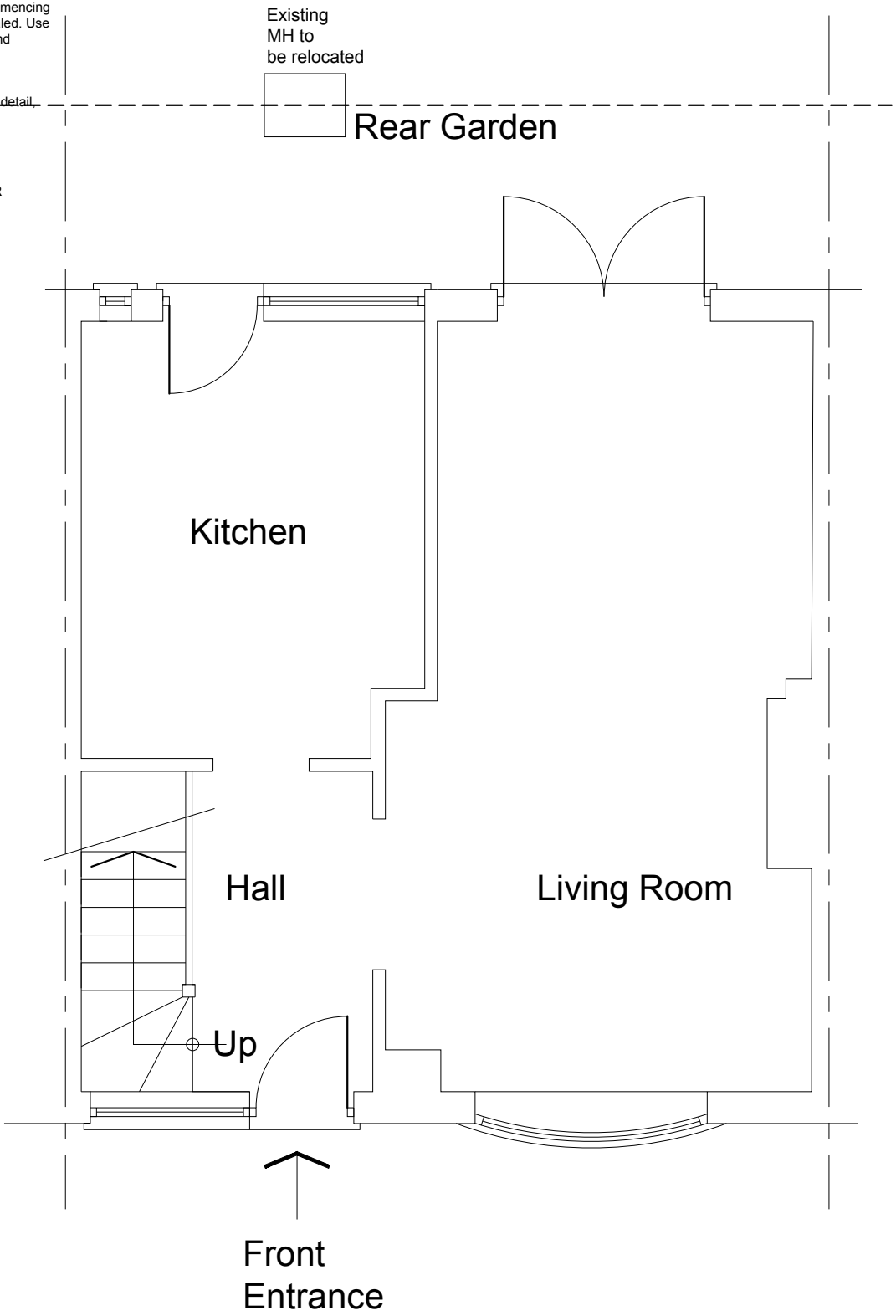


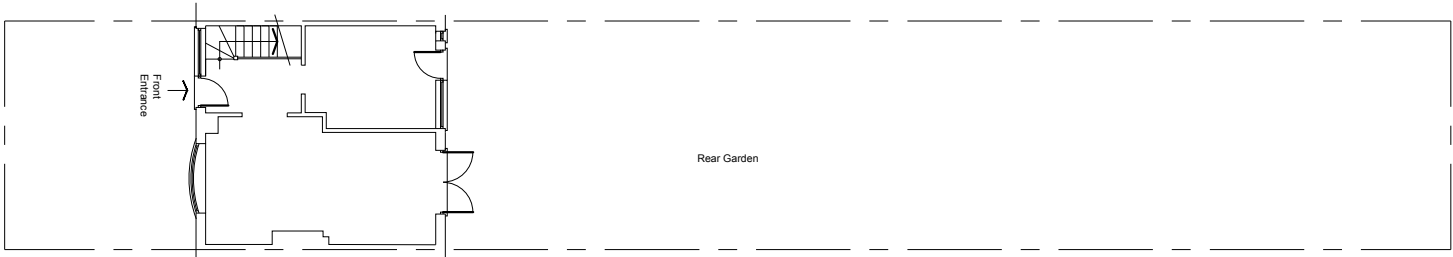
**Notes:**  
Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing must not be scaled. Use figured dimensions only. Subject to statutory approvals and survey.

