

Delivery & Servicing Statement for 75A Bridge Road Project

Table of Contents

1. INTRODUCTION	4
1.1. Overview	4
1.2. Scope of Report	4
2. THE SITE AND SURROUNDING AREA	5
2.1. Site Context	5
2.2. Local Highway Network	5
3. PROPOSED DEVELOPMENT and ACCESS ARRANGEMENTS	7
3.1. Proposed Development	7
3.2. Vehicular Access & Waste Collection & Servicing	7
4. SUMMARY AND CONCLUSION	8
Appendix A – Existing Ground Floor	9
Appendix B- Proposed Ground Floor	11

Document Control Sheet

Project Name: 75a Bridge Road Project

Project Location: 75a Bridge Road Uxbridge

Project Ref: RP-25279

Report Title: Delivery & Servicing Plan

Date: 24.10.2025

	Name	Signature	Date
Prepared by:	Charlie Abdullah		24.10.2025
Approved by:			

This report has been prepared by Liongate Construction on the specific instructions and requirements of our client. This report should not be relied on by any third party and is intended in accordance with the agreed scope of work.

Contact Information:

Charlie Abdullah | Liongate Construction

charlie@liongate.build | F16, Allia FB. Centre, Kings Hedges Rd, Cambridge CB4 2HY

<http://www.liongate.build> | Mobile: +44 7496 788940 | Office: +44 1223 92 6335

1. INTRODUCTION

1.1. Overview

Liongate Construction have been instructed by Adara Construction to prepare a Delivery & Servicing Plan for 75a Bridge Road Project.

This report has been prepared to discharge Condition 4 of the Hillingdon Council decision notice (Reference: 73647/APP/2023/3109).

Condition 4 : No building or use hereby permitted shall be occupied or use commenced until a Delivery And Servicing Plan has been prepared in accordance with Transport for London Delivery and Servicing Plan Guidance (2020) and submitted to and approved in writing by the Local Planning Authority. The measures shall thereafter be implemented in accordance with the approved delivery and serving plan for the lifetime of the development.

REASON

To ensure the development complies with Policy T4 of The London Plan (2021).

1.2. Scope of Report

The scope of this report is to detail the operational management of the proposed development after its completion and occupancy. It specifically addresses the post-occupation delivery and servicing strategies. The report clarifies how essential services, including deliveries and waste management, will be handled in the final operational configuration, designating access points and procedures. Additional information is available in the Appendices.

2. THE SITE AND SURROUNDING AREA

This section will detail the existing site and surroundings and provide details about the existing highway network.

2.1. *Site Context*

The site is located on Bridge Road in Uxbridge, within the London Borough of Hillingdon. It is bordered by two-storey mixed-use and residential buildings to the north and south. To the east, the site is separated from Cowley Road by the Fray's River, while Bridge Road runs along the western boundary, providing vehicular and pedestrian access.

The surrounding area consists primarily of residential and small-scale commercial premises. Uxbridge Town Centre lies approximately 0.6 miles north, where a wide range of public transport connections are available, including the Uxbridge Underground Station and numerous bus routes.

2.2. *Local Highway Network*

A408 Cowley Road

The A408 Cowley Road is a section of the A408 route located in Uxbridge, within the London Borough of Hillingdon. Along the road, Cowley Road passes through residential and mixed-use areas containing various community facilities. It serves as one of the main approach roads to Uxbridge Town Centre. The road operates as a two-way carriageway and is controlled by signalised junctions at key intersections.

Cowley Mill Road

Cowley Mill Road is a local distributor road located to the south-west of Uxbridge Town Centre, within the London Borough of Hillingdon. It connects to Bridge Road and Cowley Road to the east and continues westward towards the A4007 St John's Road. The road serves both residential and industrial areas.

Parking is permitted along certain sections of the road, though yellow line restrictions apply near junctions. The road also provides access to several side streets including Longbridge Way, Hilton Road, and Ashley Road.

Bridge Road

Bridge Road is a local road situated to the west of the A408 Cowley Road, within the London Borough of Hillingdon. Road between Cowley Mill Road and Austin Waye. The road primarily serves residential properties and a small number of local businesses.

Bridge Road operates as a two-way carriageway. Parking is available along both sides of the street. Pedestrian access is provided via continuous footways on both sides of the road.

