Water Utilities Ltd, it does not disclose details of cables and or communications equipment that may be running through or around such apparatus.

The sewer level information contained in this response represents all of the level data available in our existing records. Should you require any further Information, please refer to the relevant section within the 'Further Contacts' page found later in this document.

For your guidance:

- The Company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

Clean Water Services

Please provide a copy extract from the public water main map.

With regard to the fresh water supply, this site falls within the boundary of another water company. For more information, please redirect your enquiry to the following address:

Affinity Water Ltd
Tamblin Way
Hatfield
AL10 9EZ
Tel: 0845 7823333



For your guidance:

- Assets other than vested water mains may be shown on the plan, for information only.
- If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.

Payment for this Search

A charge will be added to your suppliers account.

Further contacts:

Waste Water queries

Should you require verification of the invert levels of public sewers, by site measurement, you will need to approach the relevant Thames Water Area Network Office for permission to lift the appropriate covers. This permission will usually involve you completing a TWOSA form. For further information please contact our Customer Centre on Tel: 0845 920 0800. Alternatively, a survey can be arranged, for a fee, through our Customer Centre on the above number.

If you have any questions regarding sewer connections, budget estimates, diversions, building over issues or any other questions regarding operational issues please direct them to our service desk. Which can be contacted by writing to:

Developer Services (Waste Water)
Thames Water
Clearwater Court
Vastern Road
Reading
RG1 8DB

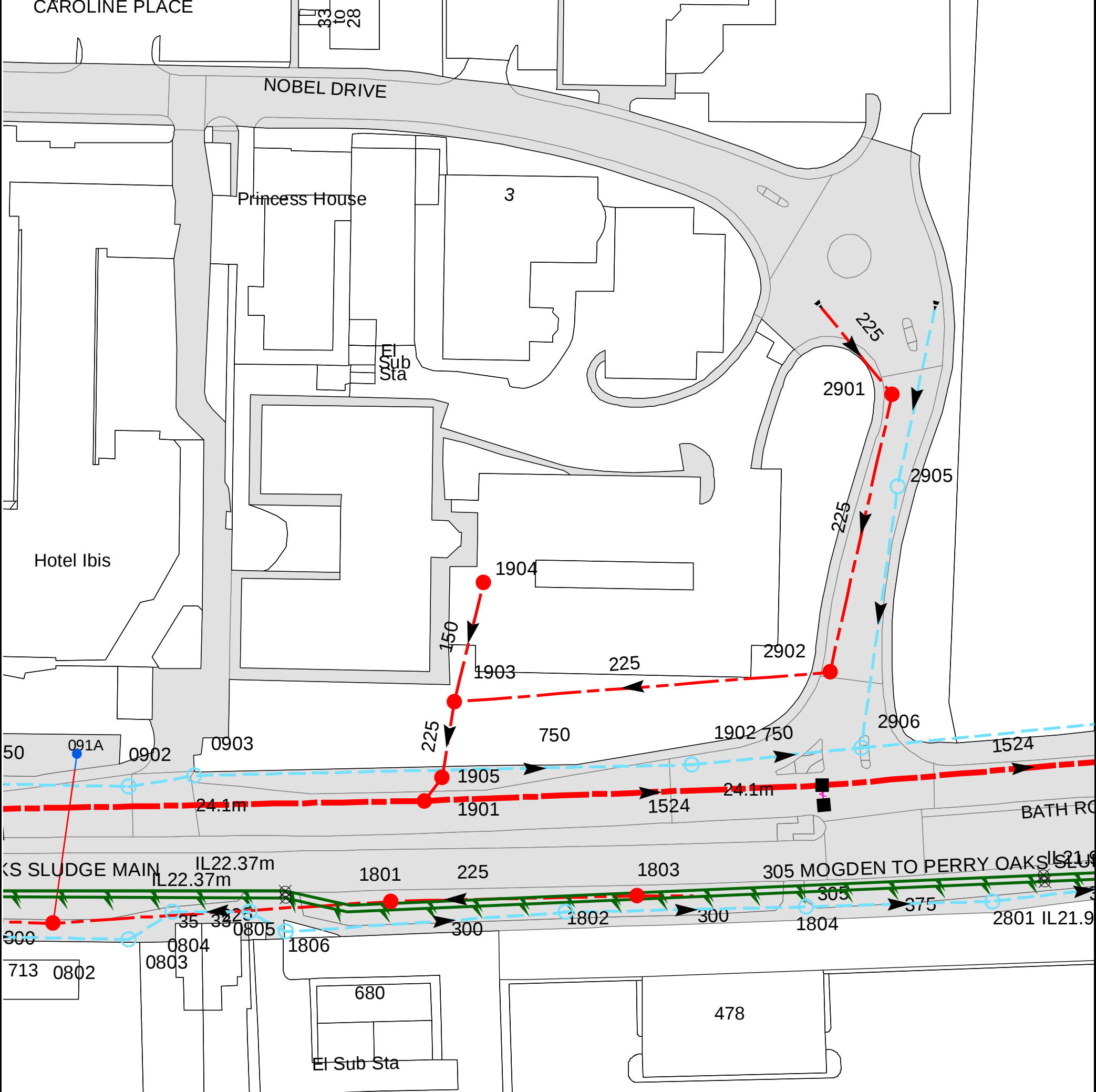
Tel: 0800 009 3921
Email: developer.services@thameswater.co.uk

Clean Water queries

Should you require any advice concerning clean water operational issues or clean water connections, please contact:

Developer Services (Clean Water)
Thames Water
Clearwater Court
Vastern Road
Reading
RG1 8DB

Tel: 0800 009 3921
Email: developer.services@thameswater.co.uk



The width of the displayed area is 200 m and the centre of the map is located at OS coordinates 509152,176956
The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

Based on the Ordnance Survey Map with the Sanction of the controller of H.M. Stationery Office, License no. 100019345 Crown Copyright Reserved.

NB. Levels quoted in metres Ordnance Newlyn Datum. The value -9999.00 indicates that no survey information is available

Manhole Reference	Manhole Cover Level	Manhole Invert Level
0802	24.04	20.49
091A	n/a	n/a
0803	23.9	22.87
0902	24.13	22.73
0804	23.97	22.86
0903	24.38	22.67
0805	24.01	22.81
1806	n/a	n/a
1801	24.18	20.68
1901	24.3	14.9
1905	n/a	n/a
1903	n/a	n/a
1904	n/a	n/a
1802	23.71	22.56
1803	24.03	20.93
1902	24.14	22.57
1804	23.79	22.34
2902	n/a	n/a
2906	n/a	n/a
2901	n/a	n/a
2905	n/a	n/a
2801	24.01	22.36
The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.		

ALS/ALS Standard/2018_3835252



A scale bar labeled 'Meters' with markings at 0, 10, 20, 40, 60, and 80.

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified before any works are undertaken. Crown copyright Reserved

Scale: 1:1789
Width: 500m
Printed By: dshivaji
Print Date: 13/07/2018
Map Centre: 509152,176955
Grid Reference: TQ0976NW

Comments:

ALS/ALS Standard/2018_3835252

NB: Level quoted in metres Ordnance Newlyn Datum. The value -9999.00 indicates no Survey information is available.

REFERENCE	COVER LEVEL	INVERT LEVEL
0901	24.32	22.77
0802	24.04	20.49
0803	23.9	22.87
0804	23.97	22.86
0805	24.01	22.81
1101	24.7	22.51
1901	24.3	14.9
1903		
1802	23.71	22.56
1902	24.14	22.57
2902		
2901		
2801	24.01	22.36
2803	24.09	22.34
0101	24.76	22.6
9001	24.73	22.45
3903	24.08	22.18
3904	24.08	22.13
3902	24.08	22.28
9803	23.97	23.02
9902	24.51	22.8
9906		
9907		

REFERENCE	COVER LEVEL	INVERT LEVEL
0801	24.05	22.96
091A		
0902	24.13	22.73
0903	24.38	22.67
1806		
1801	24.18	20.68
1905		
1904		
1803	24.03	20.93
1804	23.79	22.34
2906		
2905		
2802	24.14	22.14
9151		
9052	24.91	23.14
9051	24.69	23.51
3905		
3901	24.09	14.61
9804	24.07	22.92
9802	24.19	23.19
9905		
9908		



ALS Sewer Map Key

Public Sewer Types (Operated & Maintained by Thames Water)

	Foul: A sewer designed to convey waste water from domestic and industrial sources to a treatment works.
	Surface Water: A sewer designed to convey surface water (e.g. rain water from roofs, yards and car parks) to rivers or watercourses.
	Combined: A sewer designed to convey both waste water and surface water from domestic and industrial sources to a treatment works.
	Trunk Surface Water
	Trunk Foul
	Storm Relief
	Trunk Combined
	Vent Pipe
	Bio-solids (Sludge)
	Proposed Thames Surface Water Sewer
	Proposed Thames Water Foul Sewer
	Gallery
	Foul Rising Main
	Surface Water Rising Main
	Combined Rising Main
	Sludge Rising Main
	Proposed Thames Water Rising Main
	Vacuum

Notes:

- 1) All levels associated with the plans are to Ordnance Datum Newlyn.
- 2) All measurements on the plans are metric.
- 3) Arrows (on gravity fed sewers) or flecks (on rising mains) indicate direction of flow.
- 4) Most private pipes are not shown on our plans, as in the past, this information has not been recorded.
- 5) 'na' or '0' on a manhole level indicates that data is unavailable.

