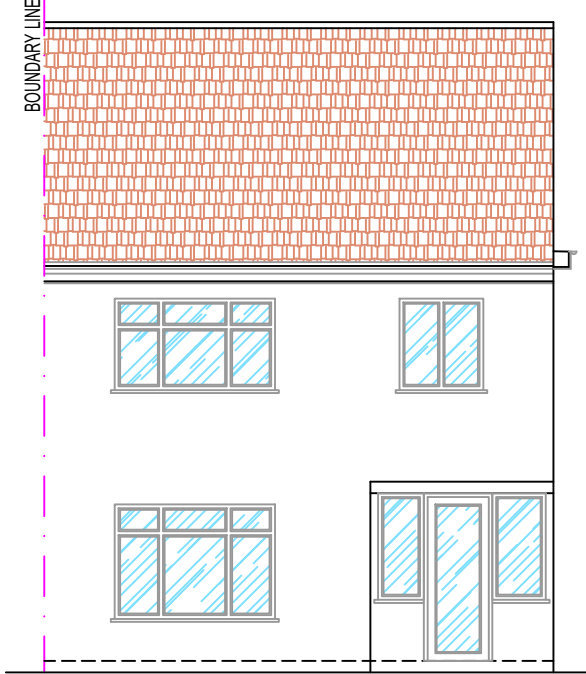
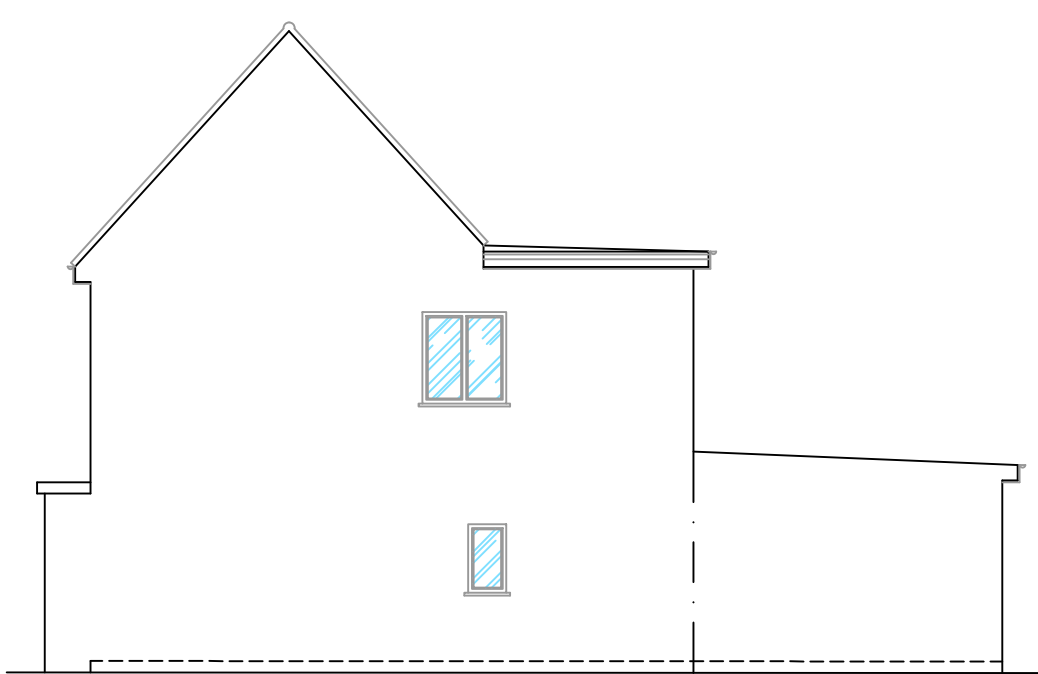


NOTE: QUOTE TO BE AMENDED AS PER FINAL DRAWINGS.

