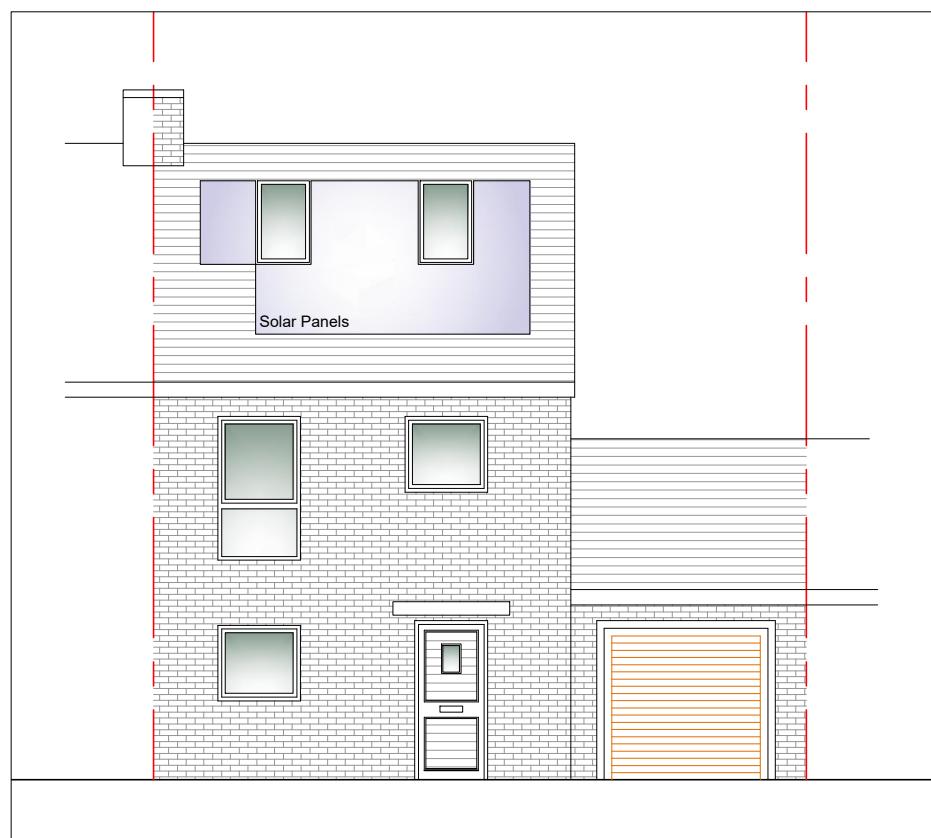
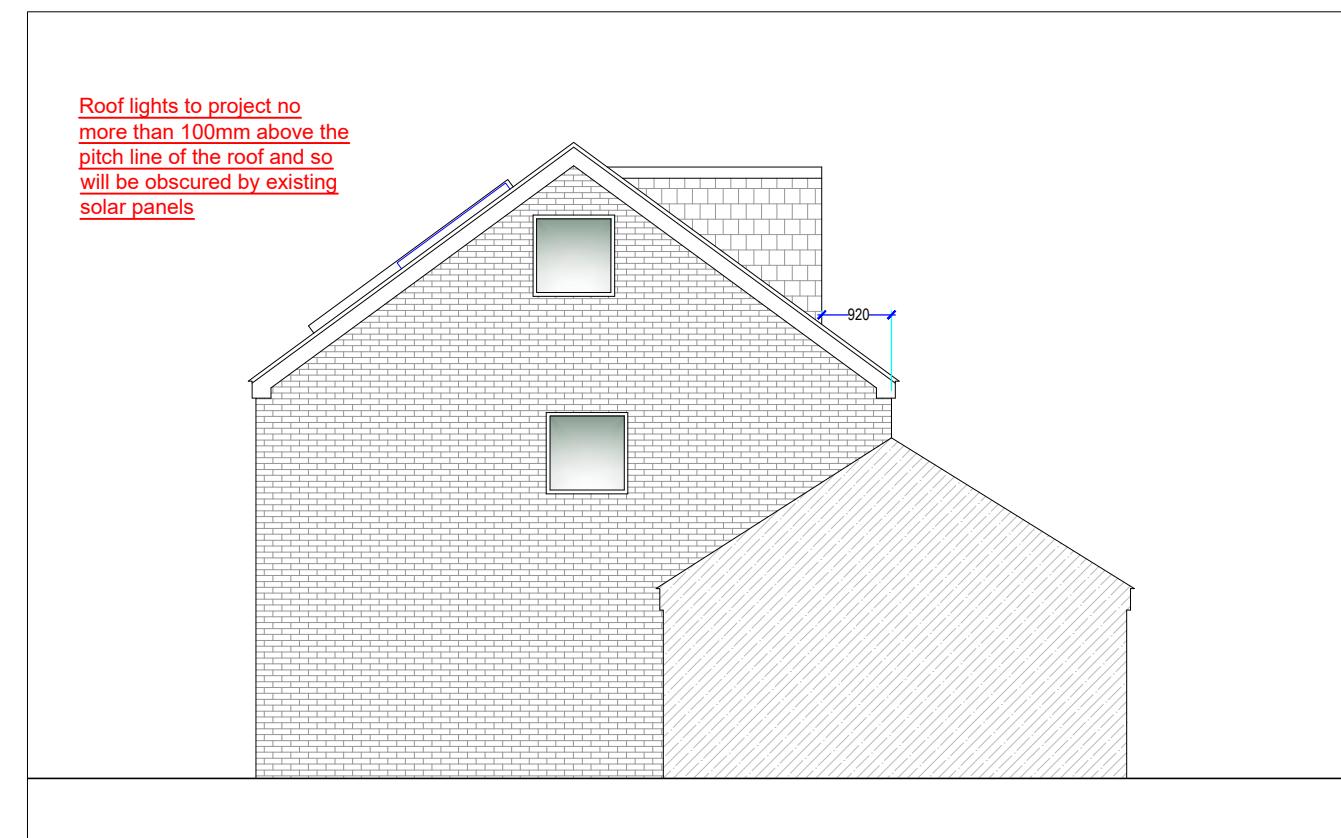


