



PLANNING BY DESIGN

FROM CONCEPT TO COMPLETION

Retrospective Garden Room and Replacement of Removed Tree at 36a Broadwater Gardens UB9 6AL

Planning Statement

**Written and prepared by Planning by Design on
behalf of Sean O'Connor**

Version	Date	Prepared By	Approved By
1	11.12.2025	CA	CA

1 Introduction

1.1 Introduction

Planning By Design (**The agent**) has been instructed to act on behalf of Sean O'Connor (**the applicant**) to submit a Householder Planning Application to the London Borough of Hillingdon (**the Local Planning Authority**) for a Retrospective Garden Room Replacement of Removed Tree (**the proposal**) at 36a Broadwater Gardens UB9 6AL (**the site**).

In support of this application, the following Planning Statement has been constructed to demonstrate the suitability of this site for this proposal and evaluate its accordance with national and local planning policy along with supplementary design guidance.

1.2 The Site

The site itself consists of a detached dwelling and its associated curtilage. The site is bounded by another property to the north, allotments to the south and west, and Broadwater Gardens to the east.

The Site Location Plan is provided in Figure 1 below.

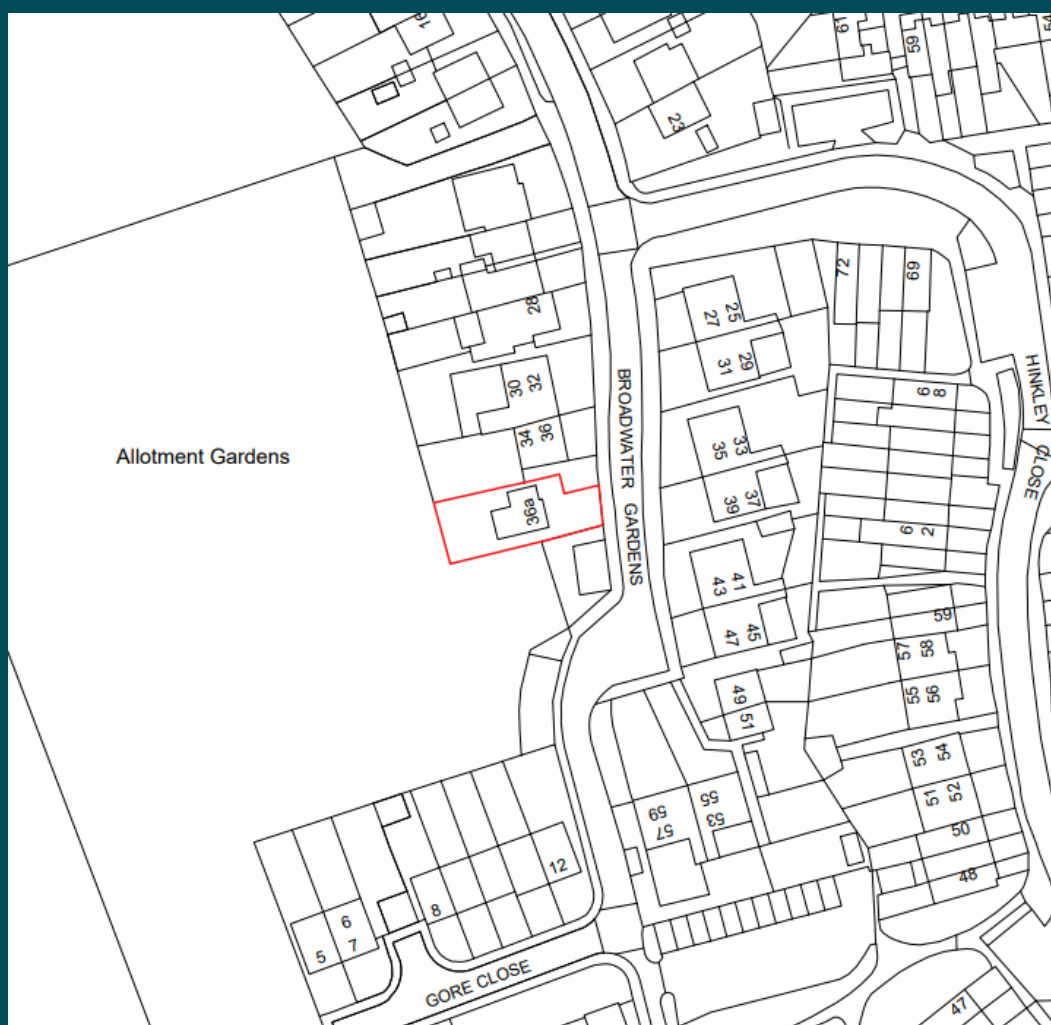


Figure 1: Site Location Plan

The site is not subject to any specific designations, nor does it have any planning history since its construction.

