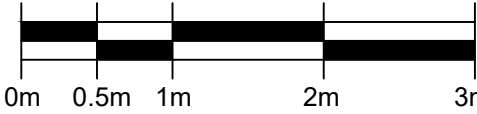
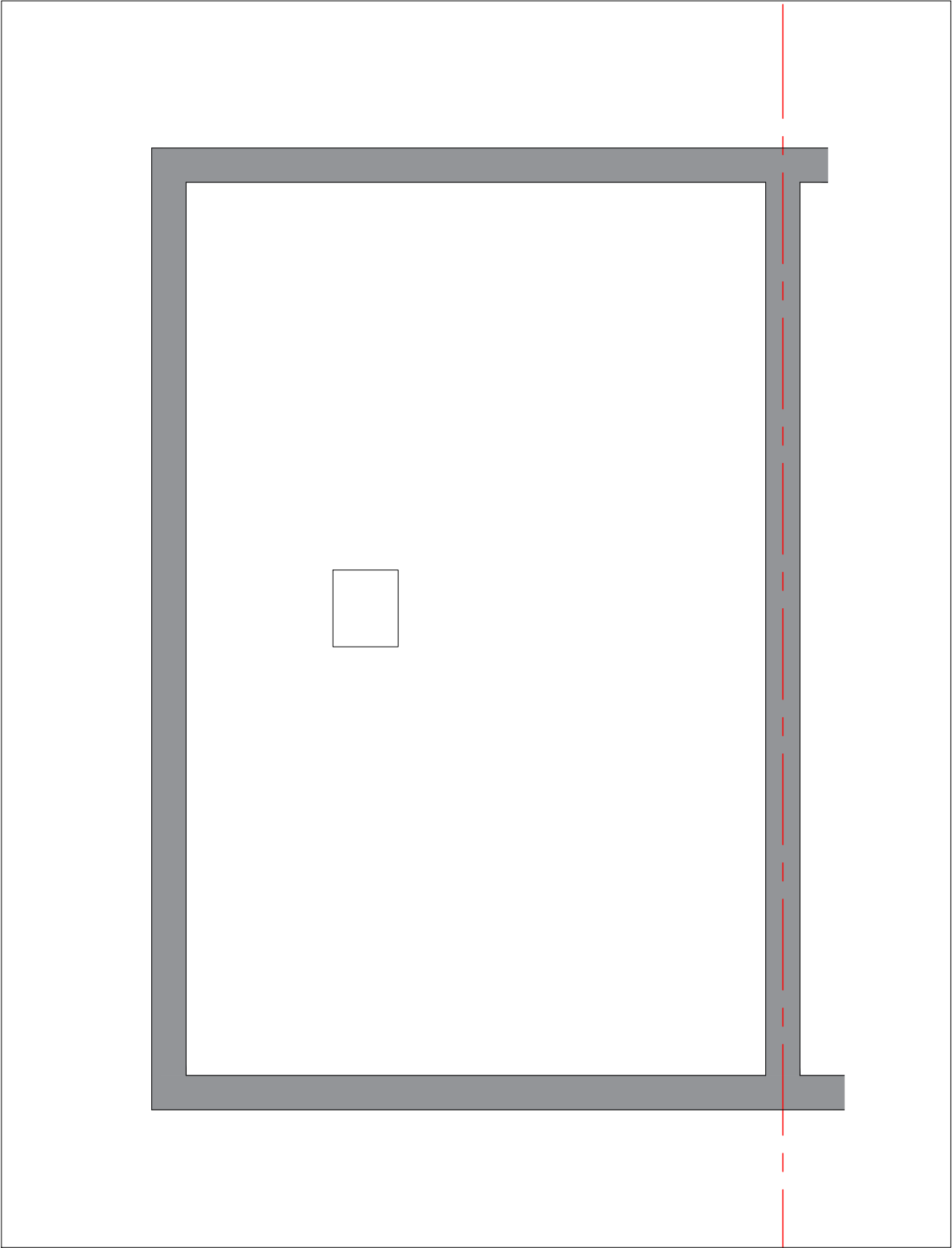
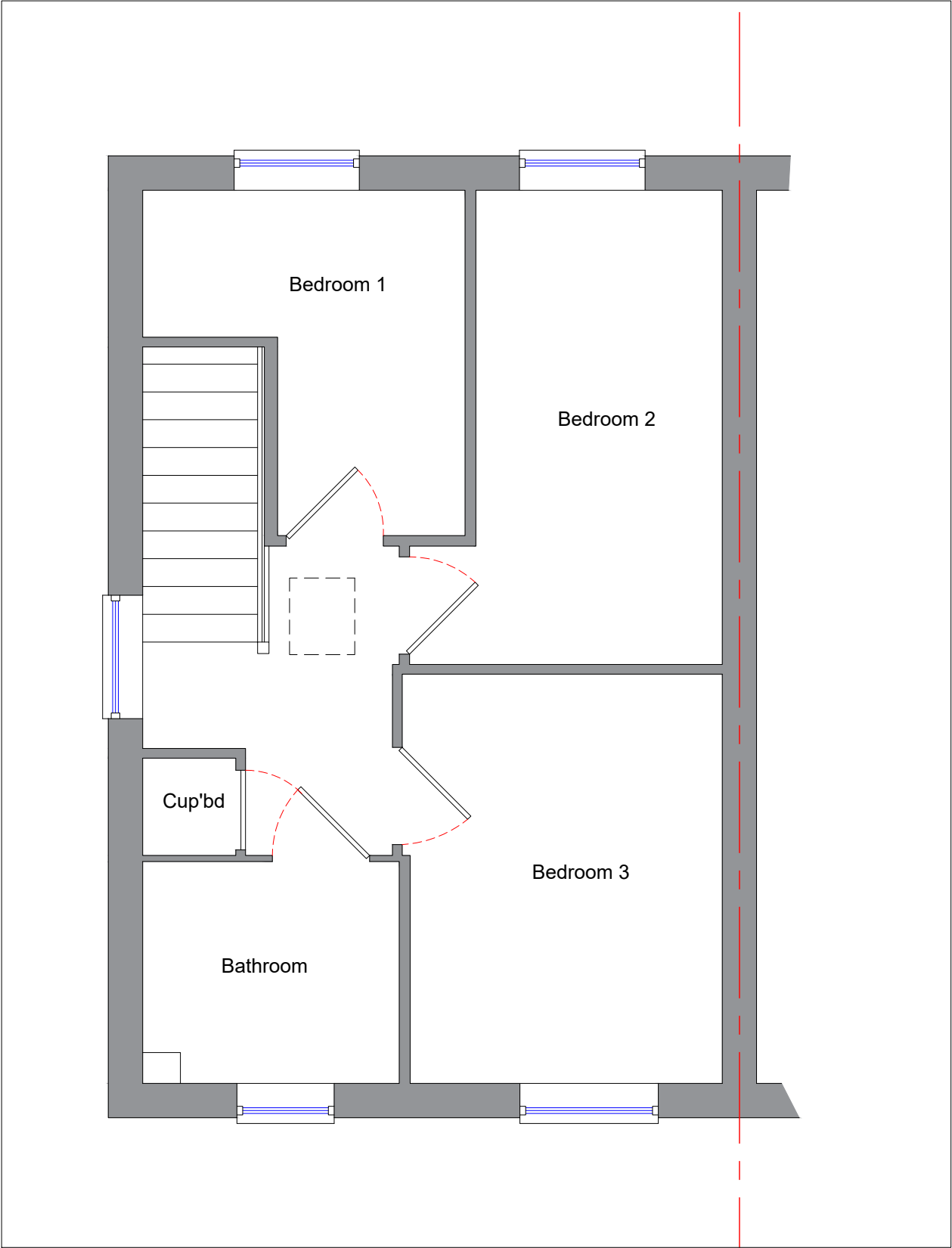


