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Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
- A	Preliminary Issue Planning Issue	06/02/2020 25/03/2020

KEY	
Proposed walls	Boundary lines
Existing walls	Proposed beam
Existing removed	Proposed drainage
Proposed rooflight	1.8m head height
	1.5m head height

JOB TITLE
Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS
Planning

DRAWING TITLE
Existing Floor Plans

CLIENT
Naynesh Patel

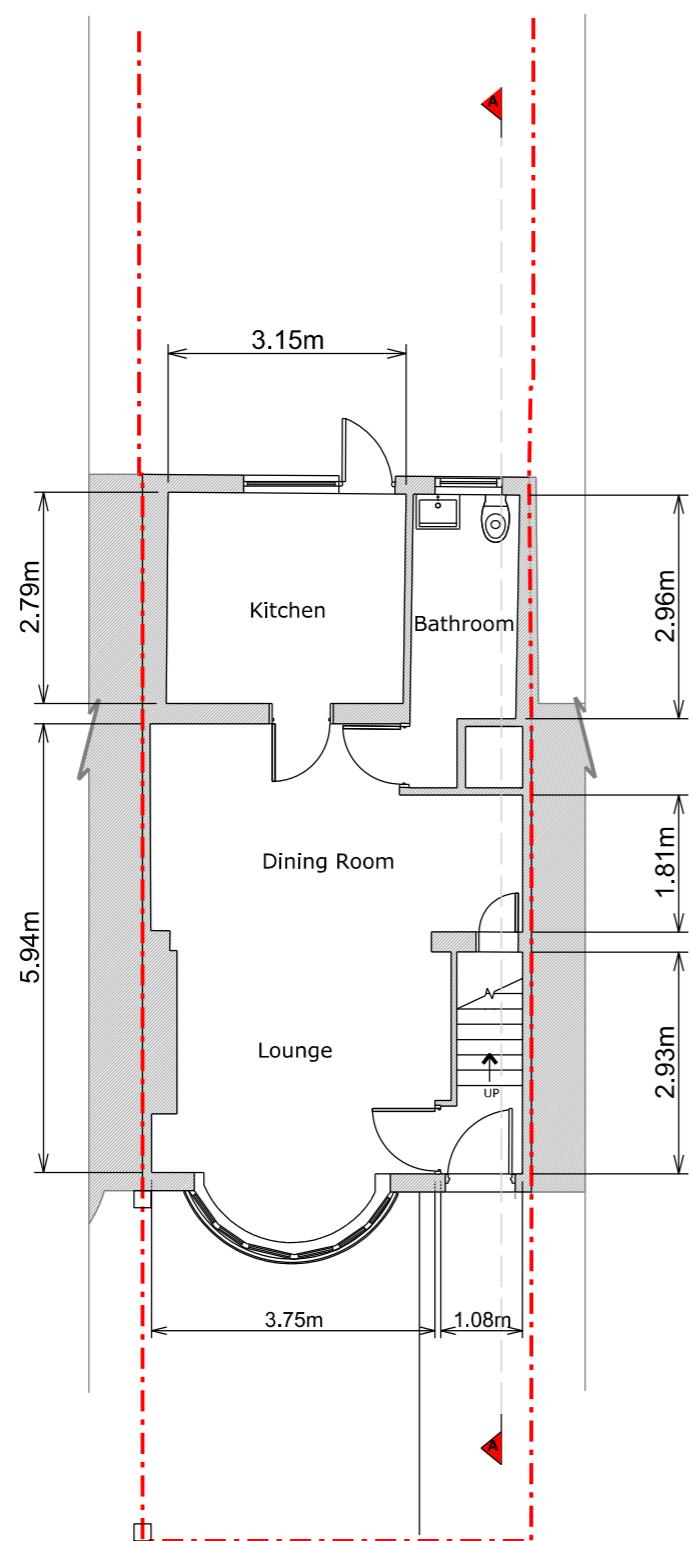
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HD