Ref also to approved planning documents with respect to detail, materials and conditions of planning consent

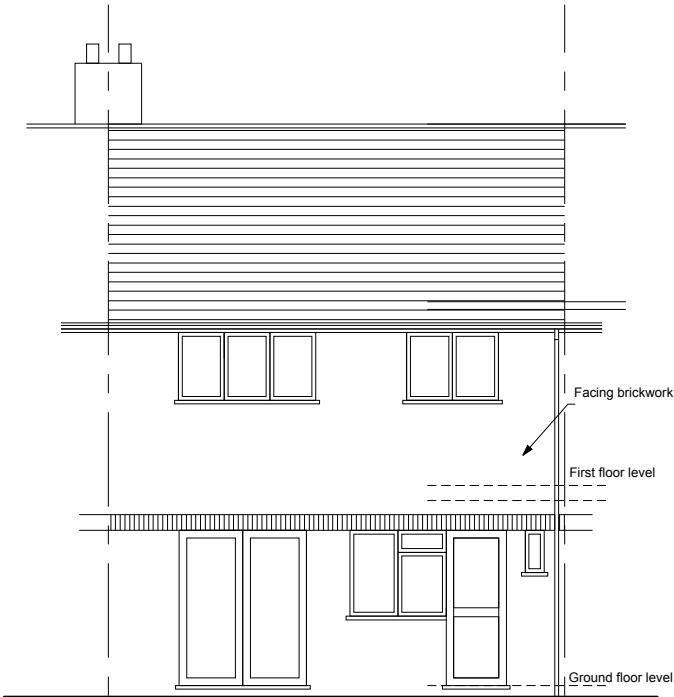
ALL DRAWINGS 780/01-04,  
AND ENGINEER'S DETAILS TO BE READ TOGETHER