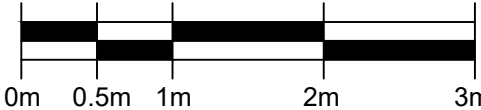
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3 Lawrence Grove Uxbridge UB10 0FF				Existing Ground Floor Plan	Rev:	Date:	Amendments to:	Scale:	1:50
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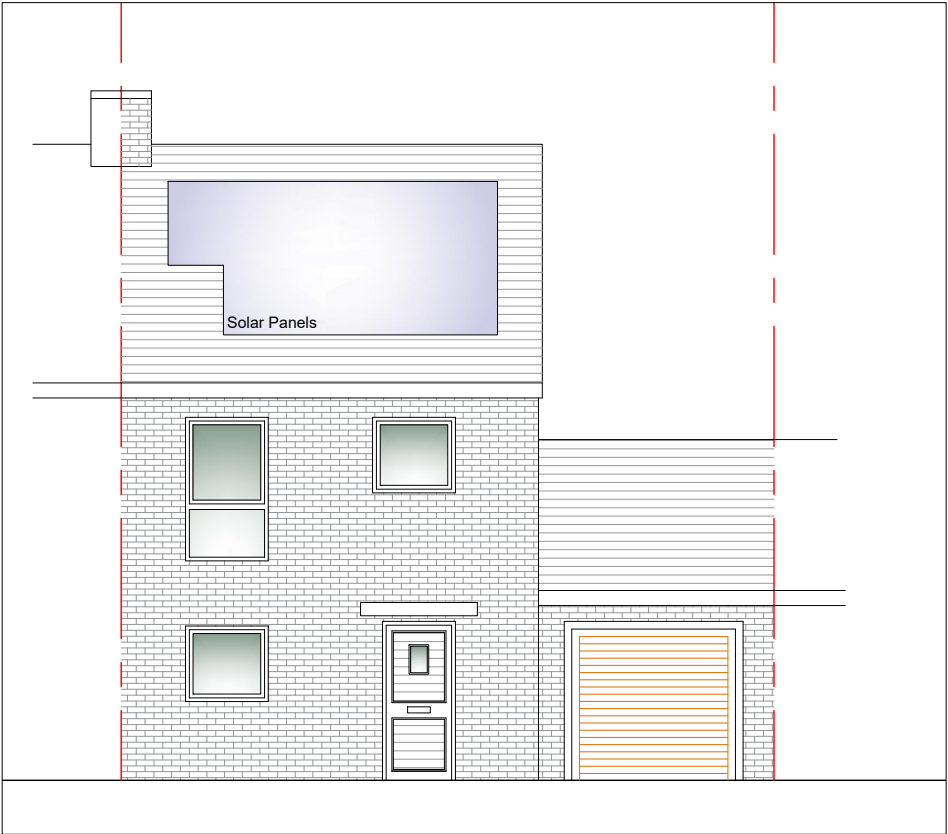