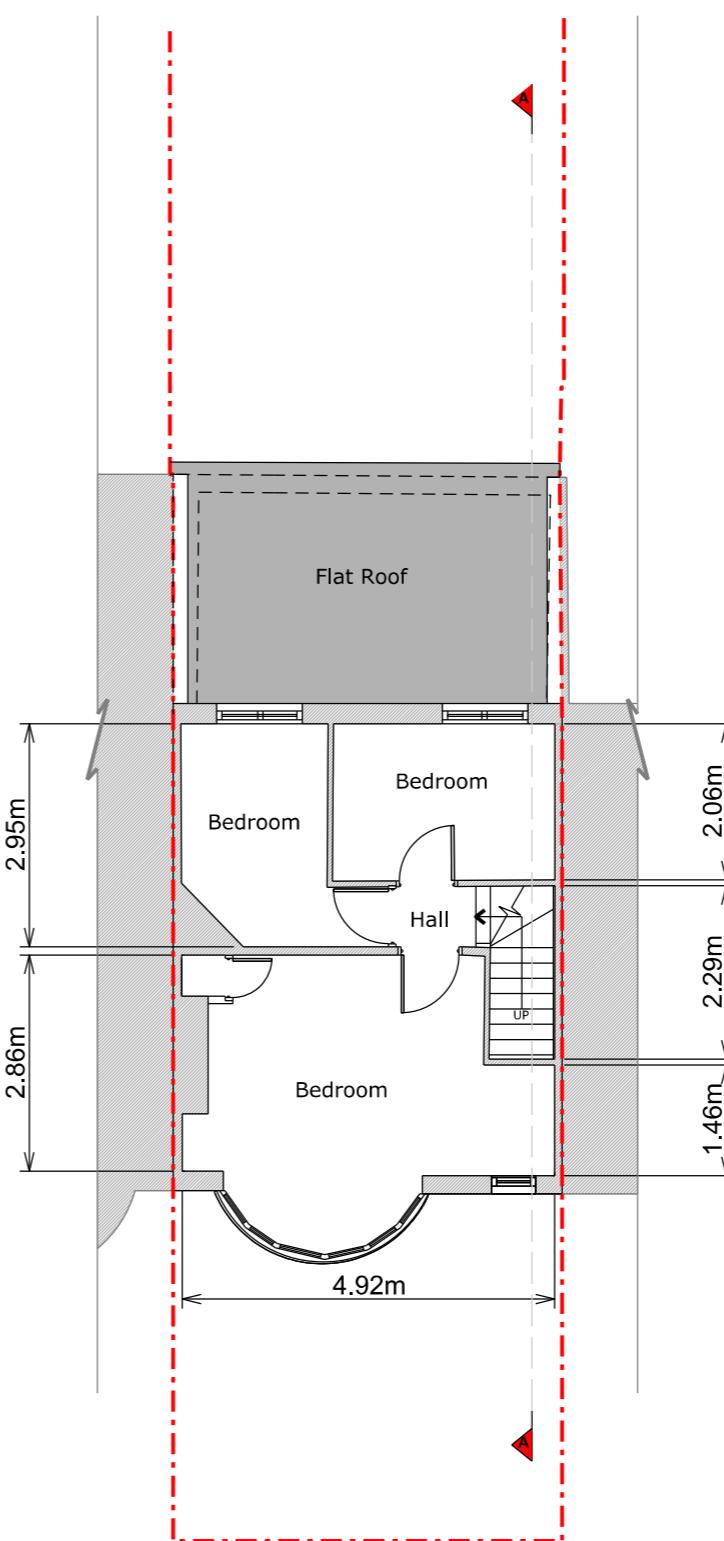
DATE
March 2020

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OC

DRAWING NO. 36240 - 01 - 101A



0 1.0 2.0 5.0 10.0 metres



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JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS

Planning

DRAWING TITLE

Existing Floor & Roof Plan

CLIENT

Naynesh Patel

SCALE

1:100 at A3

DRAWN

HD

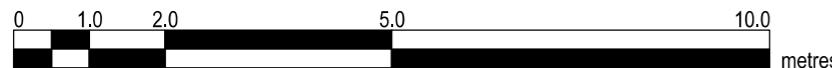
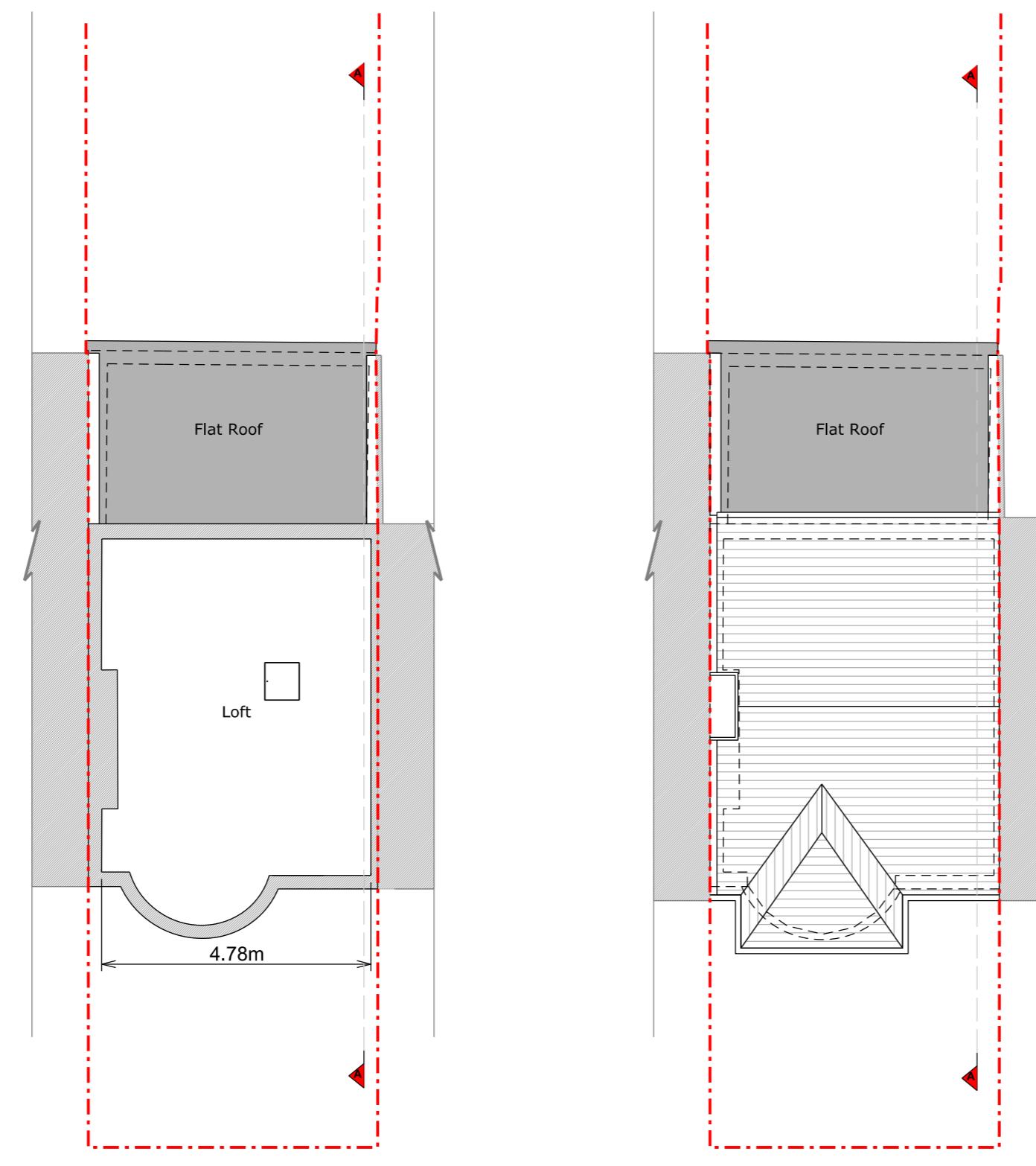
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DRAWING NO. 36240 - 01 - 102A