Sewer Fittings

A feature in a sewer that does not affect the flow in the pipe. Example: a vent is a fitting as the function of a vent is to release excess gas.

	Air Valve
	Dam Chase
	Fitting
	Meter
	Vent Column

Operational Controls

A feature in a sewer that changes or diverts the flow in the sewer. Example: A hydrobrake limits the flow passing downstream.

	Control Valve
	Drop Pipe
	Ancillary
	Weir

End Items

End symbols appear at the start or end of a sewer pipe. Examples: an Undefined End at the start of a sewer indicates that Thames Water has no knowledge of the position of the sewer upstream of that symbol, Outfall on a surface water sewer indicates that the pipe discharges into a stream or river.

	Outfall
	Undefined End
	Inlet

Other Symbols

Symbols used on maps which do not fall under other general categories

	Public/Private Pumping Station
	Change of characteristic indicator (C.O.C.I.)
	Invert Level
	Summit

Areas

Lines denoting areas of underground surveys, etc.

	Agreement
	Operational Site
	Chamber
	Tunnel
	Conduit Bridge

Other Sewer Types (Not Operated or Maintained by Thames Water)

	Foul Sewer
	Surface Water Sewer
	Combined Sewer
	Gully
	Culverted Watercourse
	Proposed
	Abandoned Sewer

- 6) The text appearing alongside a sewer line indicates the internal diameter of the pipe in millimetres. Text next to a manhole indicates the manhole reference number and should not be taken as a measurement. If you are unsure about any text or symbology present on the plan, please contact a member of Property Insight on 0845 070 9148.

Terms and Conditions

All sales are made in accordance with Thames Water Utilities Limited (TWUL) standard terms and conditions unless previously agreed in writing.

1. All goods remain in the property of Thames Water Utilities Ltd until full payment is received.
2. Provision of service will be in accordance with all legal requirements and published TWUL policies.
3. All invoices are strictly due for payment 14 days from due date of the invoice. Any other terms must be accepted/agreed in writing prior to provision of goods or service, or will be held to be invalid.
4. Thames Water does not accept post-dated cheques-any cheques received will be processed for payment on date of receipt.
5. In case of dispute TWUL's terms and conditions shall apply.
6. Penalty interest may be invoked by TWUL in the event of unjustifiable payment delay. Interest charges will be in line with UK Statute Law 'The Late Payment of Commercial Debts (Interest) Act 1998'.
7. Interest will be charged in line with current Court Interest Charges, if legal action is taken.
8. A charge may be made at the discretion of the company for increased administration costs.

A copy of Thames Water's standard terms and conditions are available from the Commercial Billing Team (cashoperations@thameswater.co.uk).

We publish several Codes of Practice including a guaranteed standards scheme. You can obtain copies of these leaflets by calling us on 0800 316 9800

If you are unhappy with our service you can speak to your original goods or customer service provider. If you are not satisfied with the response, your complaint will be reviewed by the Customer Services Director. You can write to her at: Thames Water Utilities Ltd. PO Box 492, Swindon, SN38 8TU.

If the Goods or Services covered by this invoice falls under the regulation of the 1991 Water Industry Act, and you remain dissatisfied you can refer your complaint to Consumer Council for Water on 0121 345 1000 or write to them at Consumer Council for Water, 1st Floor, Victoria Square House, Victoria Square, Birmingham, B2 4AJ.

Ways to pay your bill

Credit Card	BACS Payment	Telephone Banking	Cheque
Call 0845 070 9148 quoting your invoice number starting CBA or ADS / OSS	Account number 90478703 Sort code 60-00-01 A remittance advice must be sent to: Thames Water Utilities Ltd., PO Box 3189, Slough SL1 4WW. or email ps.billing@thameswater.co.uk	By calling your bank and quoting: Account number 90478703 Sort code 60-00-01 and your invoice number	Made payable to ' Thames Water Utilities Ltd ' Write your Thames Water account number on the back. Send to: Thames Water Utilities Ltd., PO Box 3189, Slough SL1 4WW or by DX to 151280 Slough 13

Thames Water Utilities Ltd Registered in England & Wales No. 2366661 Registered Office Clearwater Court, Vastern Rd, Reading, Berks, RG1 8DB.



Search Code

IMPORTANT CONSUMER PROTECTION INFORMATION

This search has been produced by Thames Water Property Searches, Clearwater Court, Vastern Road, Reading RG1 8DB, which is registered with the Property Codes Compliance Board (PCCB) as a subscriber to the Search Code. The PCCB independently monitors how registered search firms maintain compliance with the Code.

The Search Code:

- provides protection for homebuyers, sellers, estate agents, conveyancers and mortgage lenders who rely on the information included in property search reports undertaken by subscribers on residential and commercial property within the United Kingdom
- sets out minimum standards which firms compiling and selling search reports have to meet
- promotes the best practise and quality standards within the industry for the benefit of consumers and property professionals
- enables consumers and property professionals to have confidence in firms which subscribe to the code, their products and services.

By giving you this information, the search firm is confirming that they keep to the principles of the Code. This provides important protection for you.

The Code's core principles

Firms which subscribe to the Search Code will:

- display the Search Code logo prominently on their search reports
- act with integrity and carry out work with due skill, care and diligence
- at all times maintain adequate and appropriate insurance to protect consumers
- conduct business in an honest, fair and professional manner
- handle complaints speedily and fairly
- ensure that products and services comply with industry registration rules and standards and relevant laws
- monitor their compliance with the Code

Complaints

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure. If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award compensation of up to £5,000 to you if he finds that you have suffered actual loss as a result of your search provider failing to keep to the Code.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs or to the PCCB.