PLANNING ISSUE

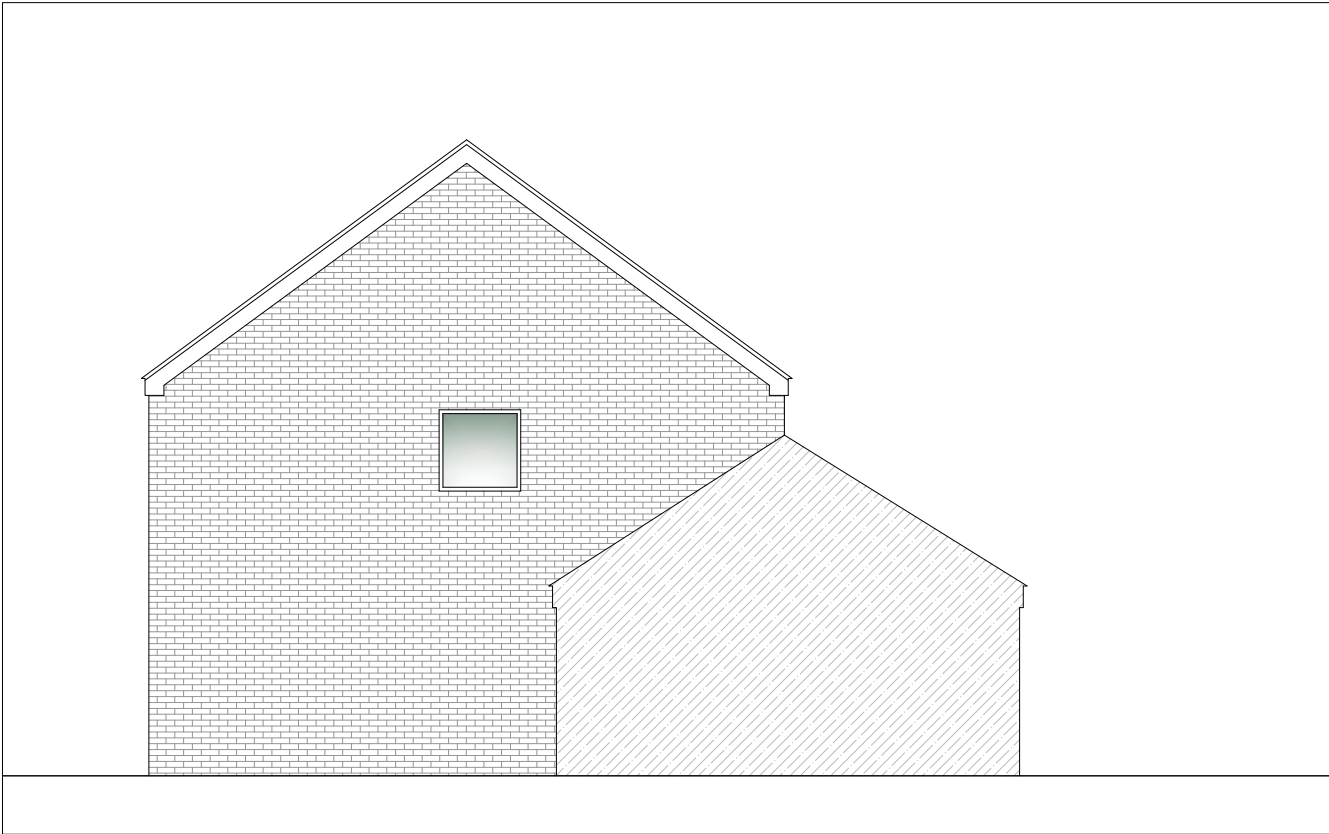


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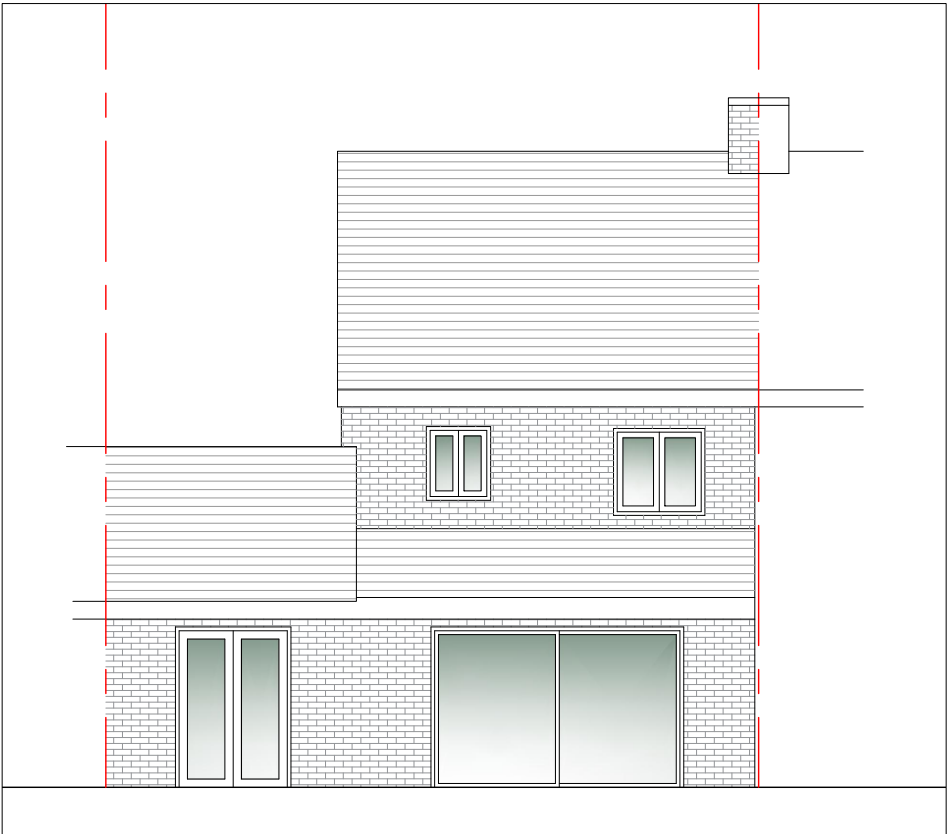