1.3 Planning History

The property was built in 2024. The planning history of the site is provided in Table 1 below.

Ref	Application	Decision
73683/APP/2018/1078	Two storey, 2 bed detached dwelling with associated parking and amenity space and new amenity space for No. 36	Approved
73683/APP/2018/2330	Two storey, 3 bed detached dwelling with associated parking and amenity space and new amenity space for No. 36	Withdrawn
73683/APP/2018/3473	Two storey, 3 bed detached dwelling with habitable roofspace, associated parking and amenity space and new amenity space for No. 36	Approved
73683/APP/2021/2624	Details pursuant to Conditions 3 (Materials), 4 (Tree Protection), 5 (Landscaping) and 11 (Soakaway) of Planning Permission 73683/APP/2018/3473 (Two storey, 3 bed detached dwelling with habitable roofspace, associated parking and amenity space and new amenity space for No. 36).	Approved
73683/APP/2022/3834	Variation of Condition 2 (approved plans) of planning permission ref. 73683/APP/2018/3473 dated 07-01-2019 'Two storey, 3 bed detached dwelling with habitable roofspace, associated parking and amenity space and new amenity space for No. 36' to revise parking and vehicular access.	Approved
73683/APP/2023/3005	Details pursuant to the discharge of Conditions10 (parking allocation scheme) of planning permission ref. 73683/APP/2018/3473, dated 07-01-2019 (Two storey, 3 bed detached dwelling with habitable roofspace, associated parking and amenity space and new amenity space for No. 36)	Approved

Table 1: Planning History

Condition 9 of the full approval (ref. 73683/APP/2018/3473) stated:

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and reenacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

Therefore, planning permission is required for the erection of any outbuildings.

Condition 4 stated that, amongst other information, a Tree Survey and protection measures should be outlined and all trees maintained on-site thereafter.

1.4 Purpose of Document

The purpose of this document is to provide an overview of the proposed development and operation of the home, justifying the proposal in accordance with national and local planning policy.

2 The Proposal

2.1 Overview

Planning permission is sought retrospectively for the installation of an outbuilding at the above site. As a tree was removed contrary to the conditions set at the initial approval, a new tree is proposed as part of this application to mitigate the impacts of the previous loss.

The proposed block plan is shown in shown in Figure 2 and the plans of the garden room are shown on Figure 3.