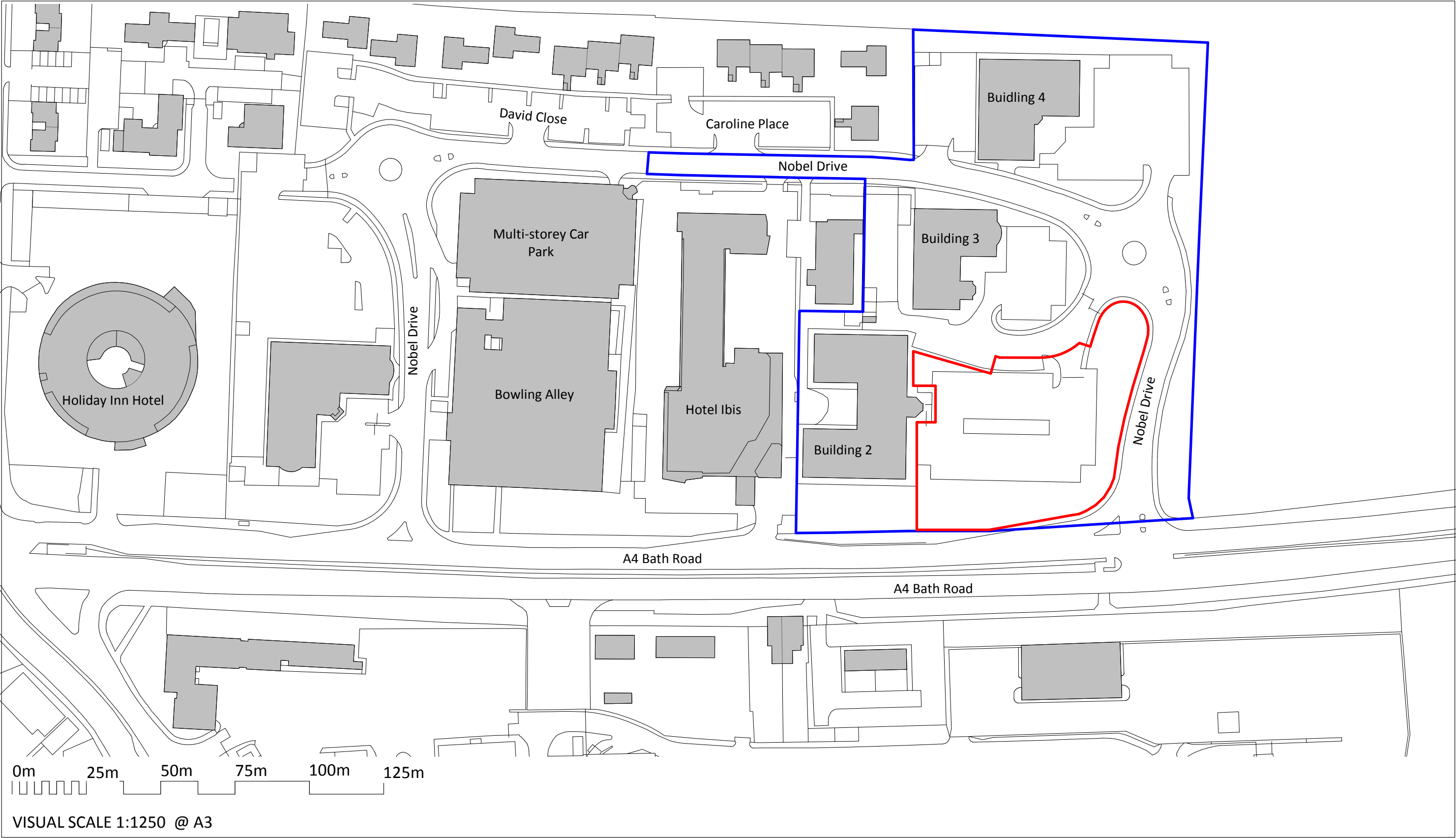
TPOs Contact Details

The Property Ombudsman scheme
Milford House
43-55 Milford Street
Salisbury
Wiltshire SP1 2BP
Tel: 01722 333306
Fax: 01722 332296
Email: admin@tpos.co.uk

You can get more information about the PCCB from www.propertycodes.org.uk

PLEASE ASK YOUR SEARCH PROVIDER IF YOU WOULD LIKE A COPY OF THE SEARCH CODE

Appendix B Masterplan



NOTES

CONSULTANTS

- Refer to highways consultant's drawings for details
- Refer to landscape consultant's drawings for details
- Landscaping layout is indicative only

AREAS

- Refer to area schedule

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Rev	Notes	Date	By	Auth
P6	Planning Issue	06/12/2018	MM	DM

ColladoCollinsArchitects

17-19 Foley Street
London W1W 6DW
T 020 7580 3490
F 020 7580 2917
info@colladocollins.com
www.colladocollins.com

Date: 29/11/18
Drawn By: MM
Checked by: DM
Scale @ A3: 1 : 1250
CAD File No:

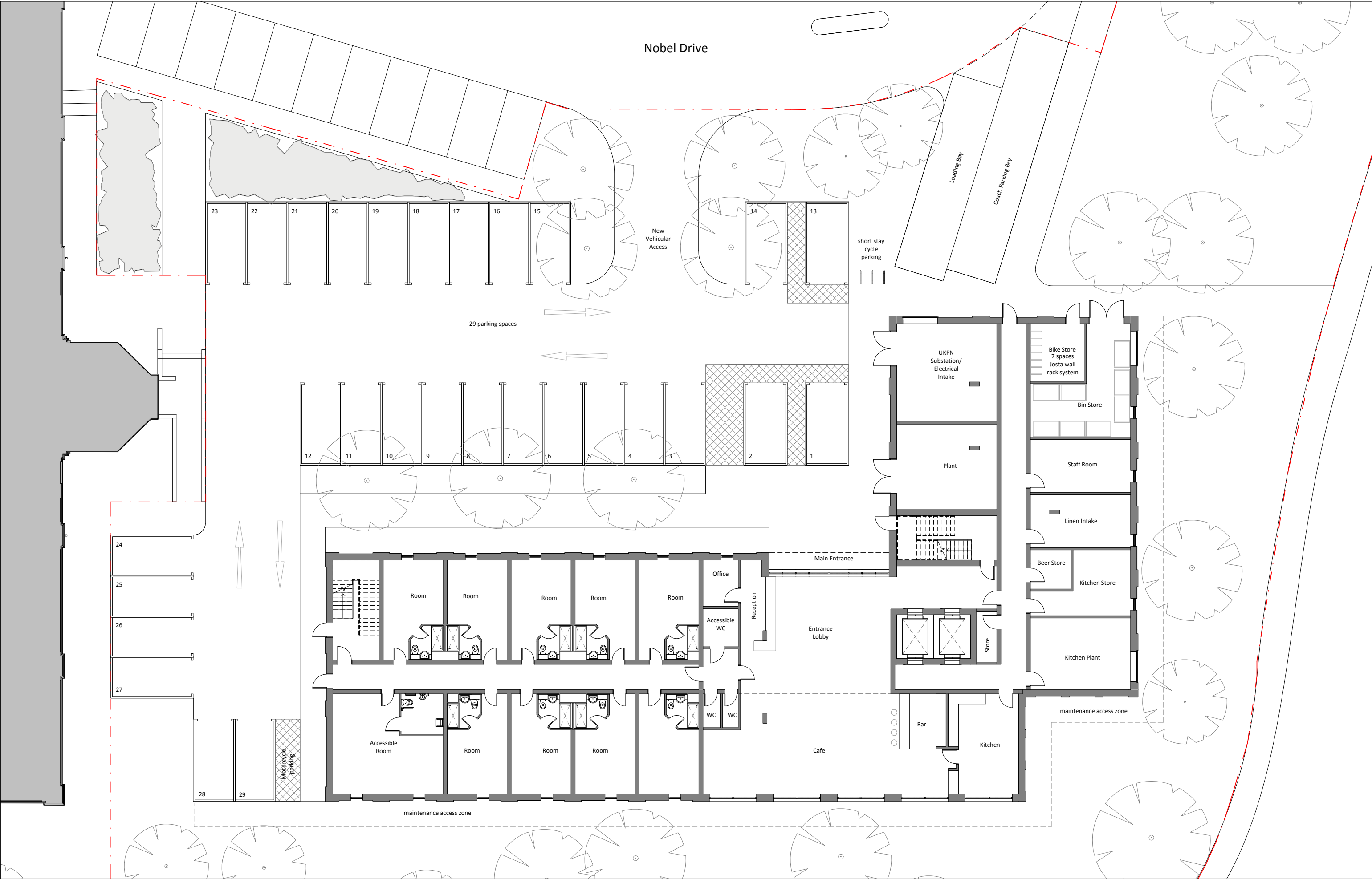
BMR Property Group
Status Park, Heathrow
Site Location Plan

PLANNING
18032

E0-001

P6

Revision



NOTES

CONSULTANTS

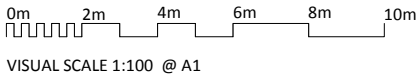
- Refer to highways consultant's drawings for details
- Refer to landscape consultant's drawings for details
- Landscaping layout is indicative only

AREAS

- Refer to area schedule

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Rev	Notes	Date	By	Auth
P2	Post-preapp Amendments	26/10/2018	MM	DM
P3	Design Development	01/11/2018	MM	DM
P4	Design Team Issue	05/11/2018	MM	DM
P5	Design Team Issue	22/11/2018	MM	DM
P6	Planning Issue	06/12/2018	MM	DM



ColladoCollins Architects

17-19 Foley Street
London W1W 6DW
T 020 7580 3490
F 020 7580 2917
info@colladocollins.com
www.colladocollins.com

Date: 26/10/18
Drawn By: MM
Checked by: DM
Scale @ A1: 1 : 100
Scale @ A3: 1 : 200
CAD File No:

BMR Property Group
Status Park, Heathrow
Ground Floor Plan

PLANNING
18032

P1-100

P6
Revision



Appendix C Correspondence

Harry Millar

From: vboorman@hillingdon.gov.uk on behalf of Flooding. .
<flooding@hillingdon.gov.uk>
Sent: 26 November 2018 14:15
To: Hayley Rudge
Subject: Re: Land Adjacent to Building 2, Nobel Drive, London Borough of Hillingdon, UB3
5EY - Request for Drainage Information
Attachments: image004.png; image005.png; image006.png; image007.png

Hi Hayley

Please refer to the information held online by the Council within the flooding pages.

regards

Vicky

Flood and Water Management
Contact Centre Tel: 01895 556000
flooding@hillingdon.gov.uk

On Mon, 26 Nov 2018 at 10:41, Hayley Rudge <hrudge@peterbrett.com> wrote:

Dear Sir/Madam,

Can you please provide a response to the data request letter submitted on 13th July, and attached again for information.

Kind Regards,

Hayley Rudge
Flood Risk Engineer

Direct: 0161 871 0059
hrudge@peterbrett.com
Manchester

PBA has joined the Stantec family, find out more at peterbrett.com.

From: Hayley Rudge
Sent: 13 July 2018 13:58
To: Flooding. . <flooding@hillingdon.gov.uk>

Subject: Land Adjacent to Building 2, Nobel Drive, London Borough of Hillingdon, UB3 5EY - Request for Drainage Information

Dear Sir/Madam,

Please find attached a data request letter for a proposed hotel at Land Adjacent to Building 2, Nobel Drive, London Borough of Hillingdon, UB3 5EY.