Existing Front Elevation



Existing Flank (east) Elevation

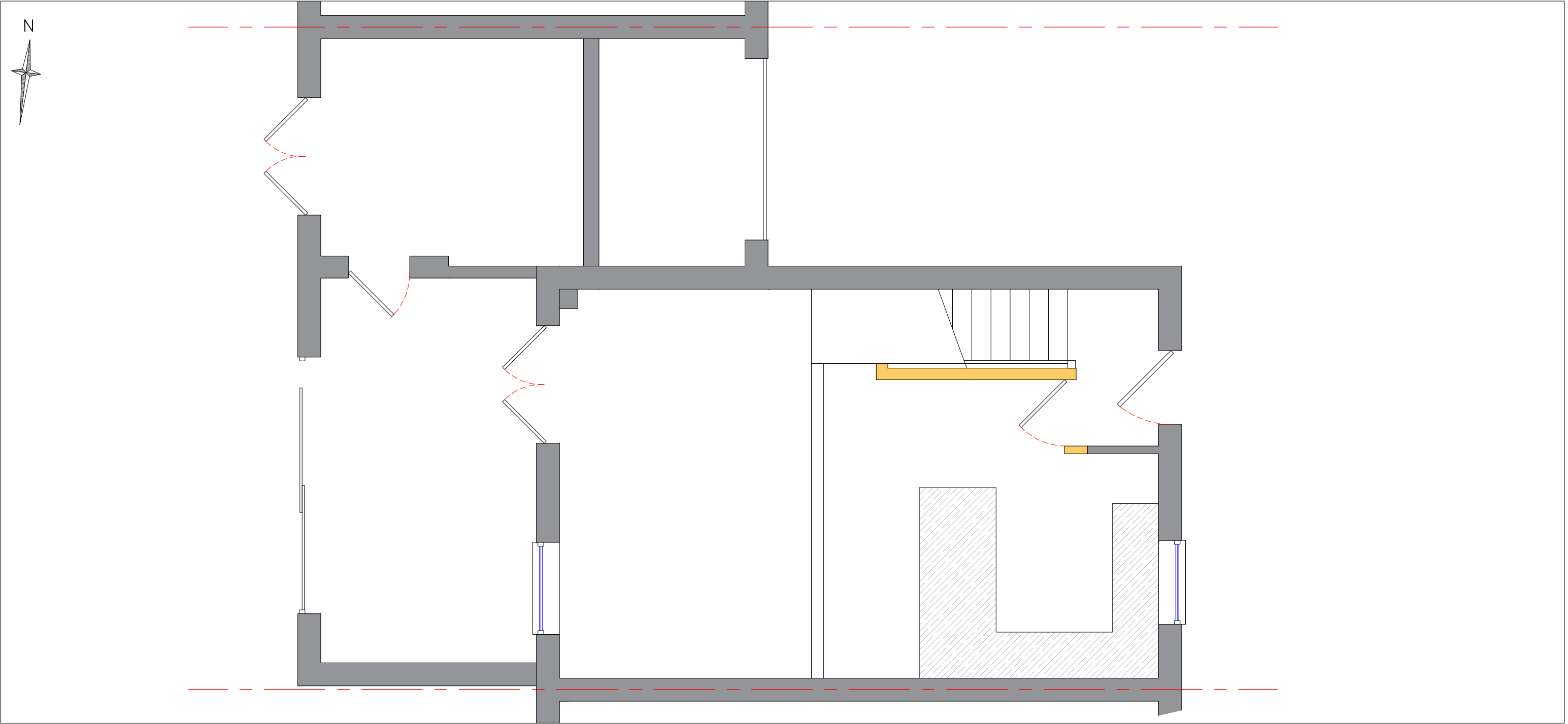


Existing Rear Elevation

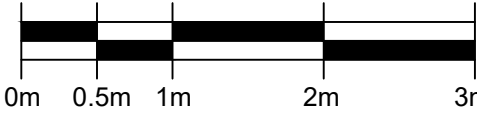


Existing Flank (west) Elevation

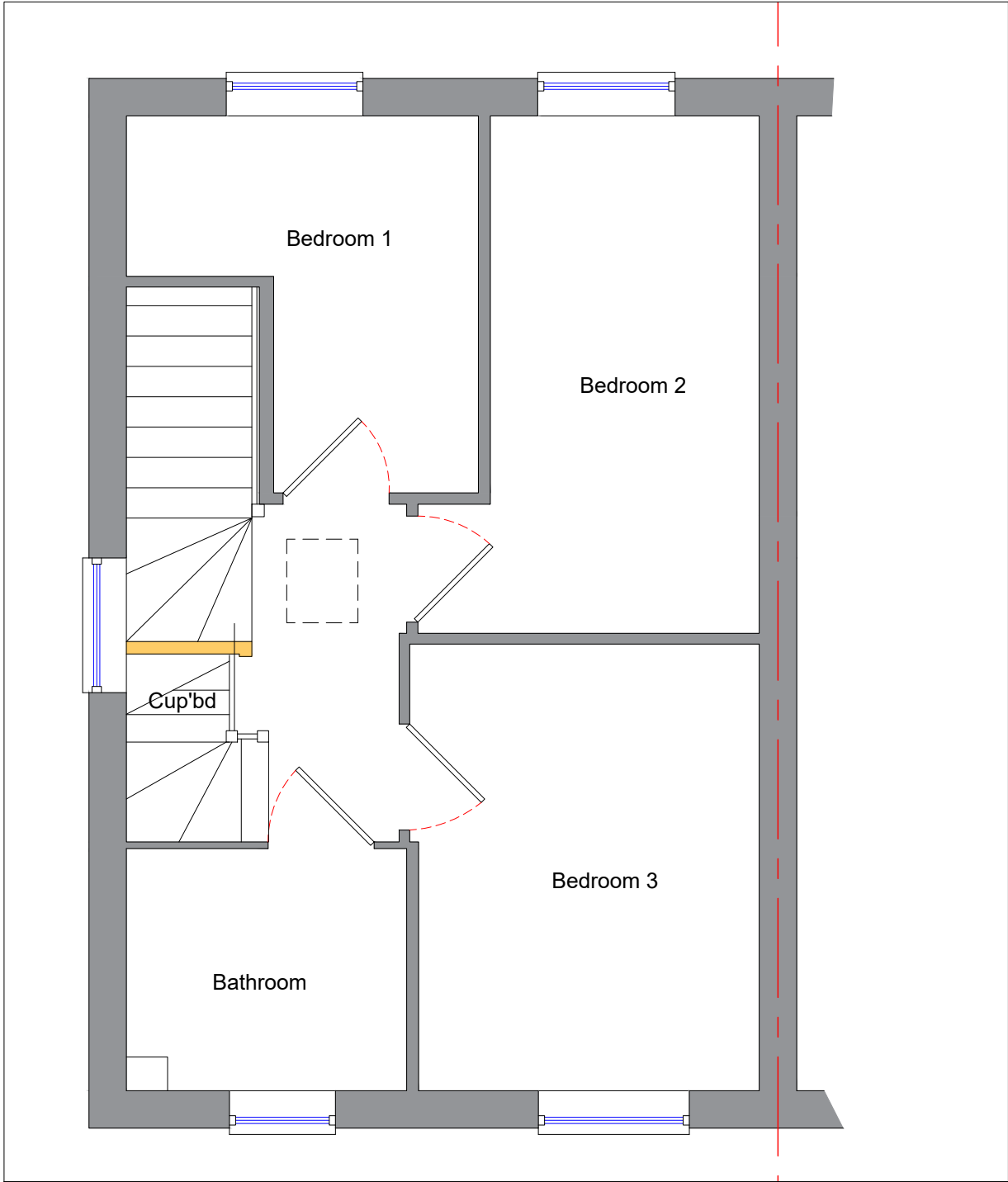
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					Date: June 2023				