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NOTES

Materials:

Brickwork / Walls - Pebbledash, white painted brick and red brick

Pitched Roof - Concrete tiles

Windows - White uPVC framed windows

Doors - White painted timber and uPVC glazed doors

RWP / Gutters / Fascia - Black/white uPVC downpipes and guttering and black painted timber fascias

Revision

Rev	Notes	Date
-	Preliminary Issue	06/02/2020
A	Planning Issue	25/03/2020

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JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS

Planning

DRAWING TITLE

Existing Elevations

CLIENT

Naynesh Patel

SCALE

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DATE

March 2020

CHECKED
OC

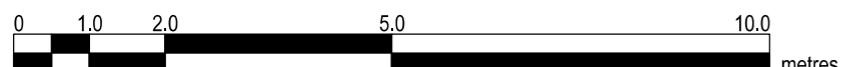
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Front Elevation



Rear Elevation



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NOTES

Materials:

Brickwork / Walls - Pebbledash, white painted brick and red brick

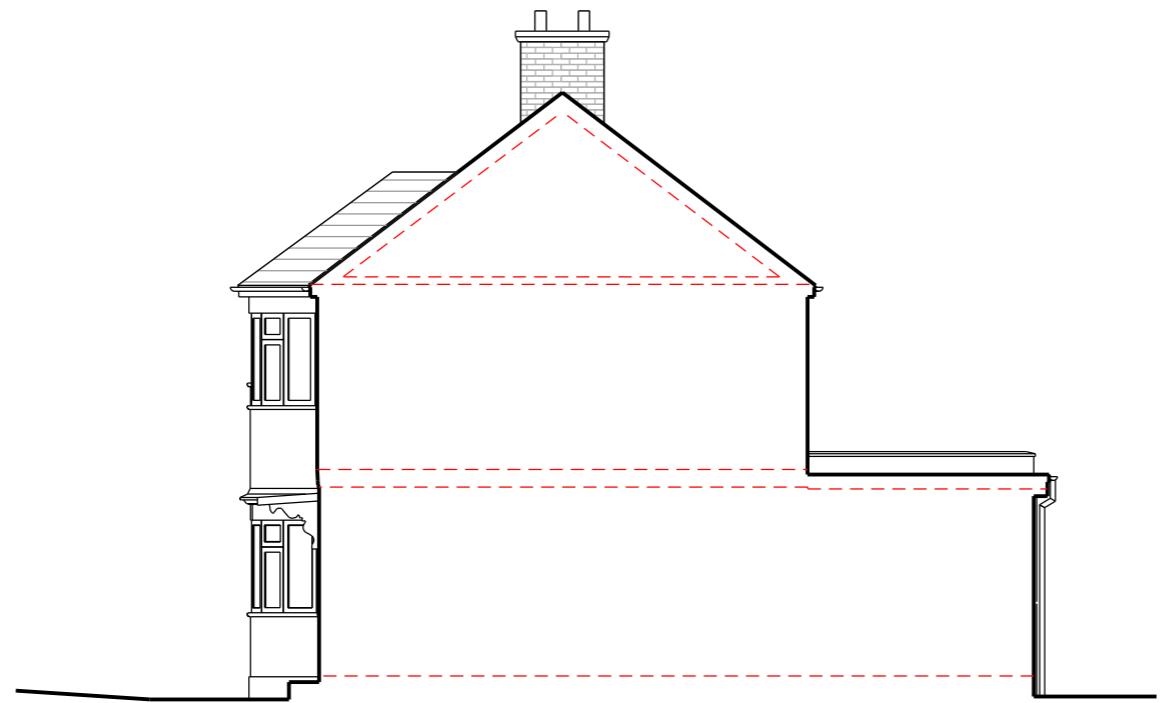
Pitched Roof - Concrete tiles

Flat Roof - Fibreglass

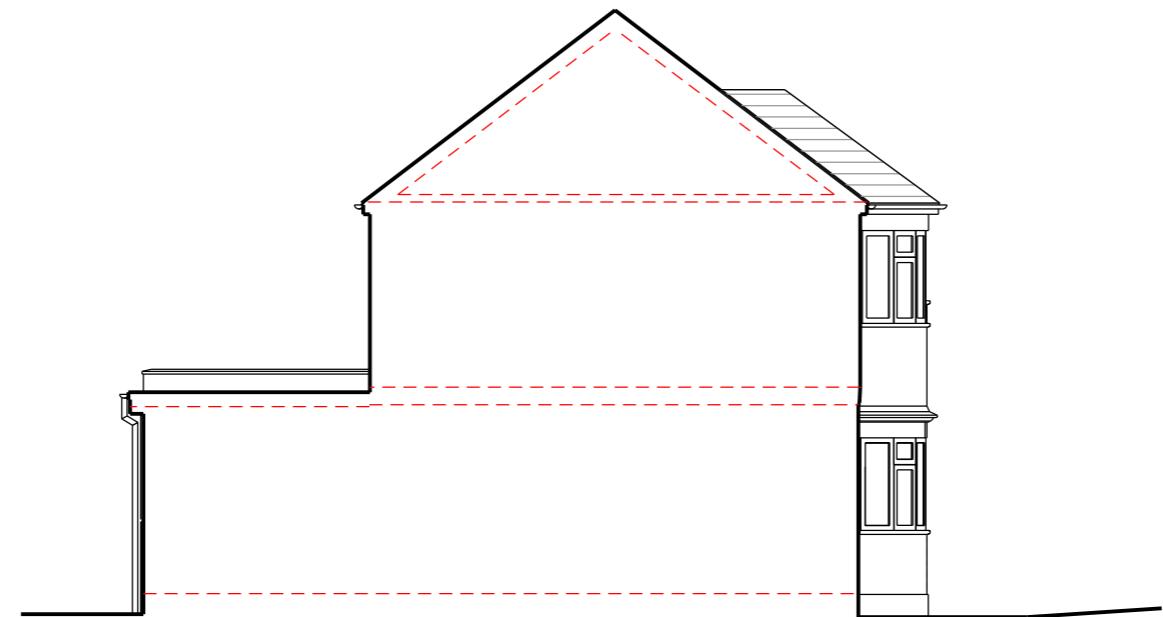
Windows - White uPVC framed windows

Doors - White painted timber and uPVC glazed doors

RWP / Gutters / Fascia - Black/white uPVC downpipes and guttering and black painted timber fascias



Right Side Elevation



Left Side Elevation



Revision

Rev	Notes	Date
- A	Preliminary Issue Planning Issue	06/02/2020 25/03/2020

KEY

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		—	1.5m head height

JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS

Planning

DRAWING TITLE

Existing Elevations

CLIENT

Naynesh Patel

SCALE
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DATE
March 2020

CHECKED
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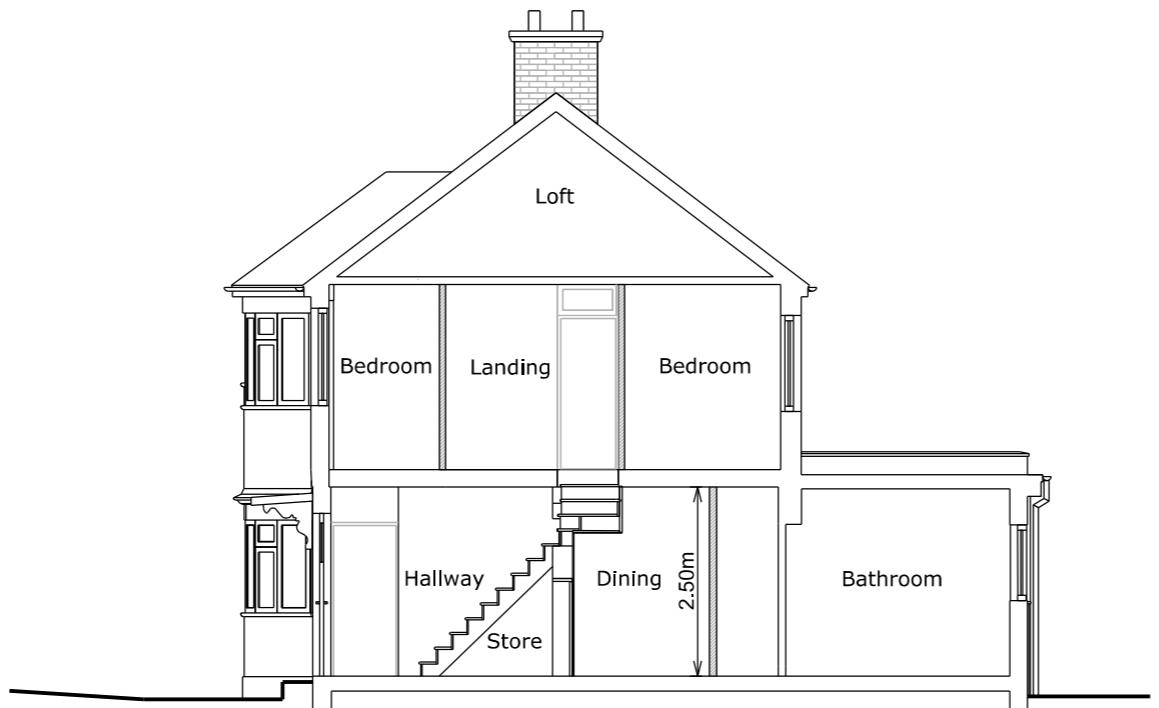
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NOTES