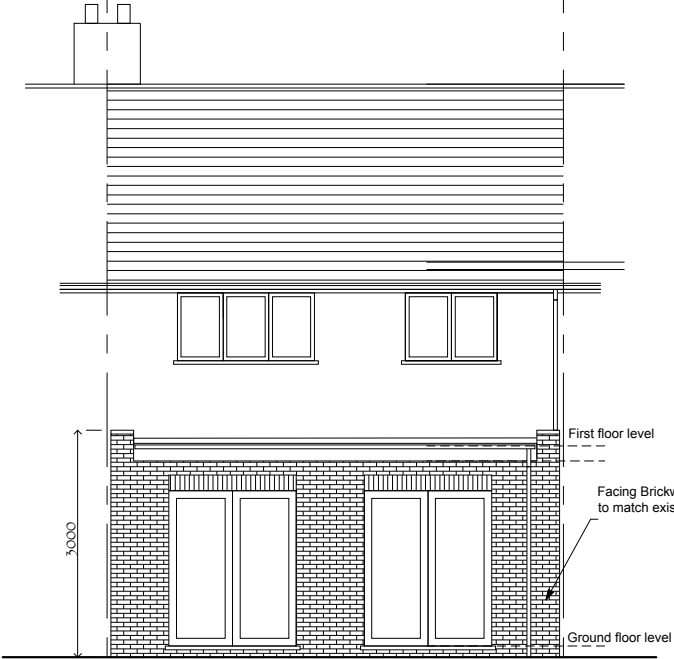
Existing Ground Floor Plan



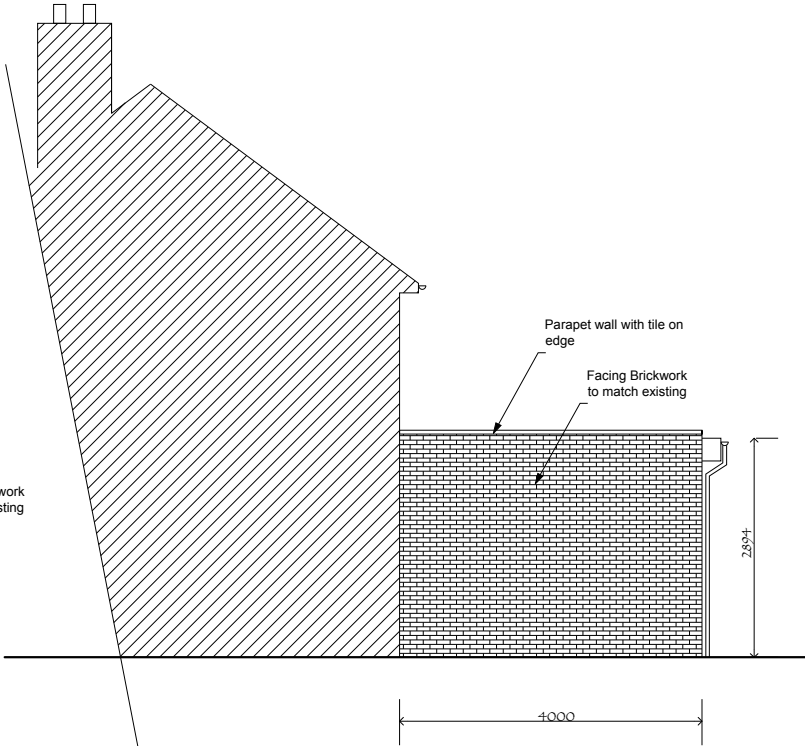
Existing Site Plan (1:200)



Existing Rear Elevation



Proposed Rear Elevation



Proposed Side Elevation

Revision:  
a.

This is a 'Detail Level Drawing' and can be used as a basis for construction. Do not scale from this drawing. Use written dimensions only

1. This drawing is based on a measured survey (by others) intended to be sufficient for planning purposes. Because buildings are rarely straight and level, dimensions should be confirmed on site where the size of any element is critical, and templates made as appropriate to ensure that any manufactured item is correct for its application.

3. Unless other arrangements have been specifically made, the building contractor should serve a Building Notice on the local authority where any work is subject to the Building Regulations and liaise with the Building Control Officer regarding routine inspections of the work.



<b>AH ARCHITECTURE</b> Chartered Architects 15 Allyn Park Southall Middlesex UB2 5QT Tel: 020 8797 4176 Email: <a href="mailto:info@ah-architecture.co.uk">info@ah-architecture.co.uk</a> Project name: <b>144 Reyfield Avenue, UB10 9DB</b>	Drawing name: <b>Existing &amp; Proposed Plans</b>		
	Job no: <b>AH 780</b>	Drawing no: <b>01</b>	Revision: <b>-</b>
	Scale: <b>1/50 @ A3</b>	Date: <b>20/04/2018</b>	Drawn by: <b>AH</b>