Project:	Dwg No:	100PL-05	Client:	Title:					
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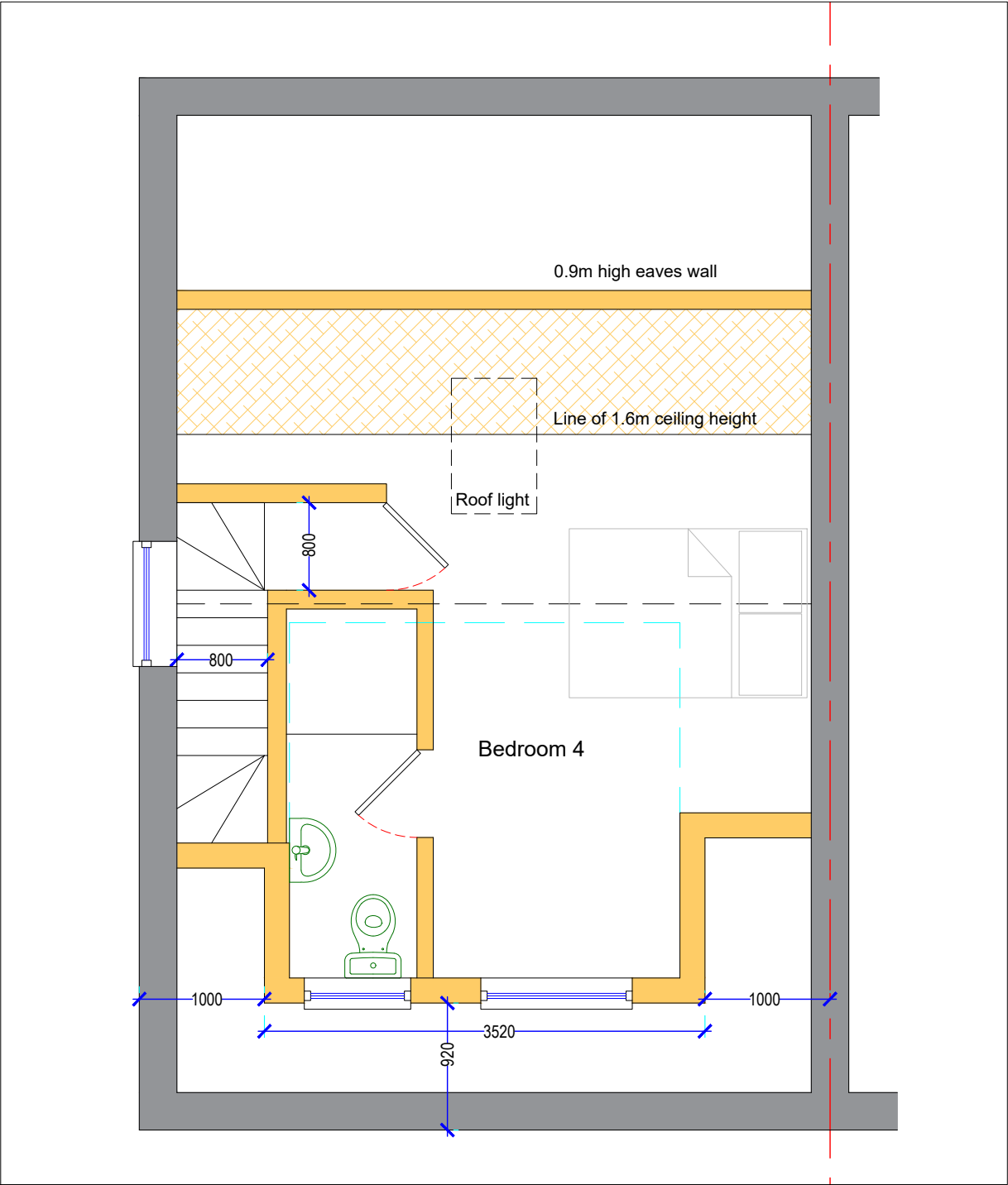
PLANNING ISSUE



Proposed First Floor Plan

New staircase from ground floor to 1st floor complete with newel posts and balustrading. Staircase to be designed by the manufacturer to fully comply with the Building Regulations. Minimum standard of stair tread to be 22mm. Provisionally, risers to be 211mm and goings to be 240mm.
Actual size of riser and tread for the proposed staircase to be confirmed on site prior to order by manufacturer/contractor to avoid any issues with headroom/pitch.
Handrail to be provided min. 900mm above pitch line of new staircase and to stairwell opening.
Balustrading to have no gaps in excess of 100mm.

New staircase from 1st floor to loft floor complete with newel posts and balustrading. Staircase to be designed by the manufacturer to fully comply with the Building Regulations. Minimum standard of stair tread to be 22mm. Provisionally, risers to be 220mm and goings to be 220mm.
Actual size of riser and tread for the proposed staircase to be confirmed on site prior to order by manufacturer/contractor to avoid any issues with headroom/pitch.
Handrail to be provided min. 900mm above pitch line of new staircase and to stairwell opening.
Balustrading to have no gaps in excess of 100mm.



Proposed Loft Floor Plan

Home owner to ensure their statutory duties under the Party Wall etc. Act 1996 are met before works proceed.