Section A - A

Revision

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JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS

Planning

DRAWING TITLE

Existing Section

CLIENT

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	1.5m head height

JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS

Planning

DRAWING TITLE

Proposed Floor Plans

CLIENT

Naynesh Patel

SCALE

1:100 at A3

DRAWN

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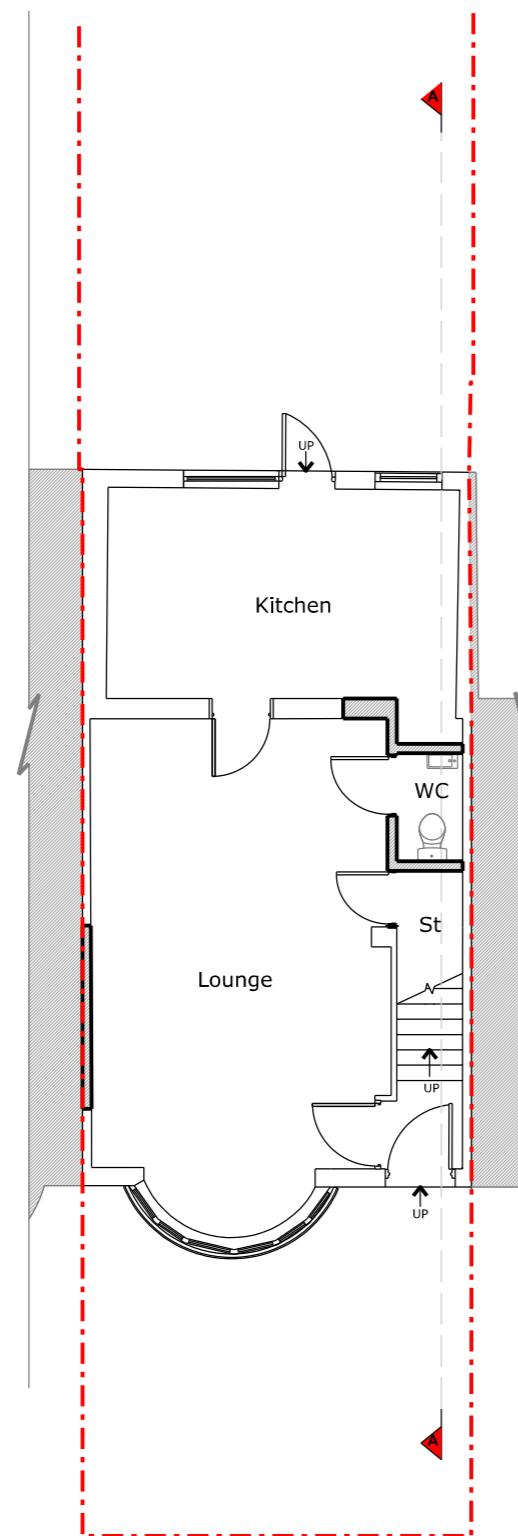
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Ground Floor Plan

0 1.0 2.0 5.0 10.0 metres



First Floor Plan

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JOB TITLE
Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS
Planning

DRAWING TITLE
Proposed Floor & Roof Plan

CLIENT
Naynesh Patel

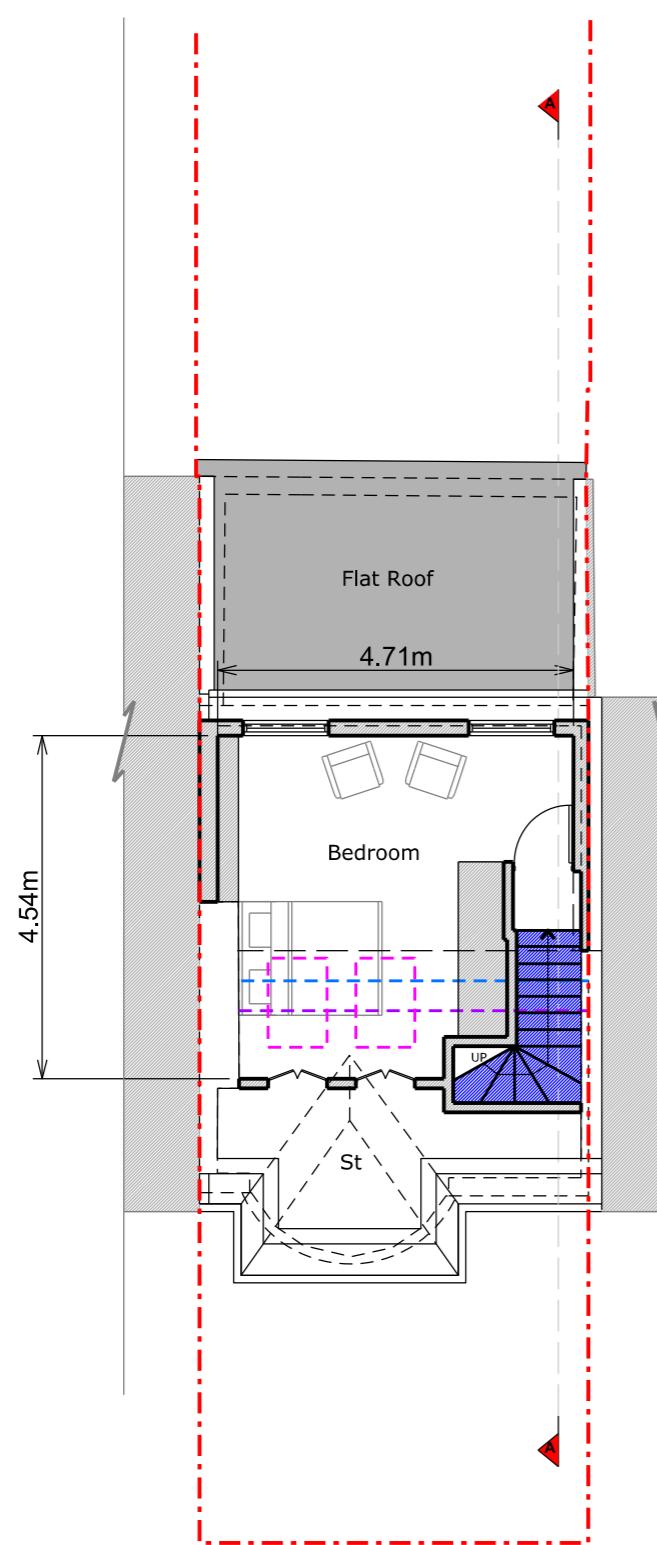
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March 2020