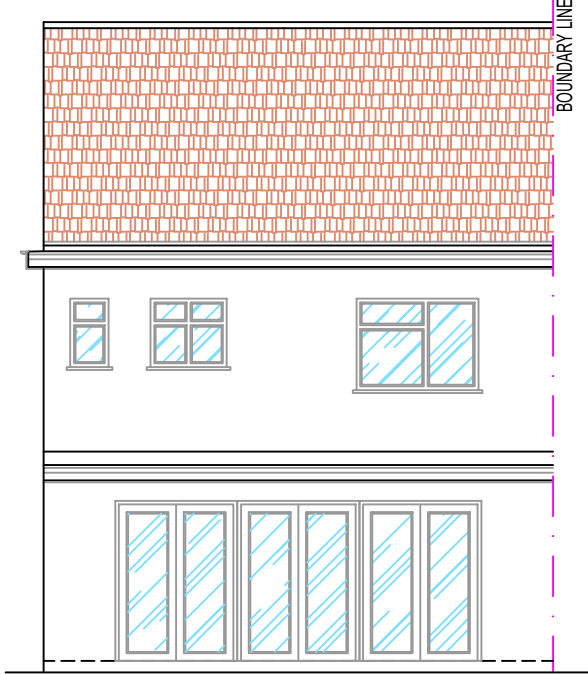
NOTE : ANY QUERIES OR DISCREPANCIES BETWEEN ARCHITECTURAL & STRUCTURAL DRAWINGS TO BE DISCUSSED PRIOR TO COMMENCEMENT OF WORK.



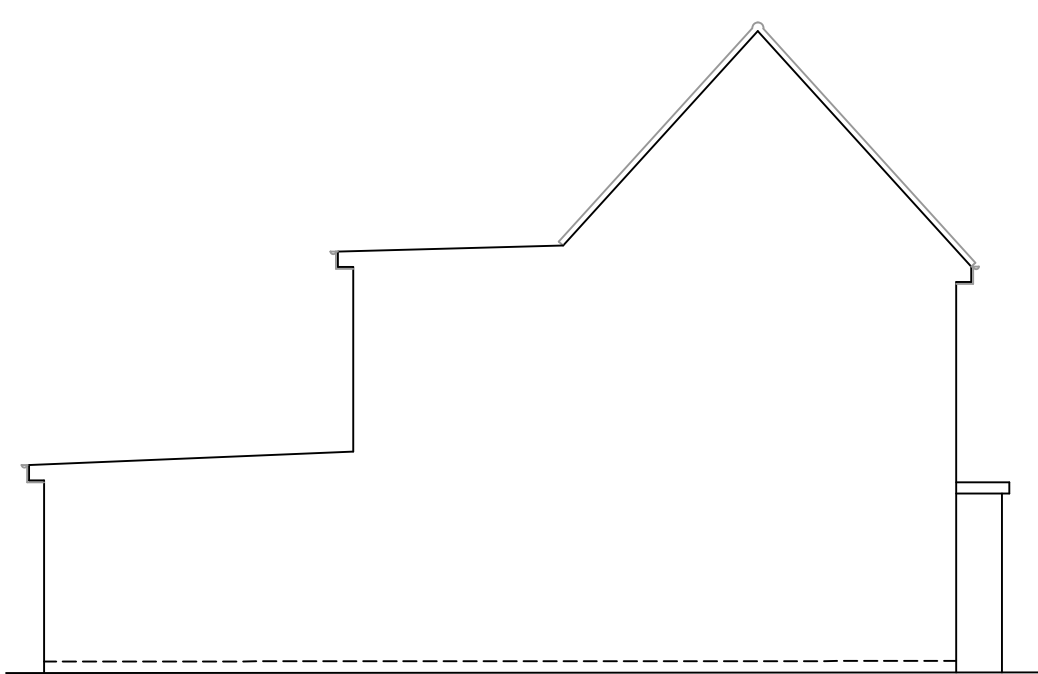
EXISTING FRONT ELEVATION  
SCALE 1:100@A1