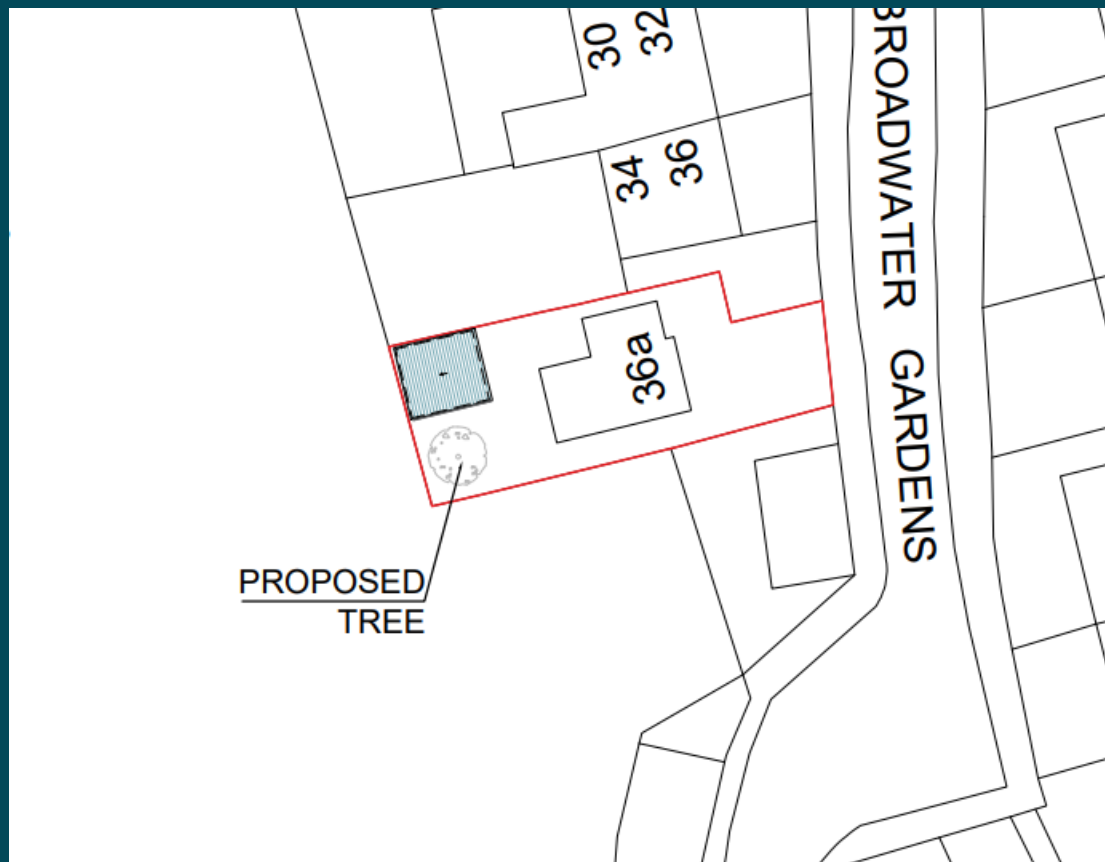


Figure 2: Proposed Block Plan

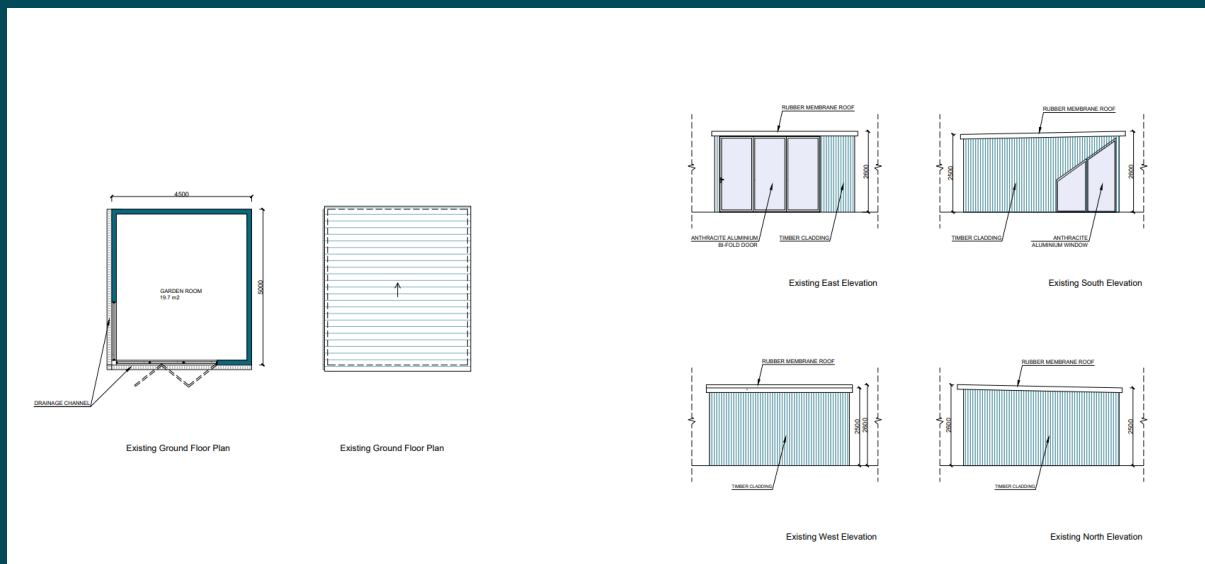


Figure 3: Proposed Garden Room

The garden room totals 19.7sqm (4.5m x 5m) in size, and is 2.6m tall at its highest point. The following materials have been used:

- Rubber membrane roof
- Timber cladding

- Anthracite aluminium bi-fold door and window

An excerpt of the Tree Protection Plan approved in 2021 (ref. 73683/APP/2021/2624) is provided in Figure 4.