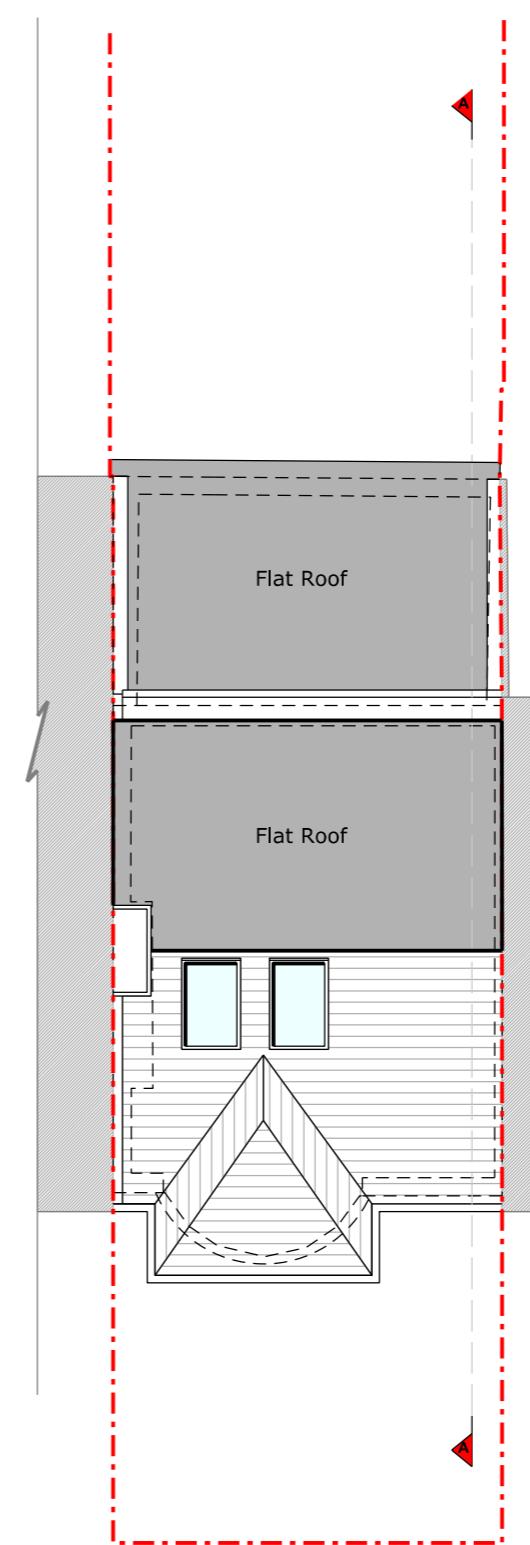
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DRAWING NO. 36240 - 01 - 104A



Loft Plan

0 1.0 2.0 5.0 10.0 metres



Roof Plan

Dormer will not project above the existing ridgeline

Total Volume Calculation

Total allowance: 40cbm

Rooflights will not project 150mm above ridgeline

Main dormer: $5.18m \times 3.53cbm = 18.28cbm$

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Print to scale (as actual size)

NOTES

Materials:

Dormer Walls - Hung tiles to match existing roof

Flat Roof - Fibreglass

Windows - uPVC framed windows to match existing and rooflights

RWP / Gutters / Fascia - Black/white uPVC downpipes and guttering and uPVC fascias

Revision

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JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