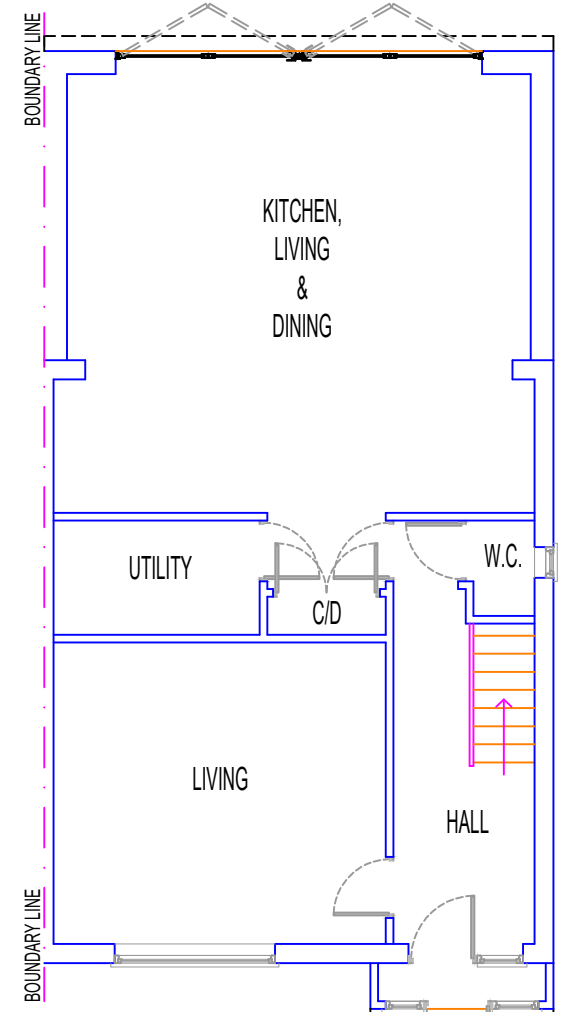
EXISTING SIDE ELEVATION  
SCALE 1:100@A1



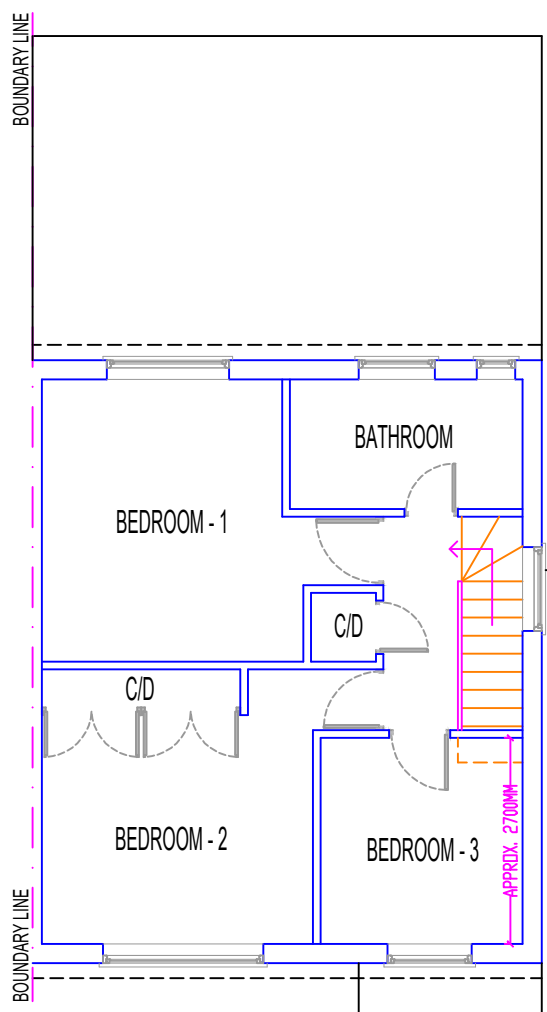
EXISTING REAR ELEVATION  
SCALE 1:100@A1



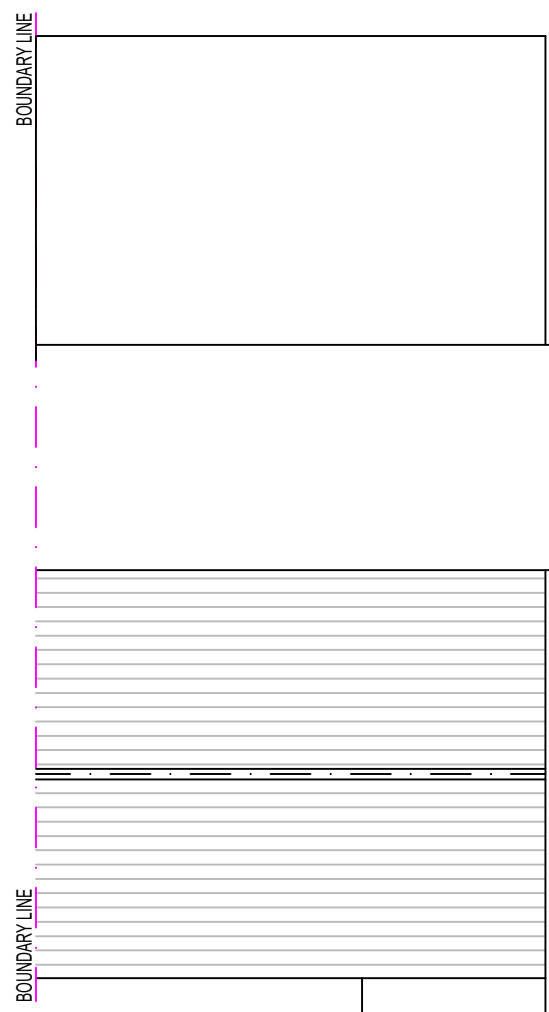
EXISTING SIDE ELEVATION - 2  
SCALE 1:100@A1