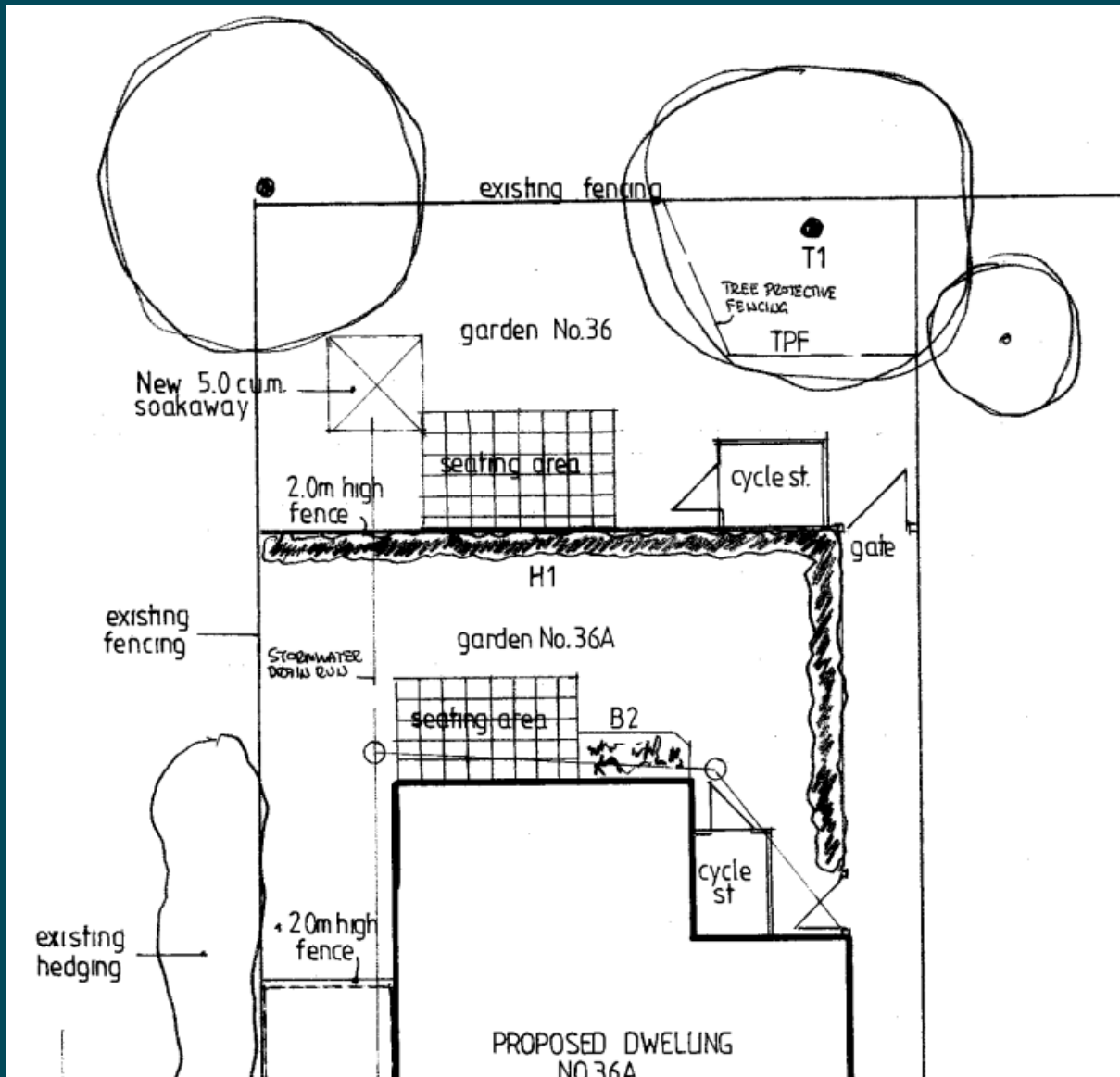


Figure 4: Tree Protection Plan (Homeplans)

T1 has since been removed. As part of this proposal, an equivalent tree is proposed as shown in Figure 2.