Kind Regards,

Hayley Rudge

Flood Risk Engineer

For and on behalf of Peter Brett Associates LLP - Manchester

t 0161 871 0059
e hrudge@peterbrett.com
w peterbrett.com

The content of this email is the confidential property of Peter Brett Associates and should not be copied, modified, retransmitted, or used for any purpose except with Peter Brett Associates' written authorisation. If you are not the intended recipient, please delete all copies and notify us immediately. This communication may come from a variety of legal entities within or associated with Peter Brett Associates. For a full list of details for these entities please see our websites at www.peterbrett.com and www.stantec.com. Peter Brett Associates LLP is registered in England under registration number OC334398 and has its registered office at Buckingham Court, Kingsmead Business Park, London Road, High Wycombe, BUCKS HP11 1JU Tel: 01494 526240. Its main place of business is Caversham Bridge House, Waterman Place, Reading, RG1 8DN. www.peterbrett.com.

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This message has been scanned for viruses by Websense



Mr H Millar
Peter Brett Associates
33 Bowling Green lane
LONDON
EC1R 0BJ



Our ref: DS6056000



0800 009 3921

Monday to Friday, 8am to 5pm

10th Dec 2018

Pre-planning enquiry: Wastewater Capacity check

Dear Mr Millar

Thank you for providing details of your development with the Pre-Planning application dated 28th Nov 18' for development @ Stauus Park Noble Drive Harlington UB3 5EY

{ Brownfield site developed to a 158 bed Hotel }.

Foul

If your proposals progress in line with the details you've provided as above, we're pleased to confirm that there will be sufficient sewerage capacity to serve your foul discharges from your development, provided the discharge is by gravity.

Surface Water

In considering your surface water needs, we support the use of sustainable drainage on development sites.

The surface water drainage strategy should follow policy 5.13 of the London Plan. Typically greenfield run off rates of 5l/s/ha should be aimed for using the drainage hierarchy. The hierarchy lists the preference for surface water disposal as follows; Store Rainwater for later use > Use infiltration techniques, such as porous surfaces in non-clay areas > Attenuate rainwater in ponds or open water features for gradual release > Discharge rainwater direct to a watercourse > Discharge by storing and attenuating rainwater direct to a surface water sewer/drain > Discharge by storing and attenuating rainwater to the combined sewer.

Please refer to the attached document titled "Planning your wastewater" attached to this letter, specifically to notes relating to surface water. Also I would advise you to liaise with the LA and discuss their criteria regarding surface water discharges in that area and adhere to their stipulation. If you agree & adhere to a LA stipulation then TW will be able to accommodate that agreed discharge.

This confirmation is valid for 12 months or for the life of any planning approval that this information is used to support, to a maximum of three years.

Please note that you must keep us informed of any changes to your design – for example, an increase in the number or density of homes. Such changes could mean there is no longer sufficient sewerage capacity.

What happens next?

Please make sure you submit your connection application, when you are ready, giving us at least 21 days' notice of the date you wish to make your new connection/s.

If you've any further questions, please contact me.

Yours sincerely

Siva Sivarajan

Developer Services- Wastewater Adoptions Engineer

Office: 0203 577 7752 Mobile: 07747842608

siva.sivarajan@thameswater.co.uk

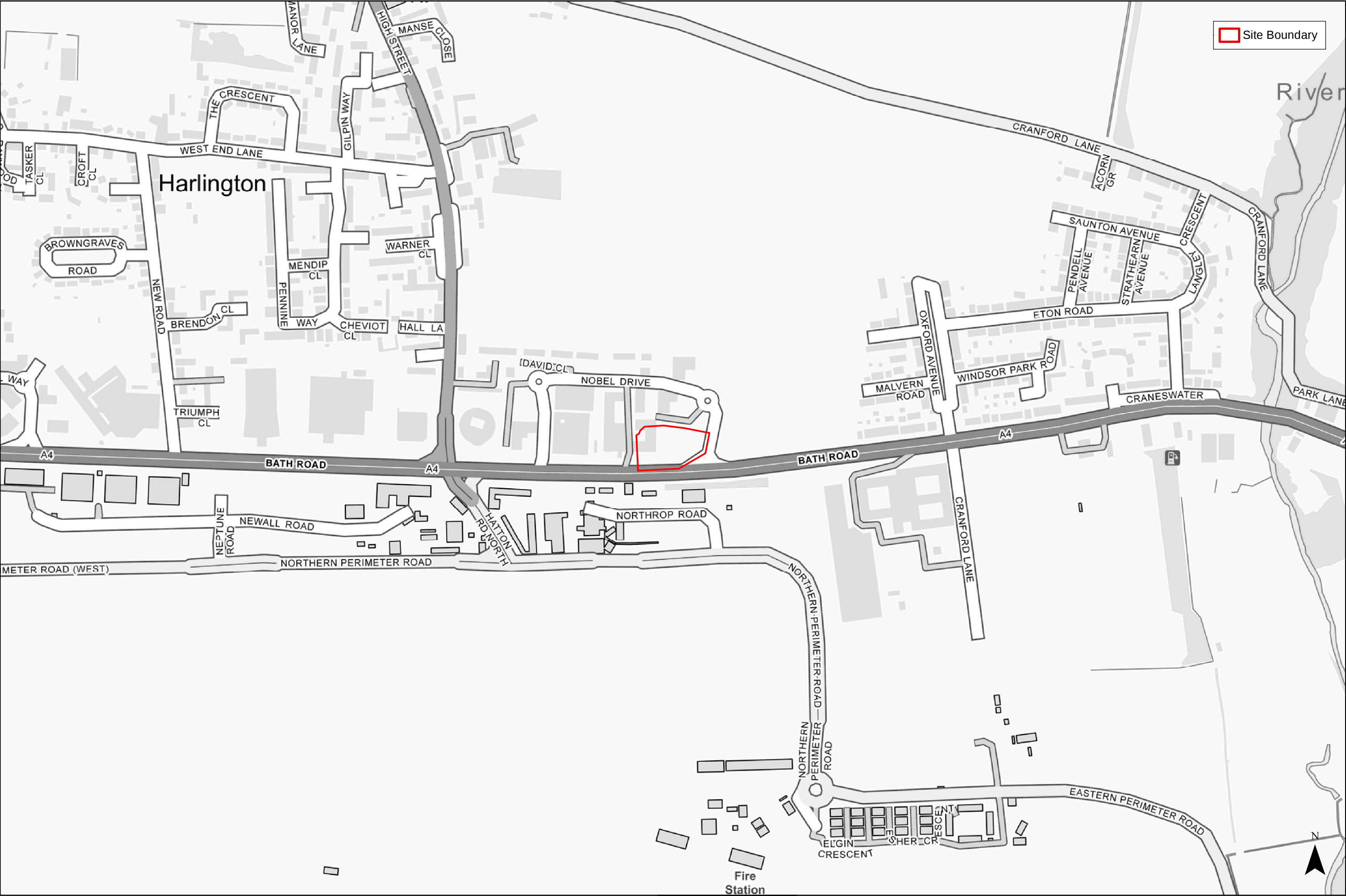
Thames Water Utilities Ltd, Clearwater Court, Vastern Road, Reading, Berkshire, RG1 8DB