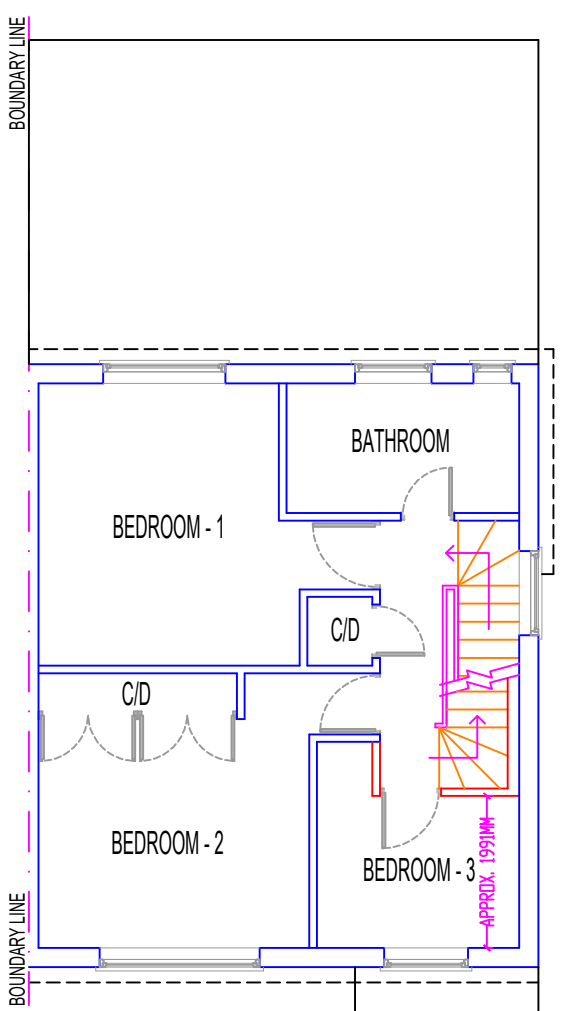
GROUND FLOOR PLAN (UNCHANGED)  
SCALE 1:100@A1



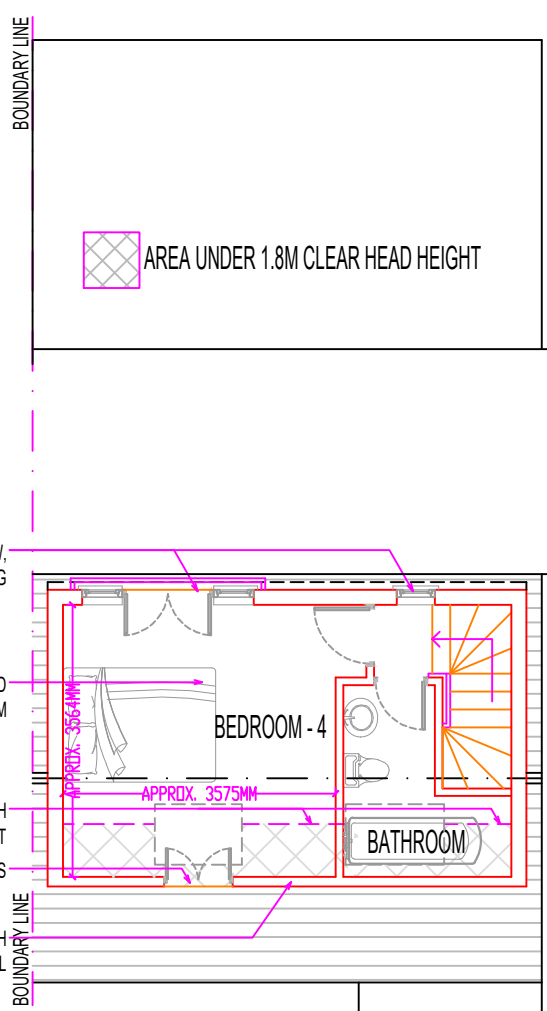
EXISTING FIRST FLOOR PLAN  
SCALE 1:100@A1