3 Planning Policy

The following planning policy and guidance documents are recognised as material considerations for the assessment of this application.

- National Planning Policy Framework (2024)
- National Planning Practice Guidance (2024)
- The London Plan (2021)

- London Borough of Hillingdon
- Relevant Supplementary Planning Documents

3.1 National Policy – National Planning Policy Framework (NPPF)

Section 2 – Achieving Sustainable Development

8. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

- a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;*
- b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed, beautiful and safe places, with accessible services and open spaces that reflect current and future needs and support communities’ health, social and cultural well-being; and*
- c) an environmental objective – to protect and enhance our natural, built and historic environment; including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.*

9. These objectives should be delivered through the preparation and implementation of plans and the application of the policies in this Framework; they are not criteria against which every decision can or should be judged. Planning policies and decisions should play an active role in guiding development towards sustainable solutions, but in doing so should take local circumstances into account, to reflect the character, needs and opportunities of each area.

11. Plans and decisions should apply a presumption in favour of sustainable development.

Section 4 – Decision-making

39. Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.

48. Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.

57. Planning conditions should be kept to a minimum and only imposed where they are necessary, relevant to planning and to the development to be permitted, enforceable, precise and reasonable in all other respects. Agreeing conditions early is beneficial to all parties involved in the process and can speed up decision making. Conditions that are required to be discharged before development commences should be avoided, unless there is a clear justification.

Section 5 – Making effective use of land

124. Planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. Strategic policies should set out a clear strategy for accommodating objectively assessed needs, in a way that makes as much use as possible of previously developed or ‘brownfield’ land.

3.2 National Planning Practice Guidance (NPPG)

In decision-making, consideration must be given to development which reflects local design policies and government guidance on design. Weight must also be given to outstanding or innovative designs which promote sustainability or raise the standard of design in the area. Designs must also fit in with the overall form and layout of their surroundings.

Local planning authorities can invite a retrospective application according to section 73A of the Town and Country Planning Act 1990 without delay.

3.3 The London Plan (2021)

Policy D3 relates to optimising site capacity through the design-led approach and states:

A All development must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations. Optimising site capacity means ensuring that development is of the most appropriate form and land use for the site. The design-led approach requires consideration of design options to determine the most appropriate form of development that responds to a site’s context and capacity for growth, and existing and planned supporting infrastructure capacity.

D Development proposals should:

Form and layout

- 1) enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions*
- 2) encourage and facilitate active travel with convenient and inclusive pedestrian and cycling routes, crossing points, cycle parking, and legible entrances to buildings, that are aligned with peoples’ movement patterns and desire lines in the area*
- 3) be street-based with clearly defined public and private environments*
- 4) facilitate efficient servicing and maintenance of buildings and the public realm, as well as deliveries, that minimise negative impacts on the environment, public realm and vulnerable road users*

Experience

- 5) achieve safe, secure and inclusive environments*
- 6) provide active frontages and positive reciprocal relationships between what happens inside the buildings and outside in the public realm to generate liveliness and interest*
- 7) deliver appropriate outlook, privacy and amenity*

- 8) *provide conveniently located green and open spaces for social interaction, play, relaxation and physical activity*
- 9) *help prevent or mitigate the impacts of noise and poor air quality*
- 10) *achieve indoor and outdoor environments that are comfortable and inviting for people to use*

Quality and character

- 11) *respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character*
- 12) *be of high quality, with architecture that pays attention to detail, and gives thorough consideration to the practicality of use, flexibility, safety and building lifespan through appropriate construction methods and the use of attractive, robust materials which weather and mature well*
- 13) *aim for high sustainability standards (with reference to the policies within London Plan Chapters 8 and 9) and take into account the principles of the circular economy*
- 14) *provide spaces and buildings that maximise opportunities for urban greening to create attractive resilient places that can also help the management of surface water.*