Find us online at developers.thameswater.co.uk



TW internal ref: DTS 60176

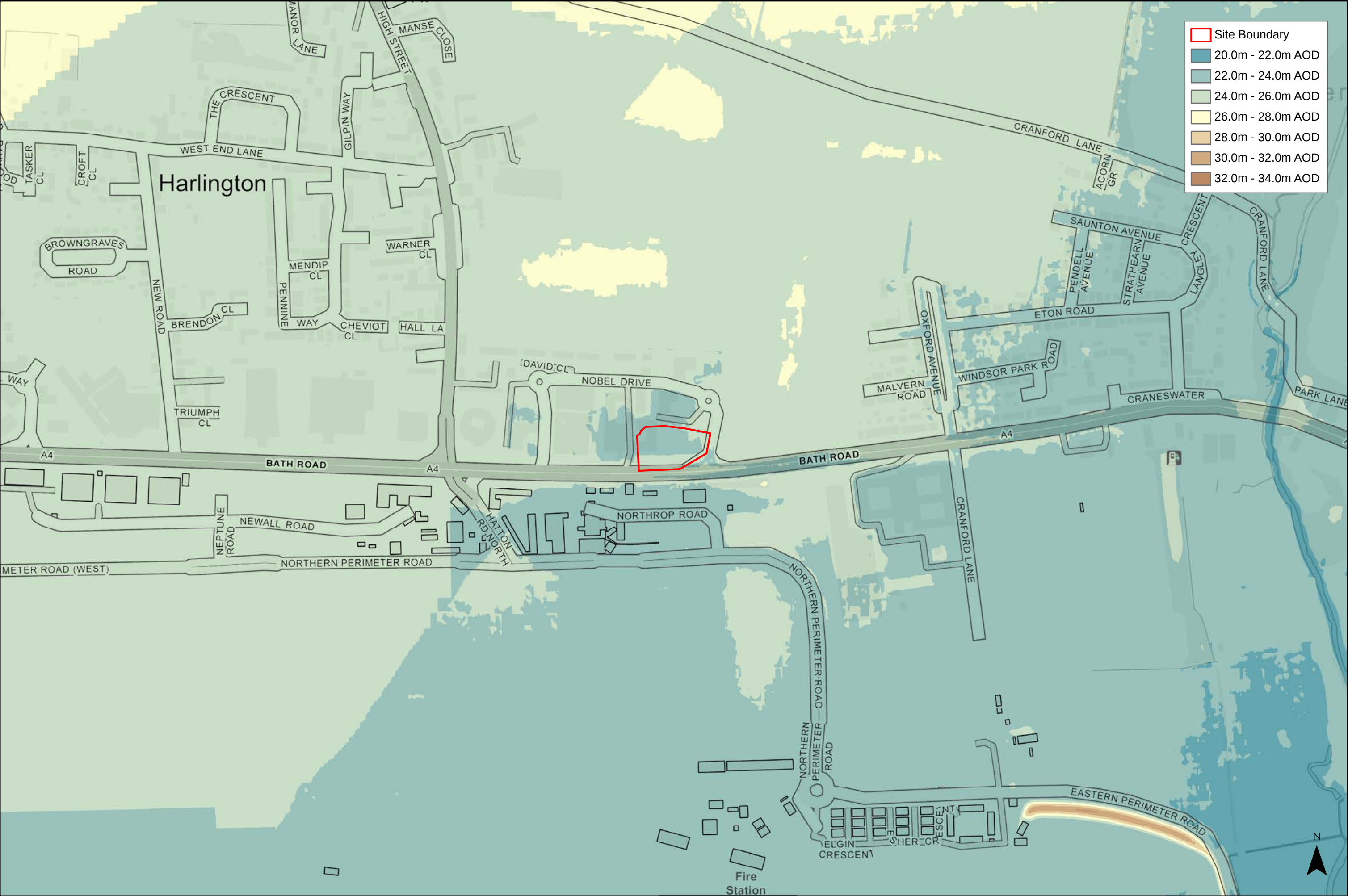
Appendix D GIS Plans

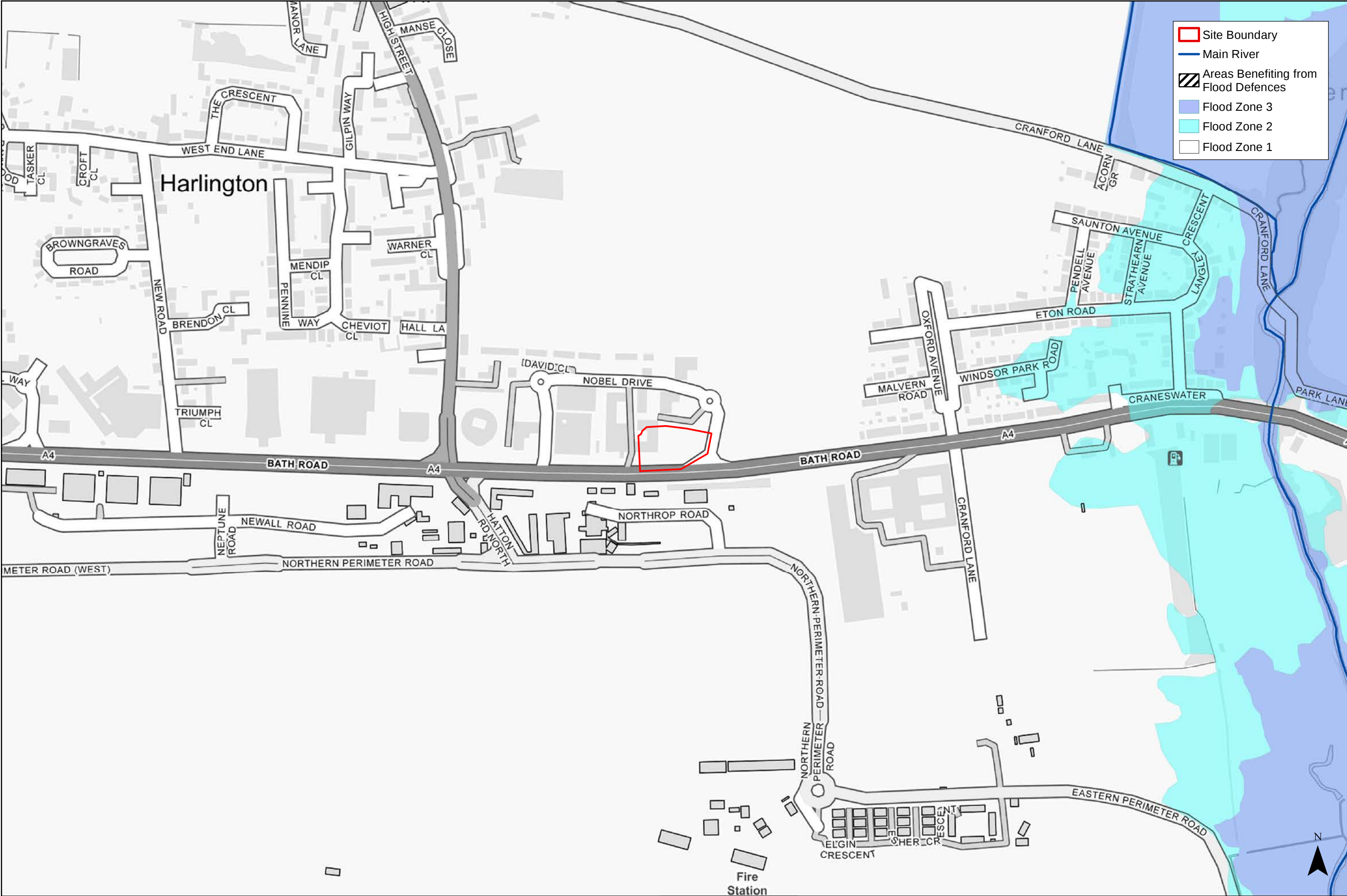


STATUS PARK, HEATHROW	0250500 m Contains Ordnance Survey data (c) Crown copyright and database right 2016.		Client MBH Heathrow Ltd	1:5,000 @ A3	Site Location	
				11/12/18		
				Drawn: TL		
				Checked: HM		
					Figure 001	Rev A