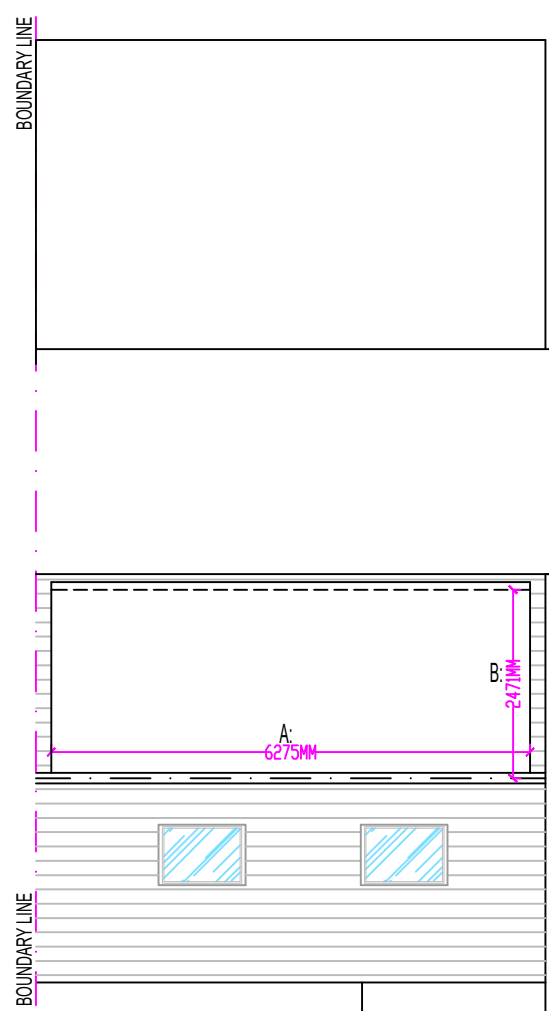
EXISTING ROOF PLAN  
SCALE 1:100@A1



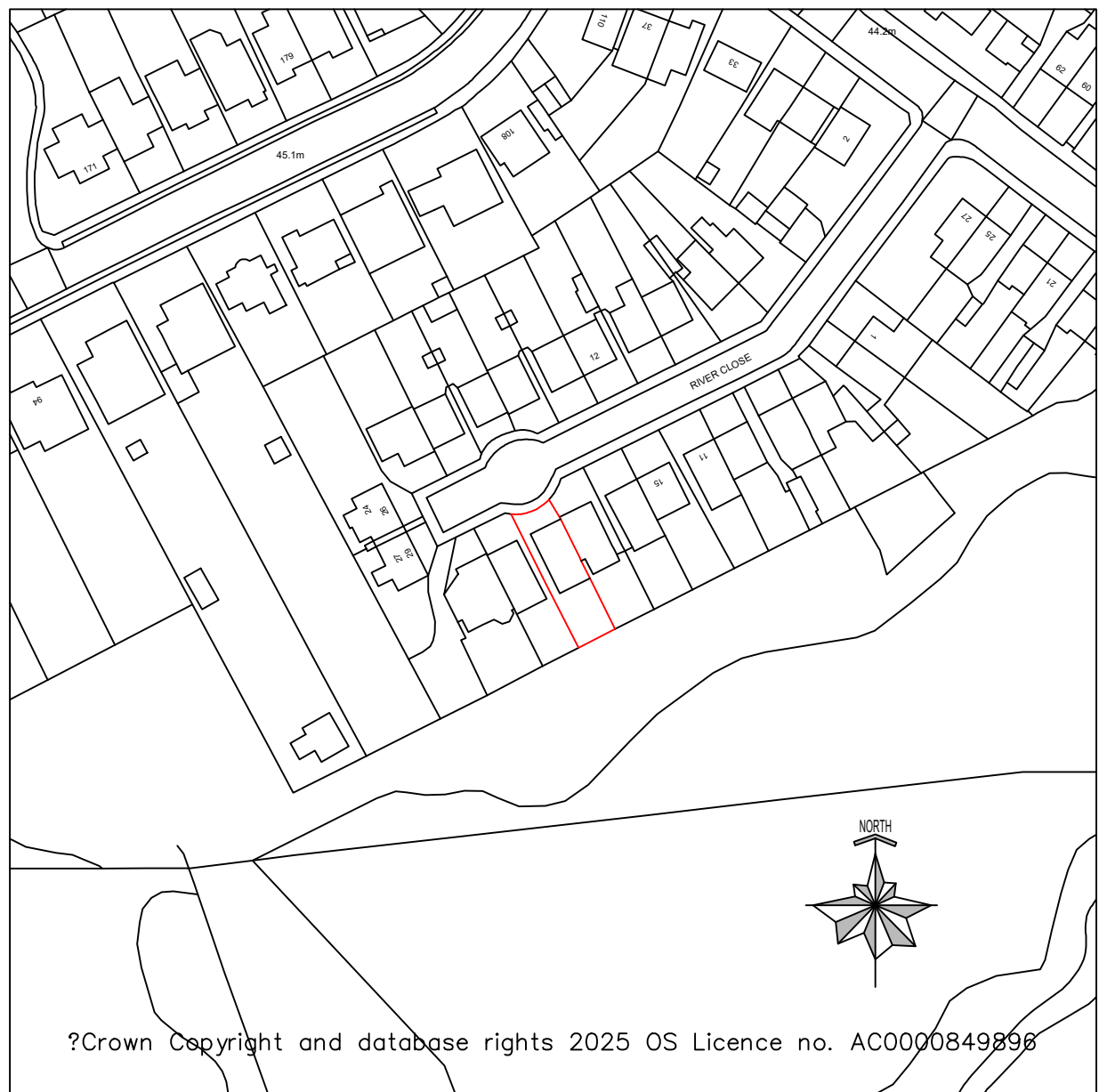