Policy G7 relates to trees and woodlands and states:

- A *London's urban forest and woodlands should be protected and maintained, and new trees and woodlands should be planted in appropriate locations in order to increase the extent of London's urban forest – the area of London under the canopy of trees.*
- B *In their Development Plans, boroughs should:*
 - 1) *protect 'veteran' trees and ancient woodland where these are not already part of a protected site*
 - 2) *identify opportunities for tree planting in strategic locations.*
- C *Development proposals should ensure that, wherever possible, existing trees of value are retained. If planning permission is granted that necessitates the removal of trees there should be adequate replacement based on the existing value of the benefits of the trees removed, determined by, for example, i-tree or CAVAT or another appropriate valuation system. The planting of additional trees should generally be included in new developments – particularly large-canopied species which provide a wider range of benefits because of the larger surface area of their canopy.*

3.4 Hillingdon Local Plan (2012 & 2020)

Policy BE1 relates to the built environment and confirms the sustainable development policy in the NPPF.

Policy DMHB 11 relates to the design of new development and states:

- A) *All development, including extensions, alterations and new buildings will be required to be designed to the highest standards and, incorporate principles of good design including:*
 - i) *harmonising with the local context by taking into account the surrounding:*

- *scale of development, considering the height, mass and bulk of adjacent structures;*
 - *building plot sizes and widths, plot coverage and established street patterns;*
 - *building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure;*
 - *architectural composition and quality of detailing;*
 - *local topography, views both from and to the site; and*
 - *impact on neighbouring open spaces and their environment.*
- ii) *ensuring the use of high quality building materials and finishes;*
- iii) *ensuring that the internal design and layout of development maximises sustainability and is adaptable to different activities;*
- iv) *protecting features of positive value within and adjacent to the site, including the safeguarding of heritage assets, designated and un-designated, and their settings; and*
- v) *landscaping and tree planting to protect and enhance amenity, biodiversity and green infrastructure.*
- B) *Development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.*

Policy DMHB 14 relates to trees and landscaping and confirms Policy G7 of The London Plan.

Policy DMHD 2 relates to outbuildings and states:

The Council will require residential outbuildings to meet the following criteria:

- i) *the building must be constructed to a high standard of design without compromising the amenity of neighbouring occupiers;*
- ii) *the developed footprint of the proposed building must be proportionate to the footprint of the dwelling house and to the residential curtilage in which it stands and have regard to existing trees;*
- iii) *the use shall be for a purpose incidental to the enjoyment of the dwelling house and not capable for use as independent residential accommodation; and*
- iv) *primary living accommodation such as a bedroom, bathroom, or kitchen will not be permitted.*

3.5 Hillingdon Design and Accessibility Statement (HDAS) (2008)

Section 9.0 and 10.0 relate to detached outbuildings and states:

- 9.0 *The outbuilding cannot be used as a separate business unit or as a self contained residential unit, as these could lead to a number of privacy, overlooking, noise and disturbance problems. If you intend to use the outbuilding for any of these uses, the proposal will be refused planning permission. The role of the detached building is to be used solely as an ancillary building to the main house.*
- 10.0 *Walls and enclosures provide a boundary to the curtilage of a building and add privacy for the residents. These are likely to comprise (but are not confined to) hedges, walls, fences and gates. Gates, walls and fences are permitted without planning permission up to 1metre in height adjoining or fronting any public road or pavement and 2 metres elsewhere.*

4 Policy Alignment

4.1 Introduction

This section provides an assessment of the proposed development in the context of national and local planning policy, including the NPPF (2024), the London Plan (2021), Hillingdon Local Plan (2012 & 2020), and HDAS (2008). It considers the principle of development, design considerations, amenity considerations, and planning balance.

The assessment demonstrates that the existing outbuilding alongside planting a new tree complies with relevant design principles and tree policies, providing a functional, appropriate addition to the host dwelling while mitigating the impact of the removed tree.

4.2 Principle of Development

The proposed garden room is an ancillary outbuilding that is subordinate to the main dwelling and is not intended for use as a self-contained residential unit, in accordance with Section 9.0 of the Hillingdon Design and Accessibility Statement (HDAS, 2008). Planning permission is required for the outbuilding because its walls exceed 2 metres in height, exceeding the limits for permitted development. The site is located within a residential area, and is not situated within a Green Belt, conservation area, or other sensitive designation, meaning that the principle of development is compatible with the surrounding context.