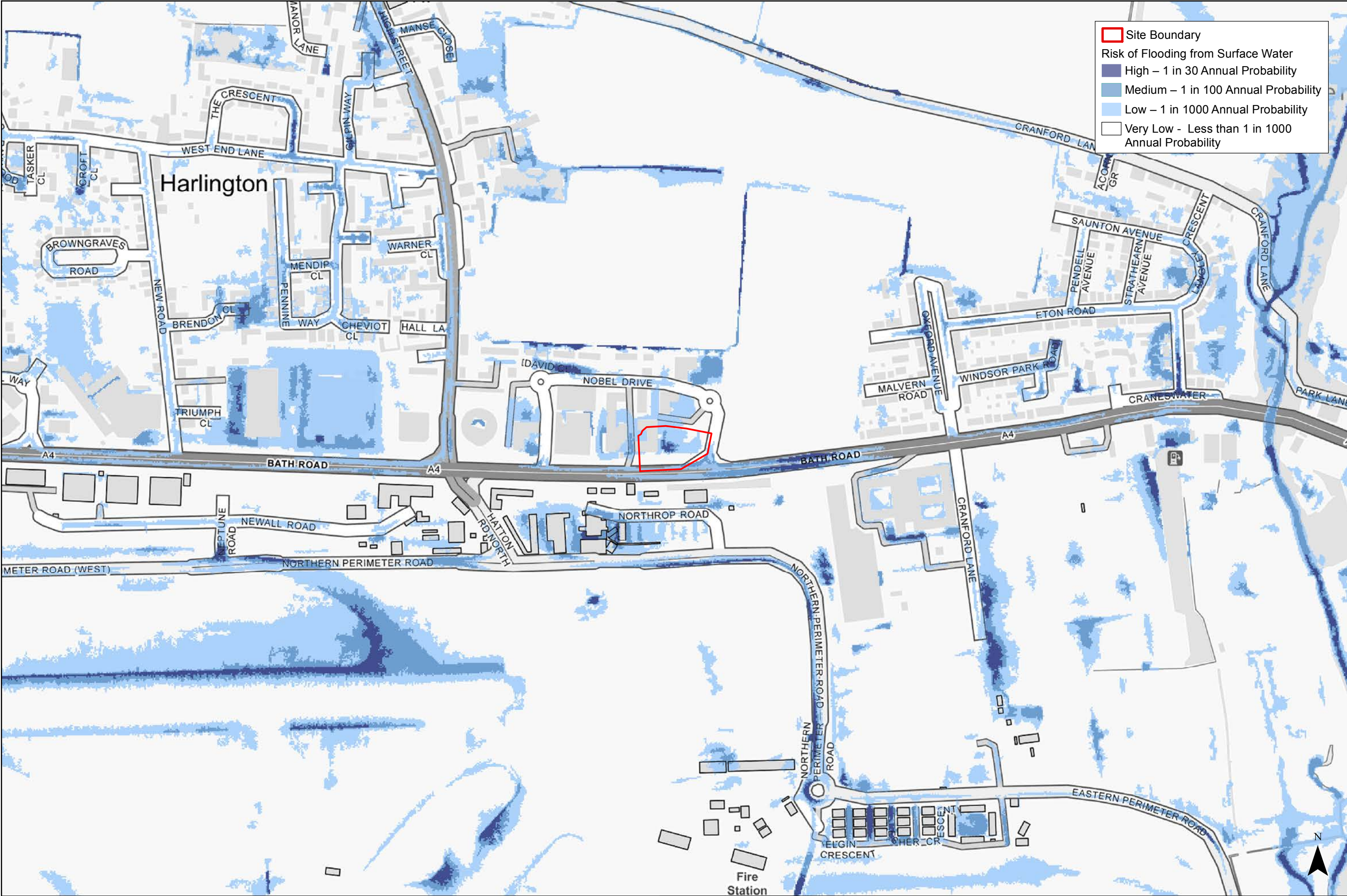


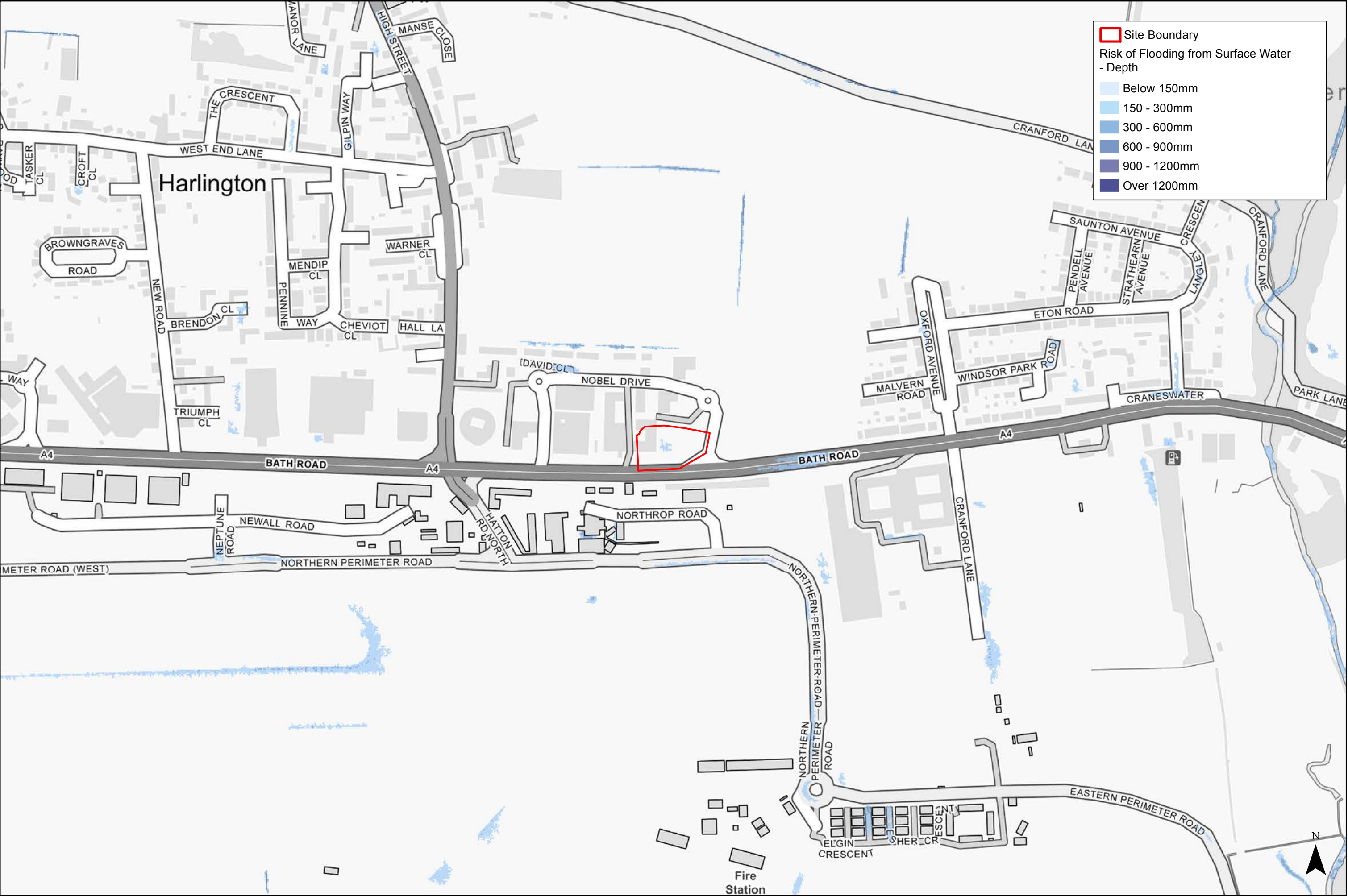
STATUS PARK, HEATHROW	0250500m Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community Contains Ordnance Survey data (c) Crown copyright and database right 2016.		Client MBH Heathrow Ltd	1:5,000 @ A3	Site Location (Aerial Photography)	Figure 002Rev A
				11/12/18		
				Drawn: TL		
				Checked: HM		