PLANNING ISSUE



Existing Front Elevation



Existing Flank (east) Elevation

Notes:
 Windows to the proposed dormer shall be double glazed with grey UPVC frames to match the existing property. Final layout of openers and windows TBC. Window sizing to reflect the existing property in terms of their style, proportions and positioning.
 Proposed loft shower room window to be obscure glazed.
 Privacy glass can be considered to the rear elevation dormer windows.

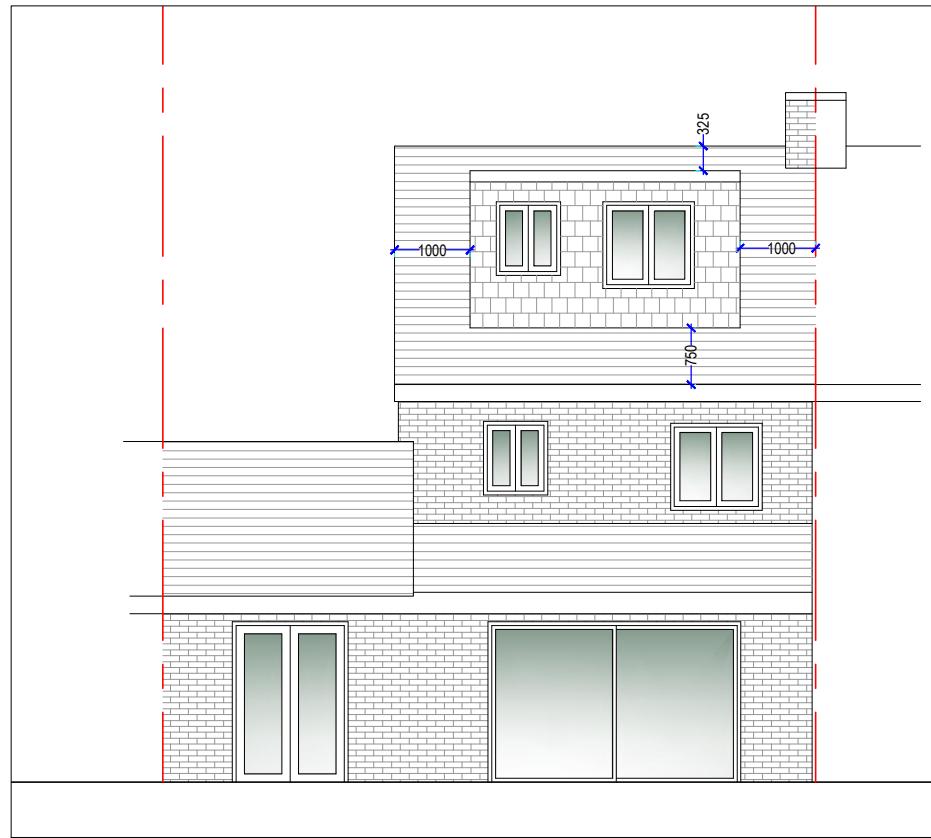
Window to the flank elevation of the property shall be double glazed with grey UPVC frames to match the existing property.