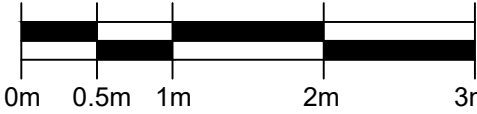
Prior to commencement of work, drawings to be approved and signed off by Planning and Building Control Inspector. All works to meet Local Authority's standards.
The contractor and home owner shall be responsible for notifying the Building Control Surveyor or Approved Inspector at each relevant stage of the works to ensure inspections have been made. All details to comply with current Building Regulations. No works to commence until plans have been approved by Building Control body, any works commenced before hand are the responsibility of the home owner.

All steelwork to be ordered only once the contractor has confirmed dimensions on site and positioning with client and designers. Any discrepancies shall be raised with the designers and Structural Engineer where required and written confirmation to proceed issues before ordering any steel work. No responsibility taken by designers or Structural Engineer for steels ordered with incorrect dimensions.

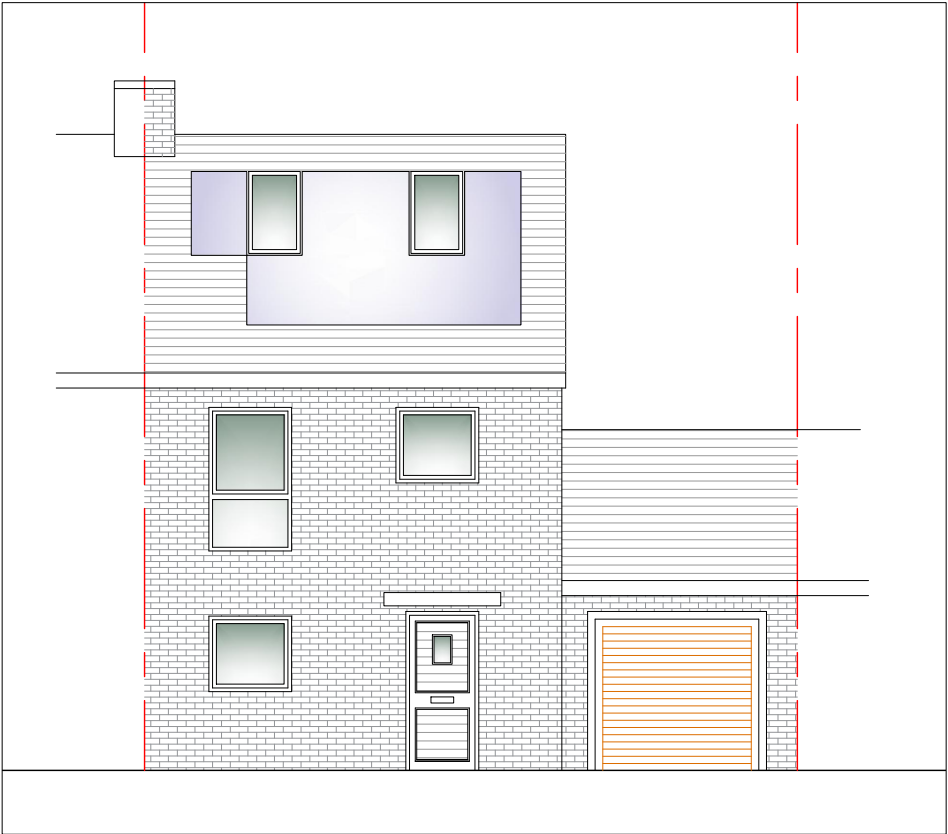
Any deviation from the approved plans are the responsibility of the client and contractor.

Any discrepancy between plans to be raised with the Designer as soon as identified.

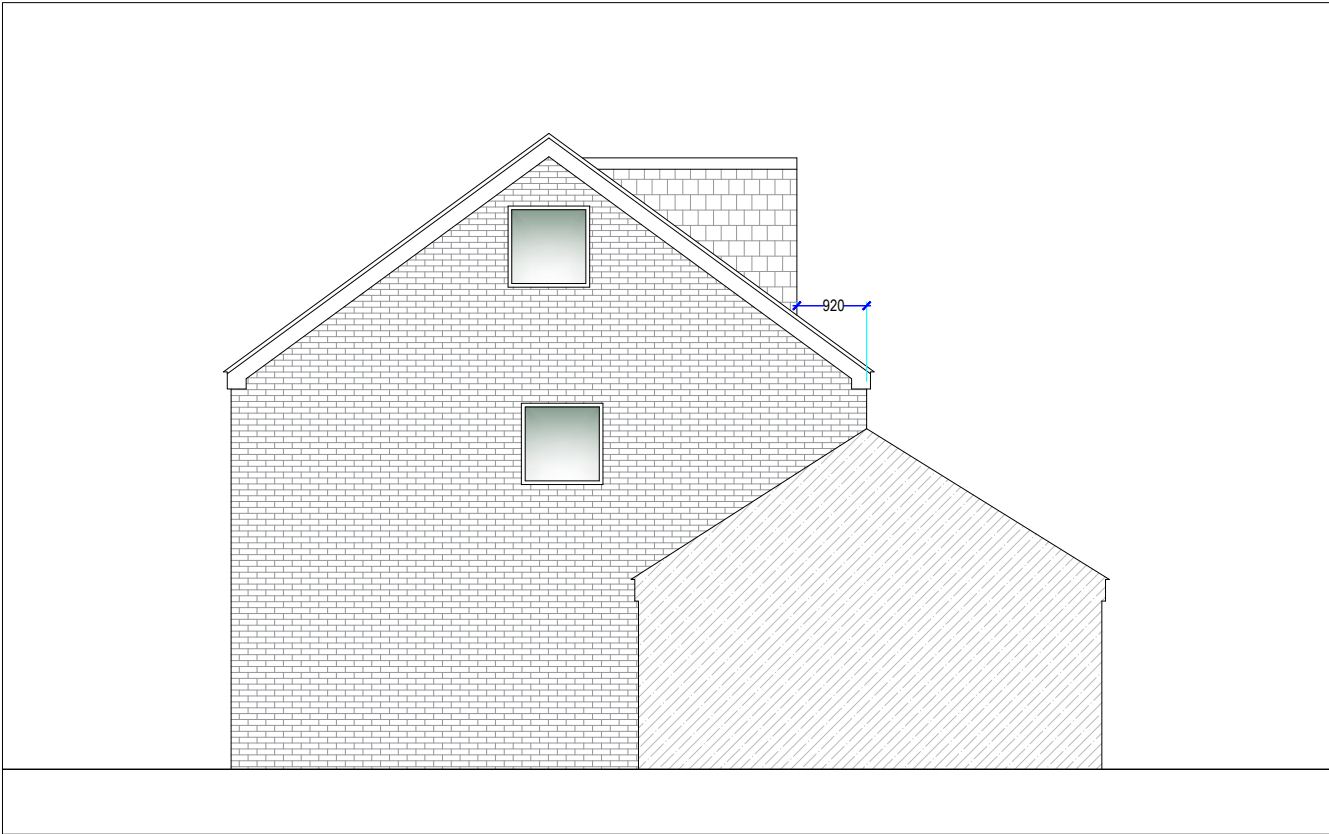
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3 Lawrence Grove				Proposed Floor Plans				Format:	A3
Uxbridge					Date:	June 2023			
UB10 0FF									