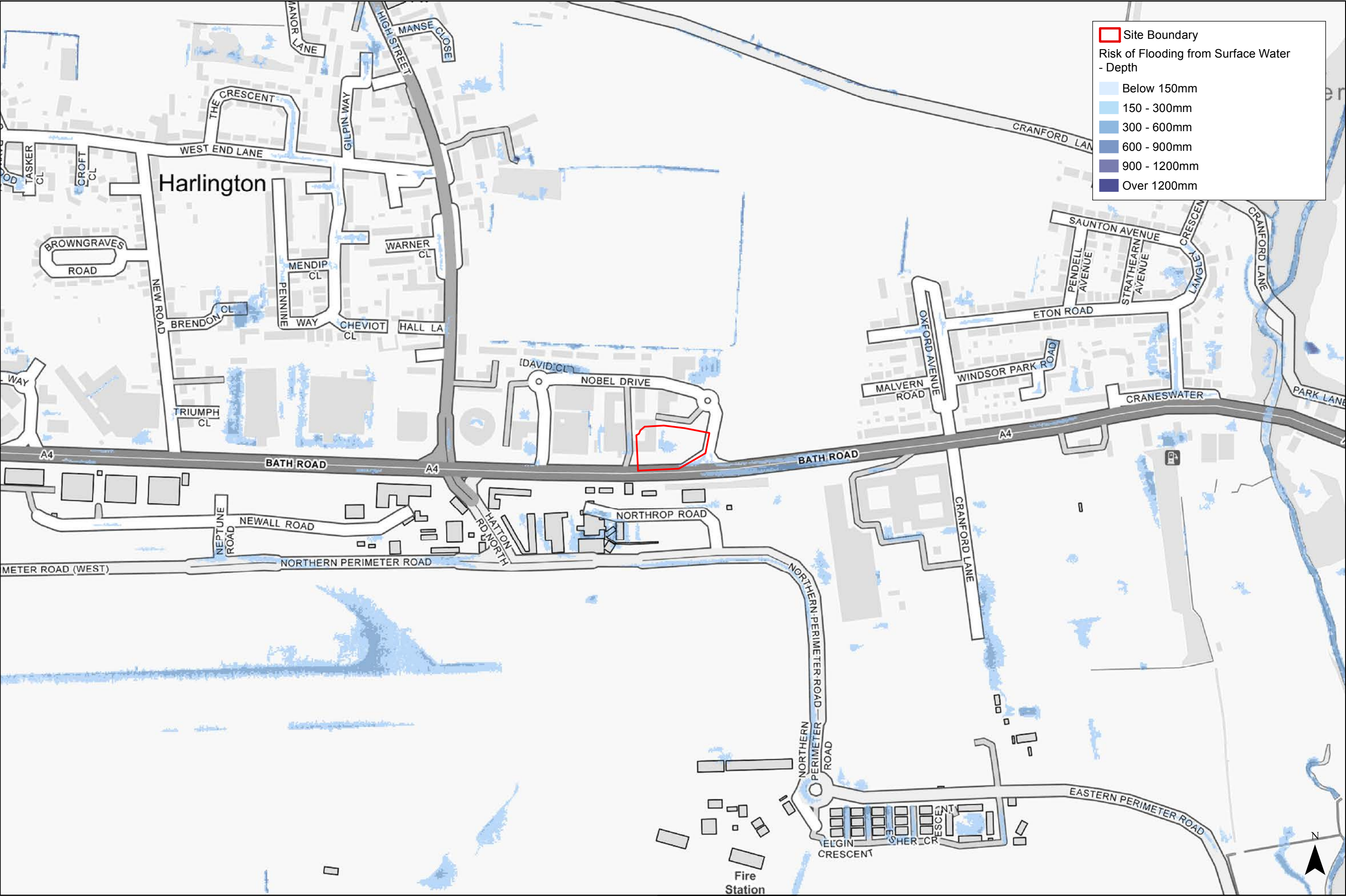


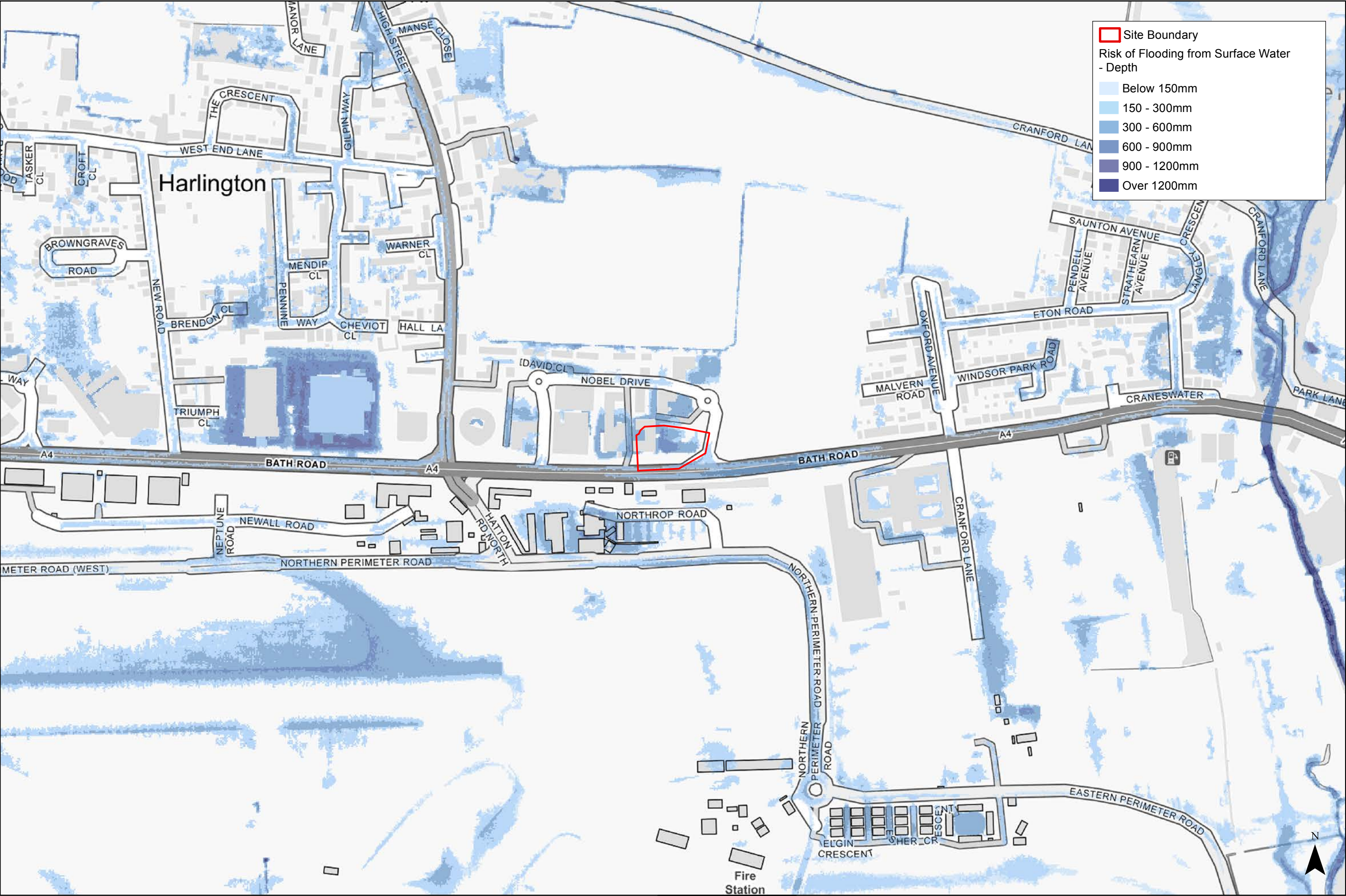


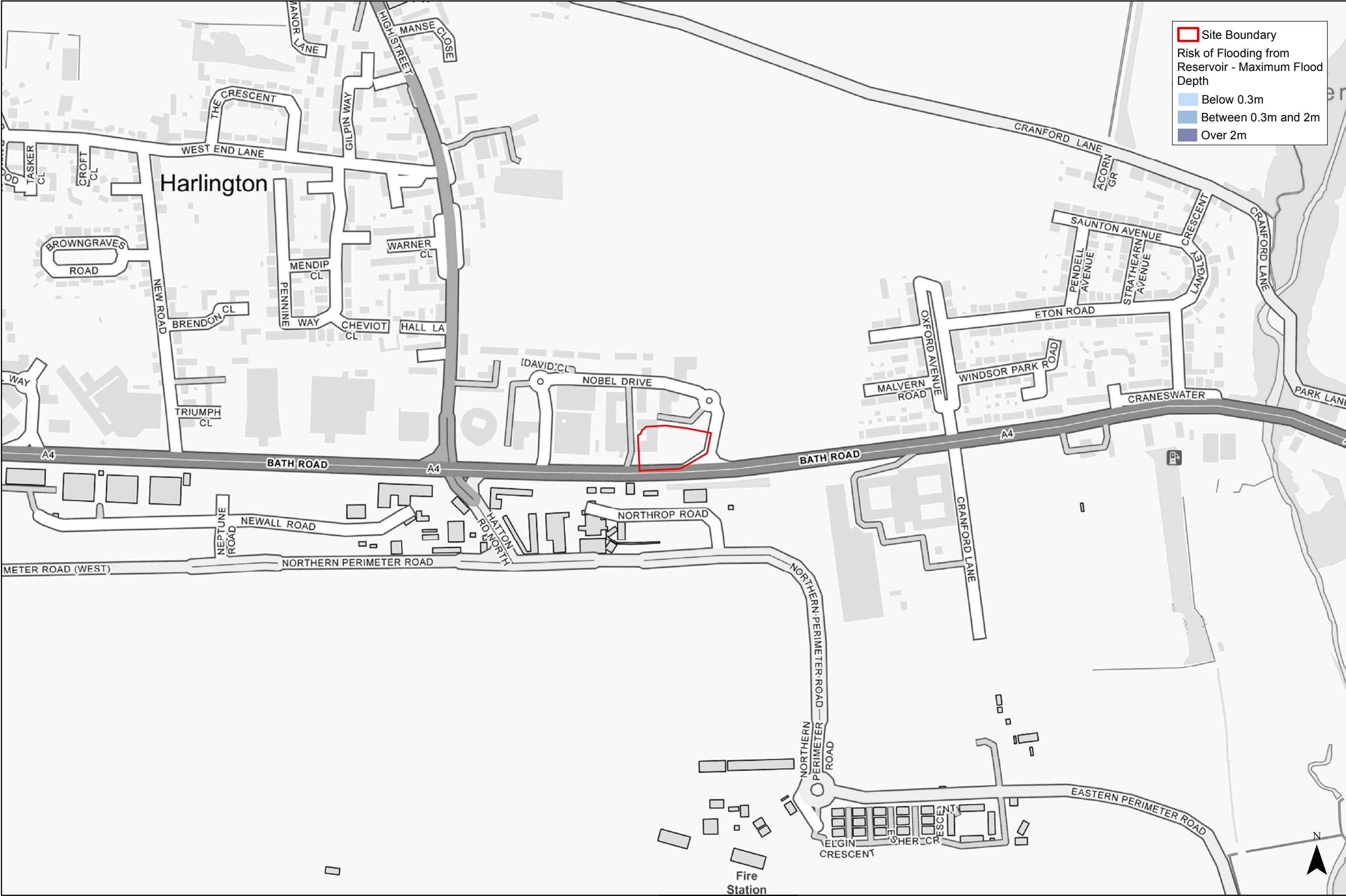
STATUS PARK, HEATHROW	0 250 500 m Contains Environment Agency information © Environment Agency and/or database right Contains Ordnance Survey data (c) Crown copyright and database right 2016. Flood Zones refer to the probability of river and/or sea flooding, ignoring the presence of defences		Client MBH Heathrow Ltd	1:5,000 @ A3 11/12/18 Drawn: TL Checked: HM	EA Flood Zone Figure 004 Rev A
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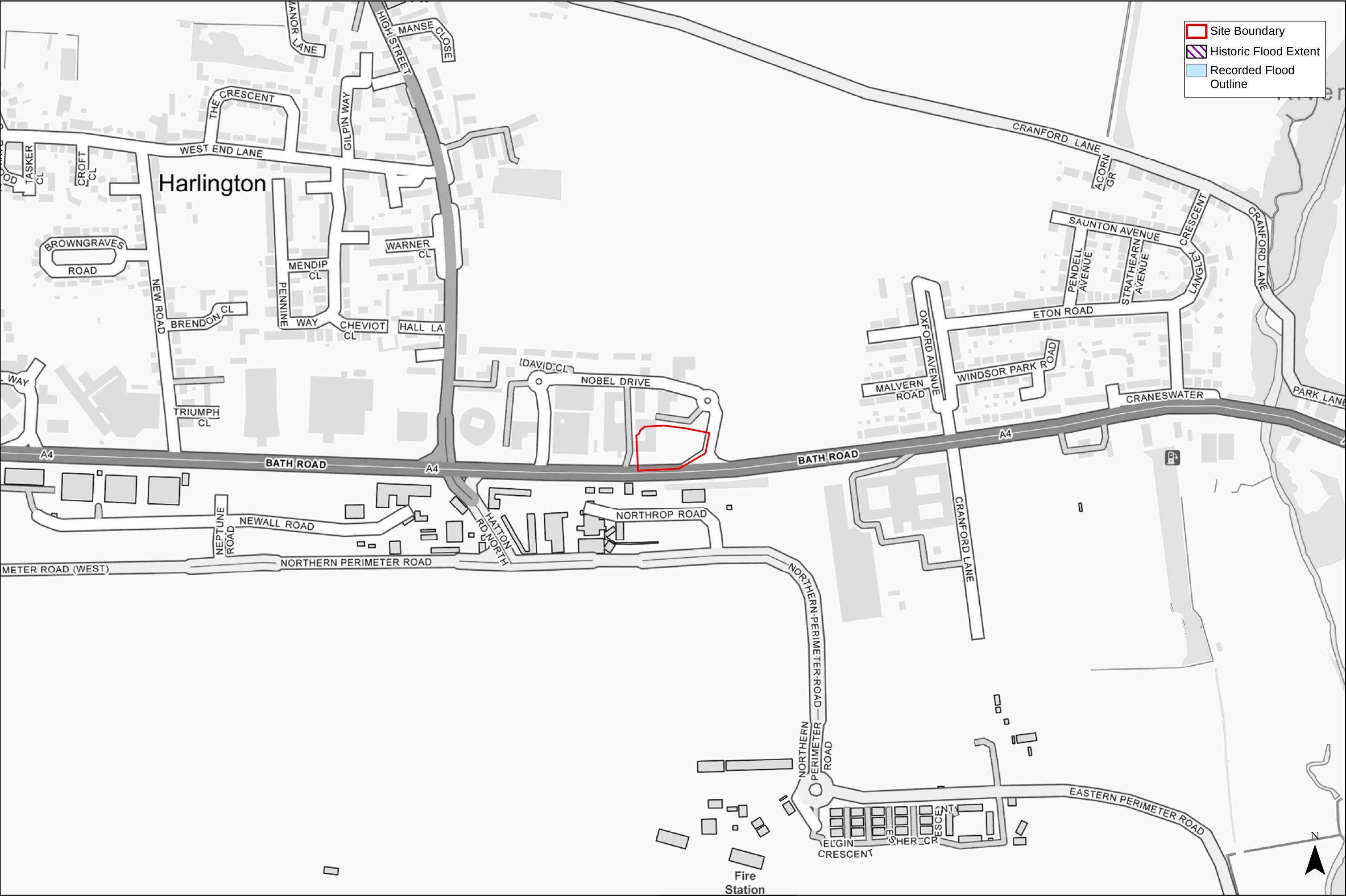