3. PROPOSED DEVELOPMENT and ACCESS ARRANGEMENTS

3.1. Proposed Development

The project involves converting the existing building from its former light industrial use into residential use, creating four self-contained flats that provide residential units while retaining the existing building structure.

3.2. Vehicular Access & Waste Collection & Servicing

Existing

The existing building was formerly used for light industrial purposes and included a small undercroft area accessed directly from Bridge Road. This access was used occasionally for deliveries.

During Construction

During the construction phase, the undercroft area will be enclosed with temporary hoarding restricting any vehicular access. All construction deliveries and waste collections will therefore take place from Bridge Road, using the existing dropped kerb. Deliveries will be managed through a booking system under a Just in Time (JIT) approach. Site operative will be present to ensure safe reversing and pedestrian safety.

After Occupation

Residential Units

Following completion, the site will operate as a car-free development. There will be no vehicular access to the site and no parking spaces provided. Pedestrian and cycle access will be retained through the existing 2.8 m-wide undercroft leading from Bridge Road. Six covered cycle parking spaces will be provided on the ground floor, in accordance with the London Plan (2021) and Hillingdon Local Plan standards.

Refuse storage will be located on the ground floor within a communal bin store, accessible directly from the courtyard. On collection days, residents or a management representative will wheel the bins to the pavement on Bridge Road for kerbside collection, consistent with neighbouring properties.

Servicing & Deliveries

All deliveries will take place within the designated loading and unloading area located in front of the site entrance. A bollard or equivalent barrier will be installed at the entrance of the undercroft to prevent unauthorised vehicle access.