PROPOSED FIRST FLOOR PLAN  
SCALE 1:100@A1



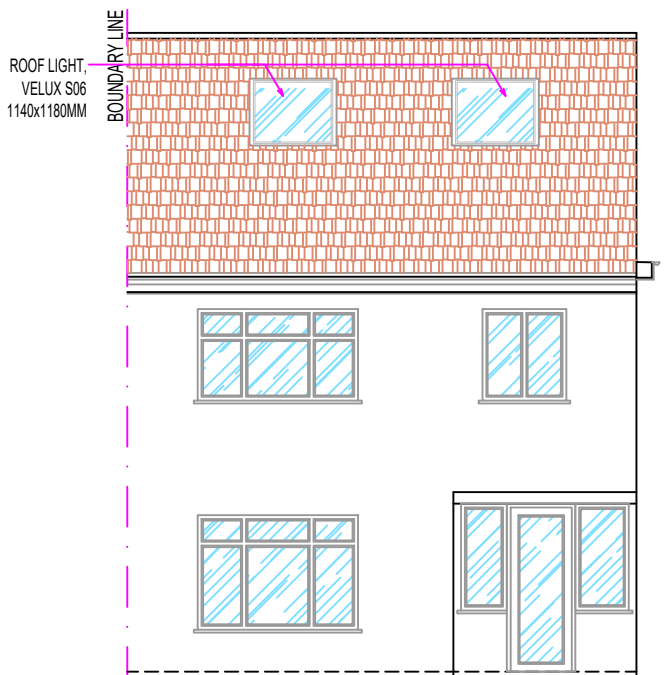
PROPOSED LOFT FLOOR PLAN  
SCALE 1:100@A1