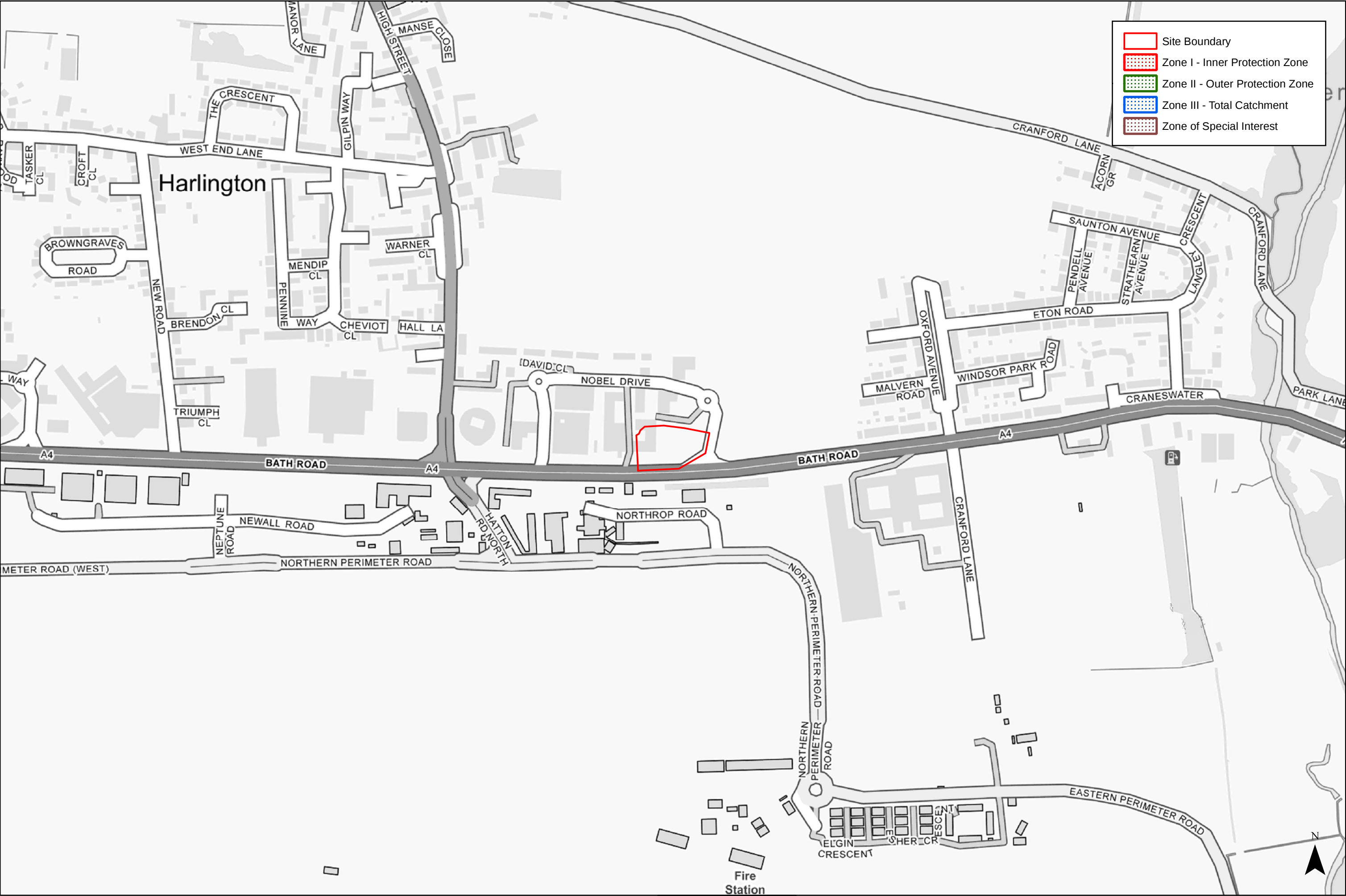




STATUS PARK, HEATHROW	0250500m Contains Environment Agency information © Environment Agency and database right Contains Ordnance Survey data (c) Crown copyright and database right 2016. EA Reservoir Flood Maps (RFMs) showing the potential extent of flooding in the event of a breach from large reservoirs (over 25,000 cubic metres of water) based on a national scale modelling exercise". Key to read 'Area at risk of flooding in reservoir breach	Client MBH Heathrow Ltd	1:5,000 @ A3 11/12/18 Drawn: TL Checked: HM	Reservoir Flood Map Figure 006Rev A
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STATUS PARK, HEATHROW	0250500 m Contains Environment Agency information © Environment Agency and database right Contains Ordnance Survey data (c) Crown copyright and database right 2016. Historic Flood Map shows the maximum extent of all individual Recorded Flood Outlines from river, the sea and groundwater springs and shows areas of land that have previously been subject to flooding in England. Recorded Flood Outlines shows all EA records of historic flooding from rivers, the sea, groundwater and surface water		Client MBH Heathrow Ltd	1:5,000 @ A3	EA Recorded Historic Flood Extents	
	11/12/18					
	Drawn: TL					
	Checked: HM					
						Figure 007



Appendix E PFRA & SWMP