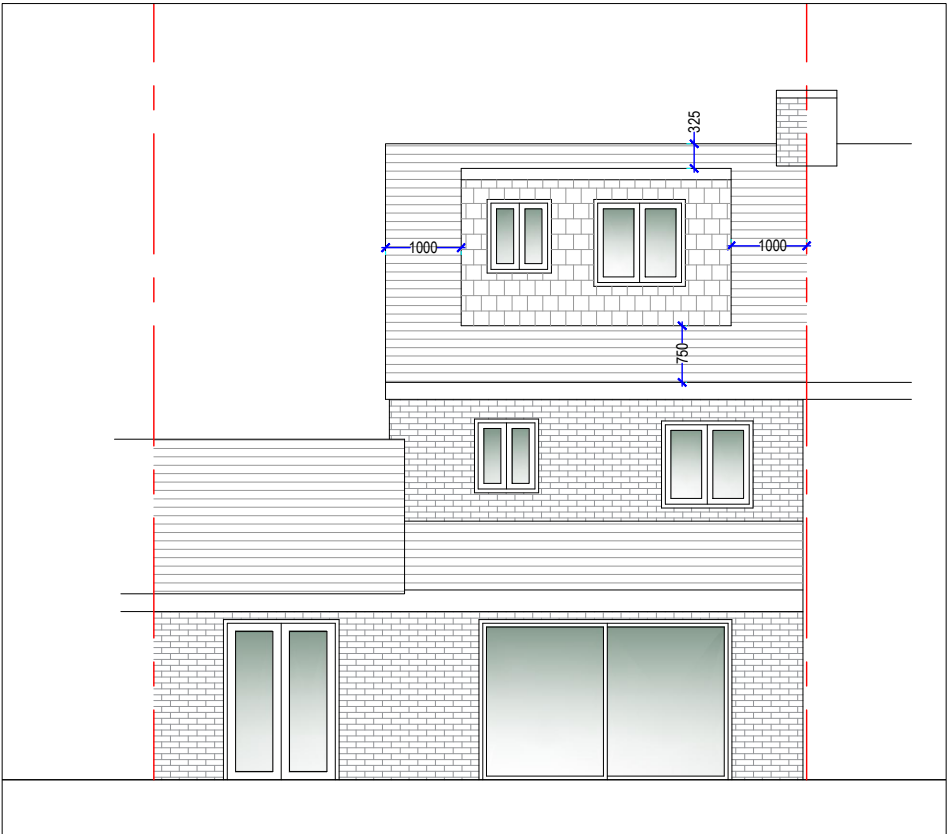
PLANNING ISSUE



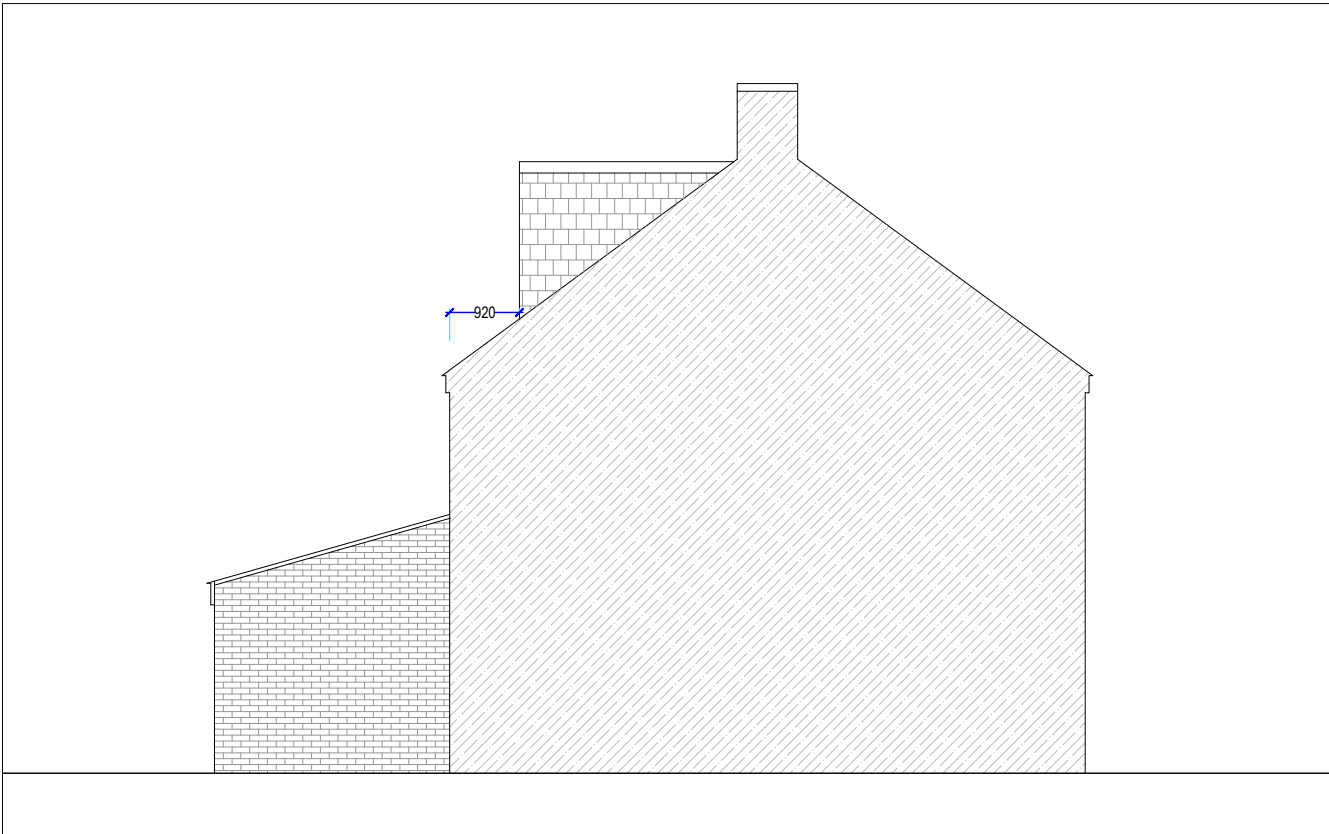
Existing Front Elevation



Existing Flank (east) Elevation



Existing Rear Elevation



Existing Flank (west) Elevation

Notes:

Windows to the proposed dormer shall be double glazed with grey UPVC frames to match the existing property. Final layout of openers and windows TBC. Window sizing to reflect the existing property in terms of their style, proportions and positioning. Proposed loft shower room window to be obscure glazed. Privacy glass can be considered to the rear elevation dormer windows.

Window to the flank elevation of the property shall be double glazed with grey UPVC frames to match the existing property.

Front elevation roof lights to project no more than 100mm above the line of the roof.