As part of this application, a replacement tree will be planted to mitigate the removal of a previous tree, ensuring that the development maintains and enhances the site's landscape character. The new tree will be positioned adjacent to an existing tree to provide balance and continuity within the garden.

The proposal aligns with sustainable development objectives set out in the NPPF (2024) and NPPG (2024), supporting positive decision-making and the efficient use of land while ensuring that development is appropriate in scale and impact.

The design has been guided by London Plan Policy D3, which encourages a design-led approach to optimise site capacity and ensure that developments respond positively to the local context, scale, and layout. The garden room is proportionate to the dwelling, respects the position of existing trees, and provides an ancillary addition that enhances the functionality of the main house in line with Policy DMHD 2 of the Hillingdon Local Plan.

4.3 Design Considerations

The proposed garden room is a single-storey outbuilding, measuring 19.7sqm with a maximum height of 2.6 metres. It is subordinate to the main dwelling and positioned at the rear of the garden, ensuring it does not dominate the main house or surrounding open space. The use of timber cladding, a rubber membrane roof, and anthracite aluminium bi-fold doors ensures the outbuilding is visually appropriate, complements the main house, and integrates well with the garden setting.

The development retains the character and amenity of the garden while enhancing the landscape through the planting of a replacement tree. This aligns with Policy G7 of the London Plan and DMHB 14, which encourage the retention and replacement of trees to improve green infrastructure and biodiversity.

The proposal also reflects the principles of London Plan Policy D3, with a design-led approach that respects the hierarchy of development. Its subordinate position, combined with the tree planting, optimises the use of the site without adverse impacts on neighbouring properties or the wider streetscape.

4.4 Amenity Considerations

The garden room is located at the rear of the property for private, ancillary use, enhancing the functionality of the outdoor space while being modest in size so as not to reduce daylight to the main dwelling. Its single-storey, modest scale ensures it does not dominate the garden or intrude on neighbouring properties, maintaining privacy for adjacent residents. A replacement tree will be planted adjacent to the outbuilding to provide natural screening, further protecting privacy and softening the visual impact.

The proposal aligns with relevant policies, including London Plan D3 and Hillingdon Policies DMHD 2 and DMHB 11, ensuring the outbuilding does not harm neighbouring amenity, and as a private ancillary structure, it will not generate noise or disturbance.

4.5 Planning Balance

The existing outbuilding and future tree replacement represents a sustainable and carefully considered solution to 36a Broadwater Gardens, addressing previous loss of green infrastructure. Due to its current use, subordinate position, and minimal impact on the surrounding area, the outbuilding complies with a range of policy requirements. Additionally, the replacement of a removed tree ensures the garden's amenity and biodiversity are maintained, aligning with DMHB 14 and London Plan G7.

From a social perspective, the outbuilding provides functional, high-quality ancillary space for the occupants without causing harm to neighbouring properties. Privacy, daylight, and sunlight are preserved, and the private use of the space ensures noise is kept low, aligning with DMHB 11.

Economically, the development provides local benefits through construction and maintenance activity, while also enhancing the overall value and usability of the property.

On balance, any limited impact on biodiversity from removal of the previous tree is outweighed by the planting of a new tree and functional, new garden space for the occupants. The proposal aligns with relevant local and national planning policy, adheres to sustainable development, and addresses concerns regarding previous tree loss.

5 Conclusion

The retrospective proposal at 36a Broadwater Gardens represents a well-designed, sustainable development that provides functional ancillary space while maintaining the character and amenity of the site and surrounding area.

The development complies with national and local planning policy, including the NPPF, the London Plan, Hillingdon Local Plan, and HDAS, and addresses the previous loss of an existing tree. The inclusion of a replacement tree enhances biodiversity and contributes positively to the privacy of the host dwelling and neighbouring properties.

For these reasons, the proposal is considered acceptable in planning terms, and we respectfully request that the Council support this application. Should any further information be required, Planning By Design would be pleased to provide it.

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