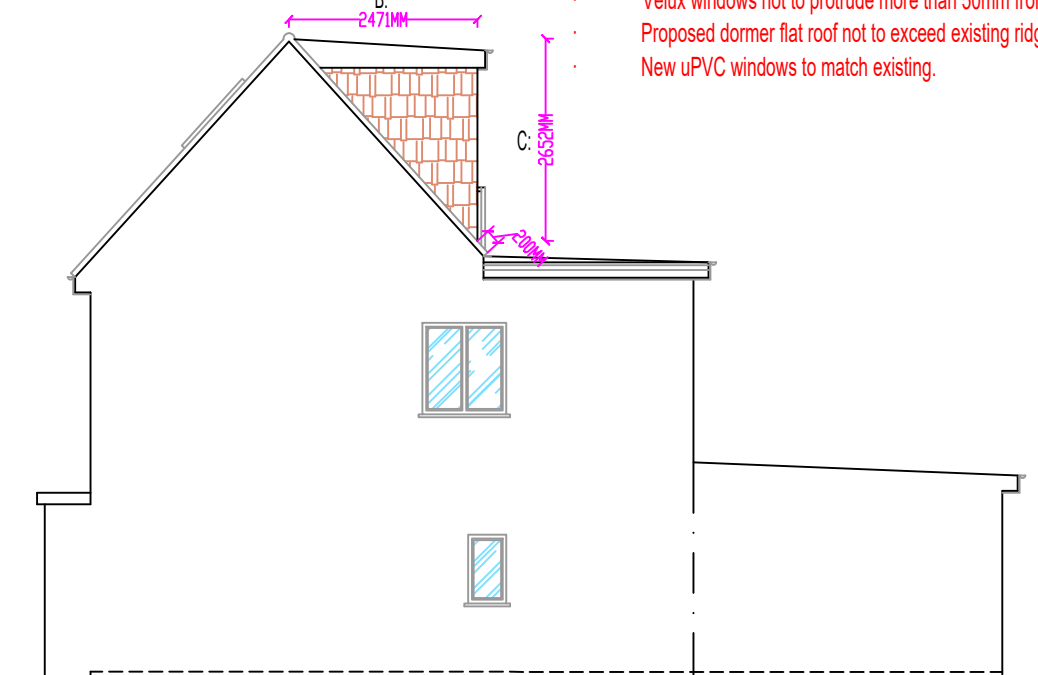
PROPOSED ROOF PLAN  
SCALE 1:100@A1



LOCATION PLAN  
SCALE 1:1250@A1



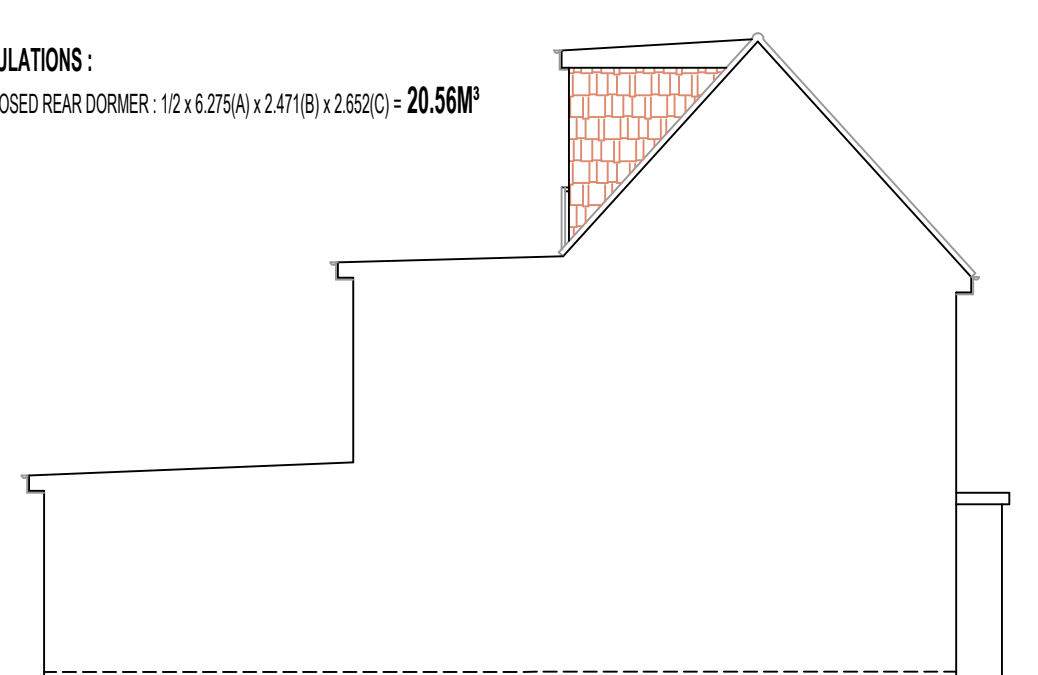
PROPOSED FRONT ELEVATION  
SCALE 1:100@A1