STATUS

Planning

DRAWING TITLE

Proposed Elevations

CLIENT

Naynesh Patel

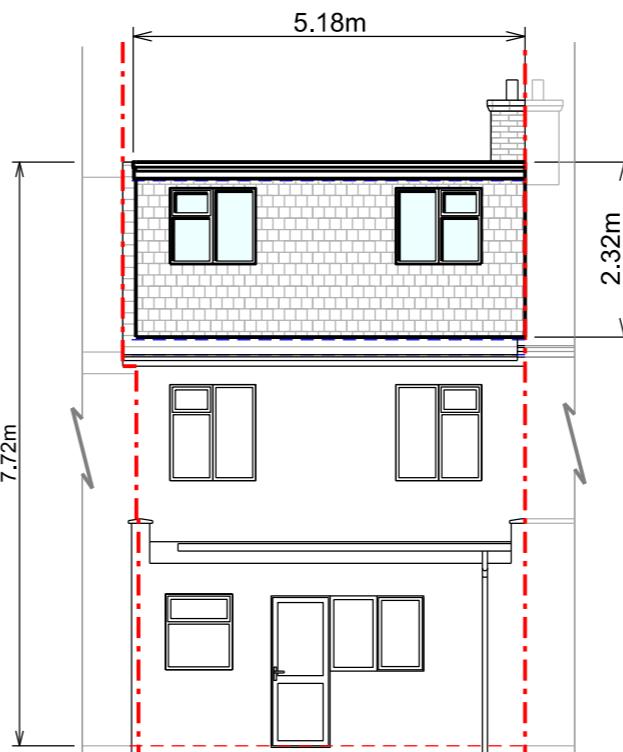
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DATE March 2020 CHECKED OC

DRAWING NO. 36240 - 01 - 201A



Front Elevation



Rear Elevation

0 1.0 2.0 5.0 10.0 metres

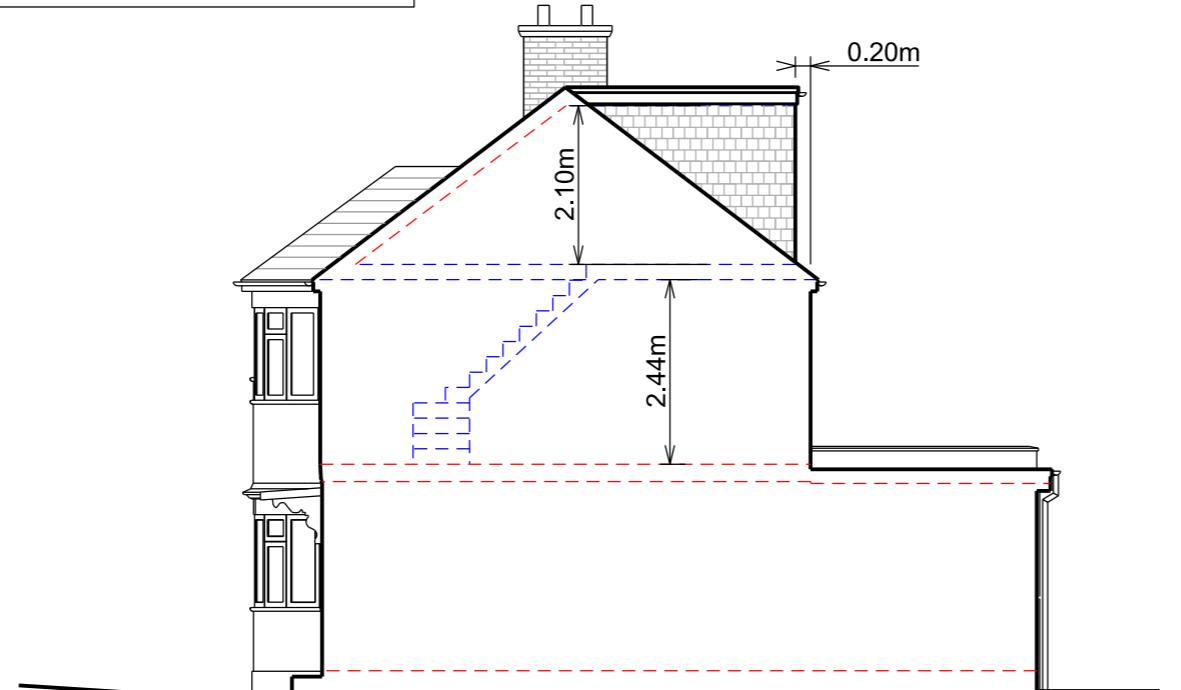
Dormer will not project above the existing ridgeline

Total Volume Calculation

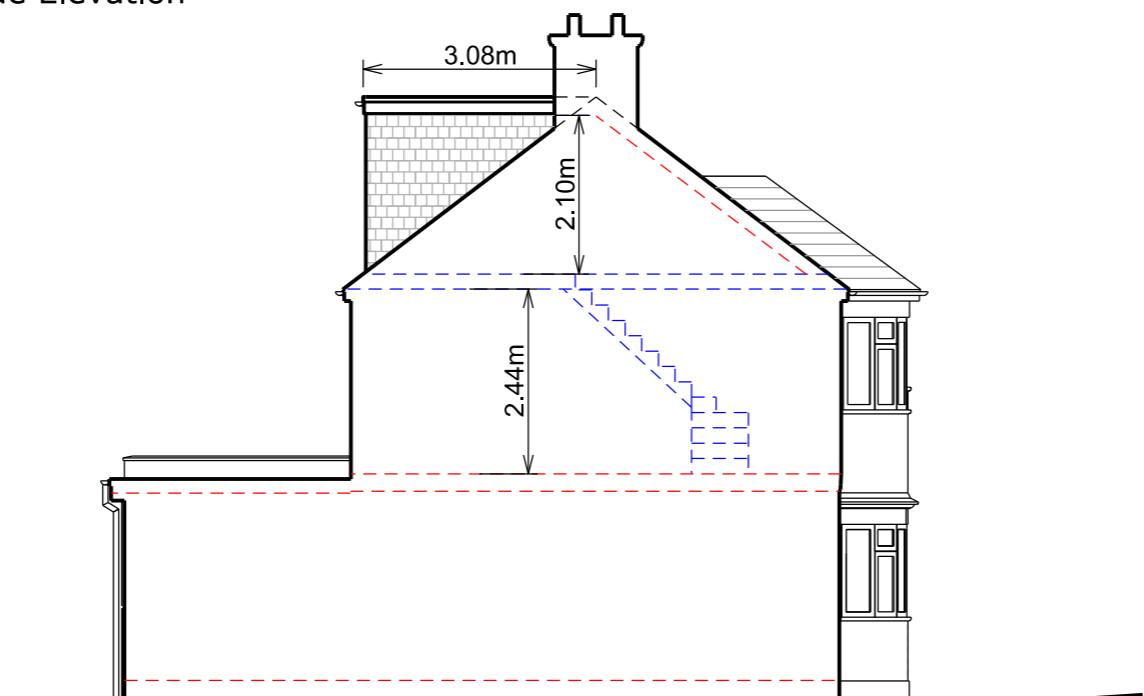
Total allowance: 40cbm

Rooflights will not project 150mm above ridgeline

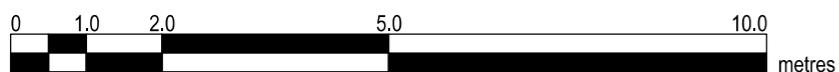
Main dormer: $5.18m \times 3.53cbm = 18.28cbm$



Right Side Elevation



Left Side Elevation



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JOB TITLE

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STATUS

Planning

DRAWING TITLE

Proposed Elevations

CLIENT

Naynesh Patel

SCALE 1:100 at A3 DRAWN HD

DATE March 2020 CHECKED OC

DRAWING NO. 36240 - 01 - 203A

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Total Volume Calculation

Total allowance: 40cbm

Rooflights will not project 150mm above ridgeline

Main dormer: $5.18m \times 3.53cbm = 18.28cbm$

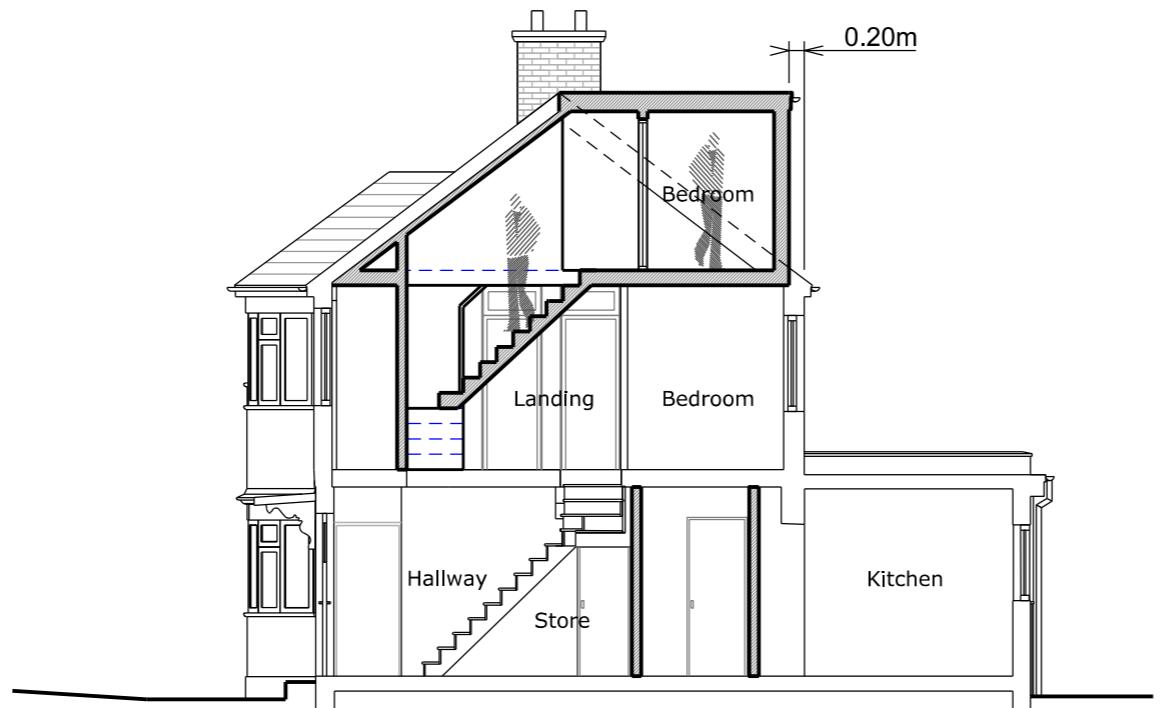
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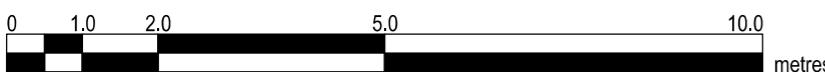
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NOTES



Section A - A



Revision

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STATUS

Planning

DRAWING TITLE

Proposed Section

CLIENT

Naynesh Patel

SCALE

1:100 at A3

DRAWN

HD

DATE

March 2020

CHECKED

OC

DRAWING NO. 36240 - 01 - 302A