The external wall finishes of the dormer walls shall be red plain tiles hung vertically to match existing property main roof.

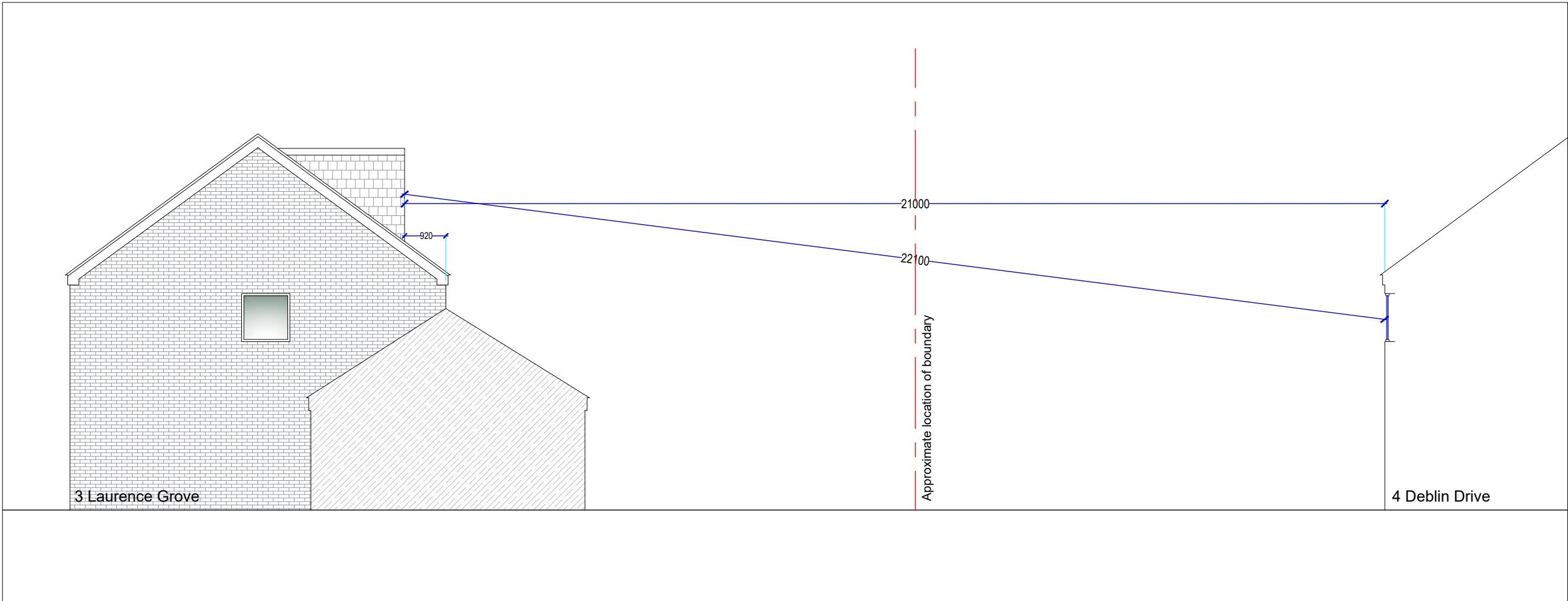
Rainwater goods shall consist of black UPVC half round gutters and circular 75mm dia. downpipes to match existing property.

Proposed flat roof to dormer to be bitumen felt.

Additional volume added by dormer
(2.7m² x 3.52m =) 9.5m³

Project:	Dwg No:	100PL-07	Client:	Title:					
3 Lawrence Grove Uxbridge UB10 0FF				Existing Elevations	Rev:	Date:	Amendments to:	Scale:	1:100
								Format:	A3
					Date: June 2023				

Notes:
Rear face of proposed loft dormer shall be
over 21m from opposing property



Project:	Dwg No:	100PL-08	Client:	Title:					
3 Lawrence Grove Uxbridge UB10 0FF				Proposed Flank Elevation	Rev:	Date:	Amendments to:	Scale:	1:100
								Format:	A3
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