PROPOSED SIDE ELEVATION  
SCALE 1:100@A1



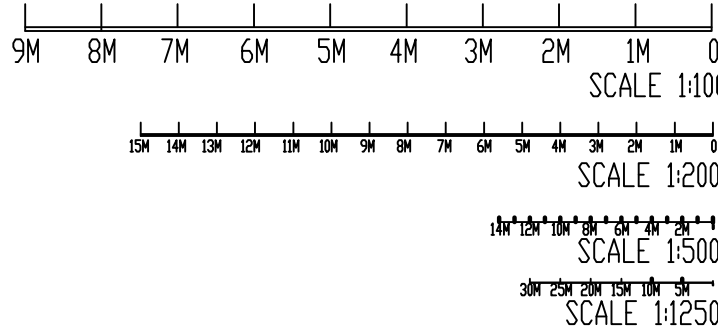
PROPOSED REAR ELEVATION  
SCALE 1:100@A1



PROPOSED SIDE ELEVATION - 2  
SCALE 1:100@A1

NOTE:  
All new proposed materials to match existing.  
Velux windows not to protrude more than 50mm from the plane of the roof.  
Proposed dormer flat roof not to exceed existing ridge at any point.  
New uPVC windows to match existing.

VOLUME CALCULATIONS:  
VOLUME OF PROPOSED REAR DORMER:  $\frac{1}{2} \times 6.275(A) \times 2.471(B) \times 2.652(C) = 20.56M^3$



- NOTES:
- THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION.
  - PRIOR TO COMMENCEMENT OF WORK, DRAWINGS TO BE SIGNED OFF BY BUILDING CONTROL INSPECTOR.
  - PARTY WALL (ETC) ACT 1997 TO BE AGREED WITH ADJOINING NEIGHBORS PRIOR TO CONSTRUCTION.
  - ALL MEASUREMENTS TO BE CHECKED ON SITE & NOT BE SCALED FROM THIS DRAWING.
  - ALL WORKS TO MEET LOCAL AUTHORITY'S SET STANDARDS.

Comments  
The General contractor is responsible for the verification of all dimensions on site and shall inform the contract administrator of any discrepancies.

Do not scale from this drawing. Use figure dimension only.

All furniture shown in drawings is for illustration purposes only.

Existing foundations, lintels and wall to be exposed if required by Building Control for assessment and upgrading if found inadequate.

Fire Precautions:  
All doors marked with FD30 to be to current British Standards.  
All new fire doors to be fitted with 3x4" steel butt hinges or 3x30min fire rated hinges, with appropriate CE and BS EN stamps on each hinge if using brass or chrome.

Self contained mains operated interlinked smoke alarms (BS 5446) and fitted with battery backup to be provided to all landings and hall ceiling shown as (SD).

Staircases:  
Actual size of riser & tread for the proposed staircase, to be confirmed on site prior to installation by staircase specialist to avoid any issues with headroom/pitch.

#### PRELIMINARY DESIGN

PLEASE PRINT, SIGN AND DATE TO APPROVE DRAWINGS FOR CLIENT/S.

SIGNATURE:.....  
PRINT NAME .....  
DATE: .....

#### REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
|      |             |
|      |             |
|      |             |
|      |             |
|      |             |
|      |             |
|      |             |

30 High Street  
Hansfield  
UB8 6BU  
Phone : 01753 825960  
Fax : 01895 811051  
info@assetinfofs.com

#### PROJECT DESCRIPTION:

LOFT CONVERSION WITH REAR DORMER.

#### PROJECT DETAILS:

HANNAH

21 RIVER CLOSE  
RUISLIP  
HA4 7UY

DRAWING NO.: 21RC/07052025/REV-B

DATE: 07 MAY 2025

SCALE: 1:100 & 1:1250 @A1

DRAWN BY: SC

CHECKED BY: