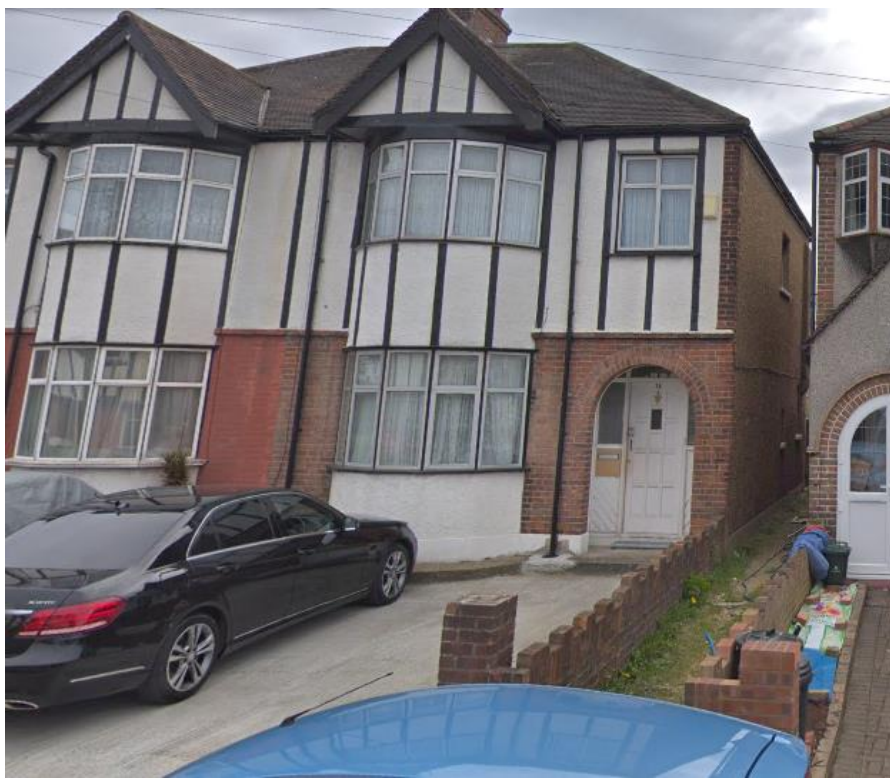


# **Design and Access Statement**



**APPLICANT:** MR JASVINDER BHATIA

**ADDRESS:** 14 DENZILOE AVENUE, HILLINGDON, MIDDLESEX. UB10 0ED

**PROPOSAL:** single storey rear extension and removal of storm arch shelter

**LOCAL AUTHORITY:** LONDON BOROUGH OF HILLINGDON

## **Policy Consideration**

When producing this statement, consideration has been given to National Planning Policy Framework, Daylight Calculations and Overshadowing, Hillingdon Design and Accessibility Statement (HDAS), The Town and Country Planning (General Permitted Development) (England) Order 2015, Permitted development rights for householders.

## **The Development**

The property subject to this application comprises of a 3-bedroom semi-detached two storey dwelling house located on the eastern side of Denziloe Avenue. The property benefits from a single storey detached outbuilding to the rear. The property has not been previously extended

The front of the site contains hardstanding providing off street parking for two cars enclosed with a brick wall to the side boundaries. To the rear is a large landscaped garden enclosed with timber fencing and foliage.

The properties on Denziloe Avenue are all of very dissimilar construction and design where building lines are not consistent.

The property does not fall under the auspices of:

- Area of outstanding natural beauty
- Green belt
- Conservation area

## **SITE CONSTRAINTS**

The site currently has 116m<sup>2</sup> of rear garden space, the proposed development leaves 75m<sup>2</sup>. This is in excess of the 60m<sup>2</sup> of garden space for this 3-bedroom property as detailed in Hillingdon Design and Access Statement – Residential Extensions 2006 - Section 3.13

There are further many open spaces and play areas locally as outlined in “*Effective use of Land*” heading below.

## **National Planning Policy Framework**

Section 2 subsection B of the National Planning Policy Framework clearly states that planning policy should be socially objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations.

This extension development falls directly under this remit – it is required to meet the owner's present family needs.

Section 11 further states that councils should assist homeowners in making "Planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses," the retained garden means that land will be used effectively without detriment to recreation space.

Section 11(D) further states councils should promote and support the development of *"under-utilised land and buildings, especially if this would help to meet identified needs for housing where land supply is constrained"* and available sites could be used more effectively.

The design proposed within this application is one that in no way affects the natural environment and given the high number of similar style developments in the area, will maintain the immediate style of architecture in the locality. The proposed design will meet all current UK building standards and regulations ensuring energy conservation is maintained to the highest possible levels.

Denziloe Avenue is a prime example of the above, and in an area where demand for housing is high and supply is limited, therefore this extension will clearly be in line with national planning policy that is encouraging such developments.

Due to the size of the garden and positioning of surrounding properties this extension cannot be viewed as overly bulky or out of line with character. This moderate addition to an existing family home will further have no impact upon community infrastructure.

## Extension Proposal

This relates to the submission of a householder planning application for a single storey rear extension and removal of arch to storm shelter.

The proposed development extends beyond the original house by 6 metres with a low-profile flat roof.

Nationally the Prior Approval Larger Home Extension would allow a property of this type to benefit from a rear extension of up to 6m deep. Hillingdon Council have reduced this to 4m by the use of an article 4 direction.

It is worth noting that the property has gained prior approval for the *erection of a single storey rear extension, which would extend beyond the rear wall of the original house by 4 metres, for which the maximum height would be 4 metres, and for which the height of the eaves would be 3 metres*. This is under application Ref: 73629/APP/2018/2128

In addition to the above, the site also benefitted from planning approval for a part 6m and part 4m rear extension. This has now expired.

The most recent refused application Ref: 73629/APP/2022/2594 was of a similar scheme to that outlined in this application, except this application has removed the redesign of the window bays. It is worth noting that application 73629/APP/2022/2594 had no objection to the rear extension and the redesign of the removal of the arched storm shelter. It was refused due to the redesign of the window bays.

This application focuses on a full 6m deep rear extension, I refer you to the day light calculations which clearly demonstrate no or very little effect on light or shadowing to either neighbour. These two neighbours on both sides will receive exactly the same amount of light as they do presently on both the longest and shortest day of the year.

The development is strictly incidental to the main house.

The extension has been sympathetically designed to ensure it does not have an unacceptable impact on the character of the area. The extension, by relation of its size, position and appearance in relation to neighbouring properties is not duly

obtrusive and detrimental to the outlook and amenities of all adjoining properties / occupiers. The development is at a semi -detached property and not located on a corner plot property; therefore, it is not an obtrusive hazard to pedestrians or motorists.

The visual amenities of the area that incorporate this development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **Effective Use of Land**

This development is purely to be used incidental to the main house. The main house is a three-bedroom semi-detached house to be occupied by a one family. The additional space that this extension provides is essential in today's growing households.

In line with The Hillingdon Design and Accessibility Statement (HDAS) Supplementary Planning Document section 4.9 sufficient garden space of 75m<sup>2</sup> is maintained once the development has been constructed.

The area of garden space that has been maintained is more than adequate for activities of a three-bedroom house. The recommended council garden space standard (4.9 UDP) stipulates for this three-bedroom property that 60 square metres should be retained. This therefore fully adheres to BE21 and BE23 as this development does not result in a significant loss of residential amenity. Therefore, this proposed extension does not create a depressing outlook detracting from any residential amenity.

### **Construction and Scale**

It is considered that the external appearance of the development is satisfactory as it complies with Policies BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

The development harmonises with the existing street scene and all materials used in the construction of the external surfaces of the development hereby match those used in the existing building and those materials used by numerous neighbouring buildings.

The construction materials that are to be used are appropriate for this garden extension and also keep in line with materials used on the adjacent and neighbouring buildings.

This development is in line with the standards set by Hillingdon HDAS and will have a maximum height of 3 metres from the virgin ground. Its sympathetic design and distance from neighbouring properties ensures that there is no unacceptable loss of light, outlook or visible intrusion experienced by neighbouring properties.

### **Overlooking**

No additional windows, doors or other openings will be constructed in the walls or roof of the development other than those on the enclosed plans.

There are no windows that will face 12 or 16 Denziloe Avenue from this proposed development, therefore there is no issue regarding overlooking. The owner of both properties will still benefit from complete privacy and enjoyment of their respective properties.

This development has strictly been designed to ensure that it prevents overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007). There will be no openings that face directly into neighbouring properties.

### **Daylight / Sunlight**

The development is placed so that adequate daylight and sunlight can penetrate into and between it, into all areas of existing neighbouring houses.

A comprehensive daylight survey has been carried out on both the longest and shortest days of the year this clearly shows that the sun has no significant overshadowing or overbearing effect on the neighbouring properties.

Any loss of light or shadowing would be so insignificant compared to the current extension that it does not warrant withholding planning permission.

## **CONCLUSION**

The property benefits from permission under the Prior Approval Larger Home Extension scheme for a 4m deep rear extension. In addition to this, the site also benefitted from planning permission for a part 6m and part 4m rear extension. This has now expired.

It is worth noting that the most recent refused application had no objections with the scheme detailed in this application.

This application is for a single storey rear extension and removal of storm arch shelter.

I refer you to the daylight calculations; this demonstrates the effects of both extensions during the shortest and longest day of the year (21<sup>st</sup> June 2022 & 22<sup>nd</sup> December 2021 and at different times of the day). It is clear that the effect is so minimal that it does not warrant withholding planning permission.

The 6-metre addition will be out of view of the occupants at no 16 by the existing 2 high metre fencing (which can be erected without planning permission). It is also considered that the 6-metre addition is not likely to cause significantly more overshadowing or loss of light than that already caused by the fencing. That said a cut out section will be reduced to a maximum height of 2m along number 16.

Currently the appellant and his mother (aged 75) live in two separate 3 bedroom houses in Hillingdon and Ealing Borough. The proposed development would allow the appellant, his family and his mother to move into one property. This will allow the appellant to provide care to his elderly mother (which has increased with time). It will also allow the family to live together which will free up two properties in the same or neighbouring borough.

This directly and/or indirectly contributes towards the much-needed affordable housing in London for which all Local Authorities are under tremendous pressure to deliver.

The proposed development would be carried out using materials of the same or similar appearance to that of the rear elevation of the original house. The flat roof construction provides a low-profile roof reducing any chances of overshadowing or loss of light.

The glazing to the rear elevation of the proposed extension will match the existing uPVC fitted to the original house. There are proposals for 2 roof windows; however, there will not be any window openings to either side of the proposed development (which face no 12 & 16). Therefore, there will not be any loss of privacy or concerns of overlooking into the neighbours gardens/properties.

The view of the proposed elevations is extremely limited from the street/footpath area. The rear elevation faces a private shared alleyway; the proposed development would be approximately 40 metres away from the residents of Parkfield Avenue which runs in parallel to Denziloe Avenue. The proposed development extends 2 metres beyond the single storey rear extension at no 12.

I refer you to the day light calculations, this outlines any overshadowing effects of a 4-metre-deep extension (already approved) alongside the proposed development. This document includes a fence of 2 metre in height which can be erected without planning permission.

It is evident that due to the orientation of the sun in relation to the positioning of the site that the proposed development would not be detrimental to the amenities of the residents at no 16. Any loss of light or shadowing would be so insignificant compared to a 4-metre extension and that it does not warrant withholding planning permission.

It is also worth noting that 3 separate applications for a single storey rear extension were submitted in 2018, amongst the 3 applications the Council did not receive one objection to any of the proposed developments. More importantly, this includes the immediate neighbours. The same applies to the recent refused application in 2022.

The view of this development from the street will be extremely limited. Furthermore, with the permission of the occupant at no 12, the appellant intends to install a 2-metre-high gate between no 12 & 14; this is to provide additional security. That said, this will further reduce the already limited view of the proposed development\rear garden area.

It is worth noting that the original house located at 18 Denziloe Avenue also is not symmetrical to that of neighbouring properties. The original house at No 18 has been



set back by approximately 2 metres from the surrounding properties. Furthermore, it has an approximate 4-metre-deep single story rear extension to the original house. The rear extension at no 18 terminates at approximately the same location as that in the proposed plans for no 14.

**End.**