Front elevation roof lights to project no more than 100mm above the line of the roof.

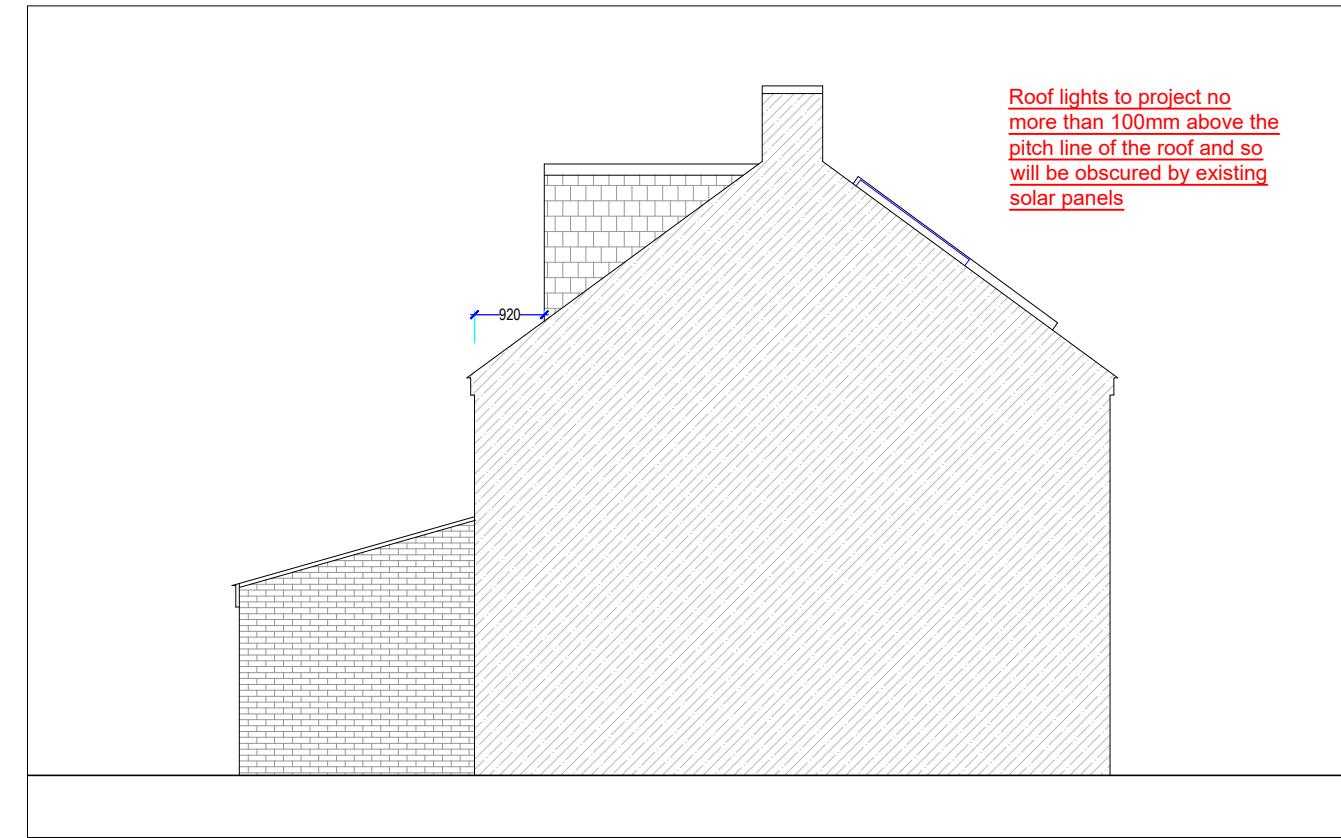
The external wall finishes of the dormer walls shall be red plain tiles hung vertically to match existing property main roof.

Rainwater goods shall consist of black UPVC half round gutters and circular 75mm dia. downpipes to match existing property.

Proposed flat roof to dormer to be bitumen felt.



Existing Rear Elevation



Existing Flank (west) Elevation

Additional volume added by dormer
 $(2.7m^2 \times 3.52m =) 9.5m^3$

Project:	Dwg No:	100PL-07	Client:	Title:	Amendments to:				Scale:	1:100
				Existing Elevations	Rev:	Date:	Amendments to:	Format:		
3 Lawrence Grove					A	21/10/2023	Roof lights, solar panels and notes in red	A3		
Uxbridge							Date:	June 2023		