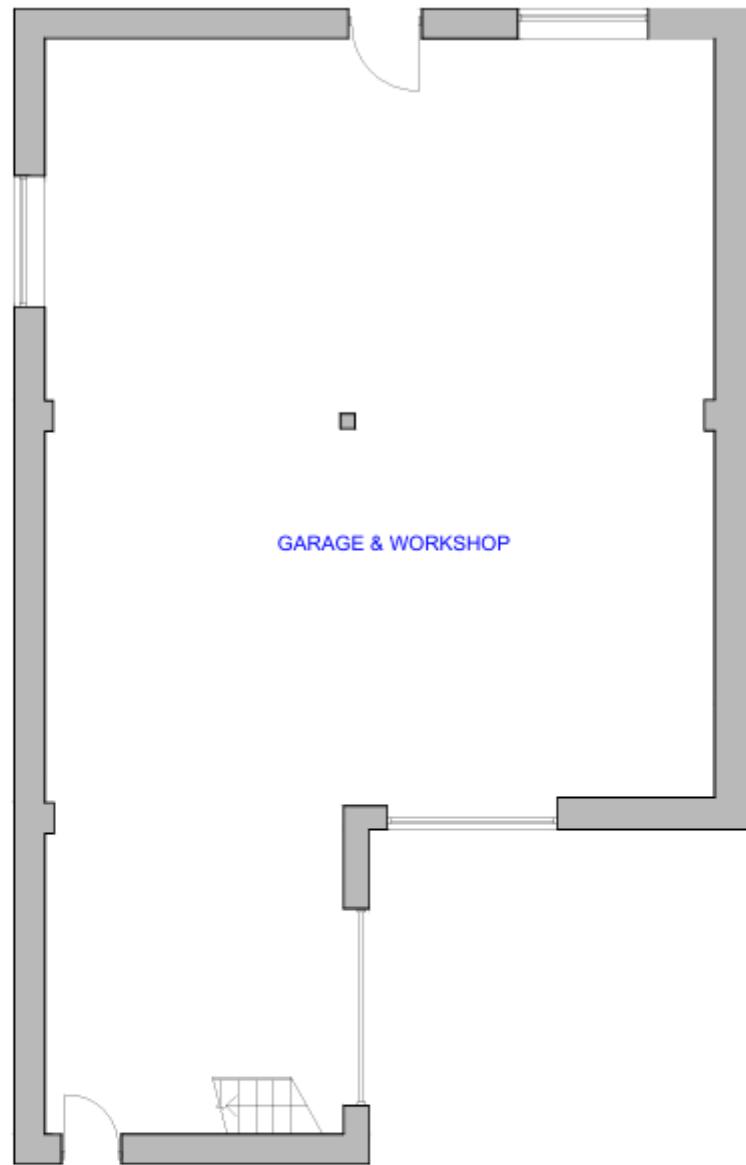
4. SUMMARY AND CONCLUSION

- a) Liongate Construction has been commissioned by Adara to develop a Delivery Servicing Plan for the 75A Bridge Road Uxbridge project. This report is prepared in response to the Decision Noti from Hillingdon Council (Reference: 73647/APP/2023/3109).
- b) The existing industrial building will be converted into four self-contained residential units.
- c) During construction, all deliveries and waste collections will be managed from Bridge Road under a Just in Time (JIT) system, with a site operative present to ensure safety.
- d) After occupation, the building will operate as a car-free residence, providing pedestrian and cycle access through the existing undercroft and six secure cycle spaces on the ground floor.
- e) Refuse will be stored in a shared bin store and set out for collection as required. All servicing and deliveries will be managed from the designated loading and unloading area located in front of the site entrance.

Conclusion

In conclusion, the delivery and servicing strategy for 75A Bridge Road defines clear arrangements for each phase of the project. During construction, all deliveries and waste collections will be managed from the designated loading and unloading area located in front of the site entrance, under a Just in Time (JIT) system, with a site operative present on site to ensure safety. After occupation, the building will operate as a car-free residential property, with cycle parking and waste management handled in an organised and compliant manner. This approach ensures that delivery and servicing activities remain safe and well-coordinated throughout all stages of the project.

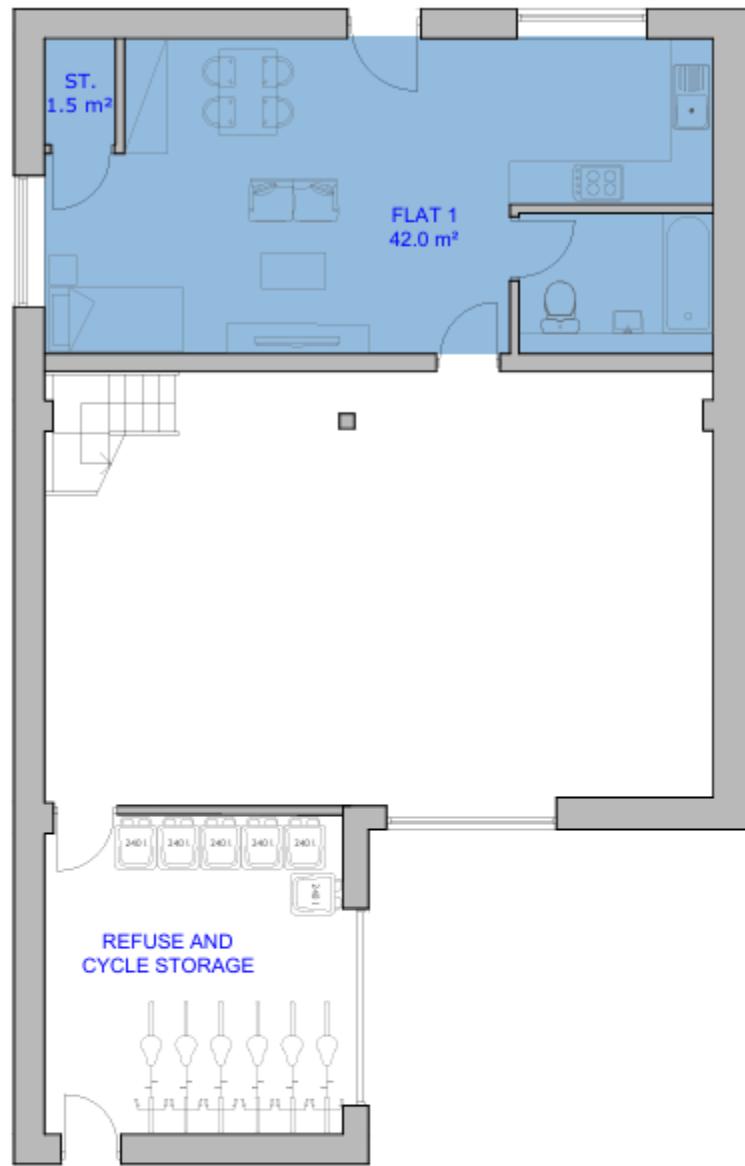
Appendix A – Existing Ground Floor



EXISTING
GROUND FLOOR PLAN
SCALE 1:100



Appendix B- Proposed Ground Floor



PROPOSED
GROUND FLOOR PLAN

SCALE 1:100

