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Print to scale (as actual size)

#### NOTES

#### Revision

Rev	Notes	Date
-	Preliminary Issue	06/02/2020
A	Planning Issue	25/03/2020

#### KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

#### JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

#### STATUS

Planning

#### DRAWING TITLE

Existing Floor Plans

#### CLIENT

Naynesh Patel

#### SCALE

1:100 at A3

#### DRAWN

HD

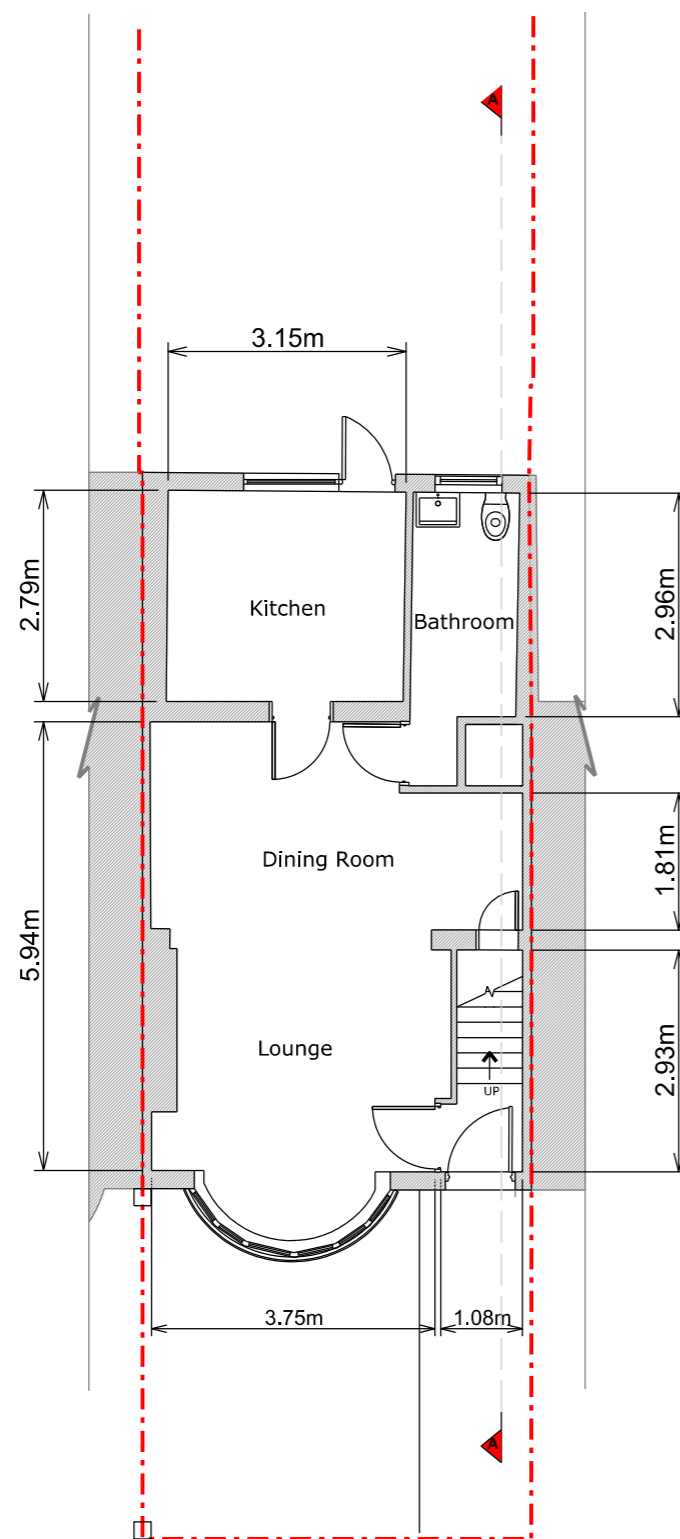
#### DATE

March 2020

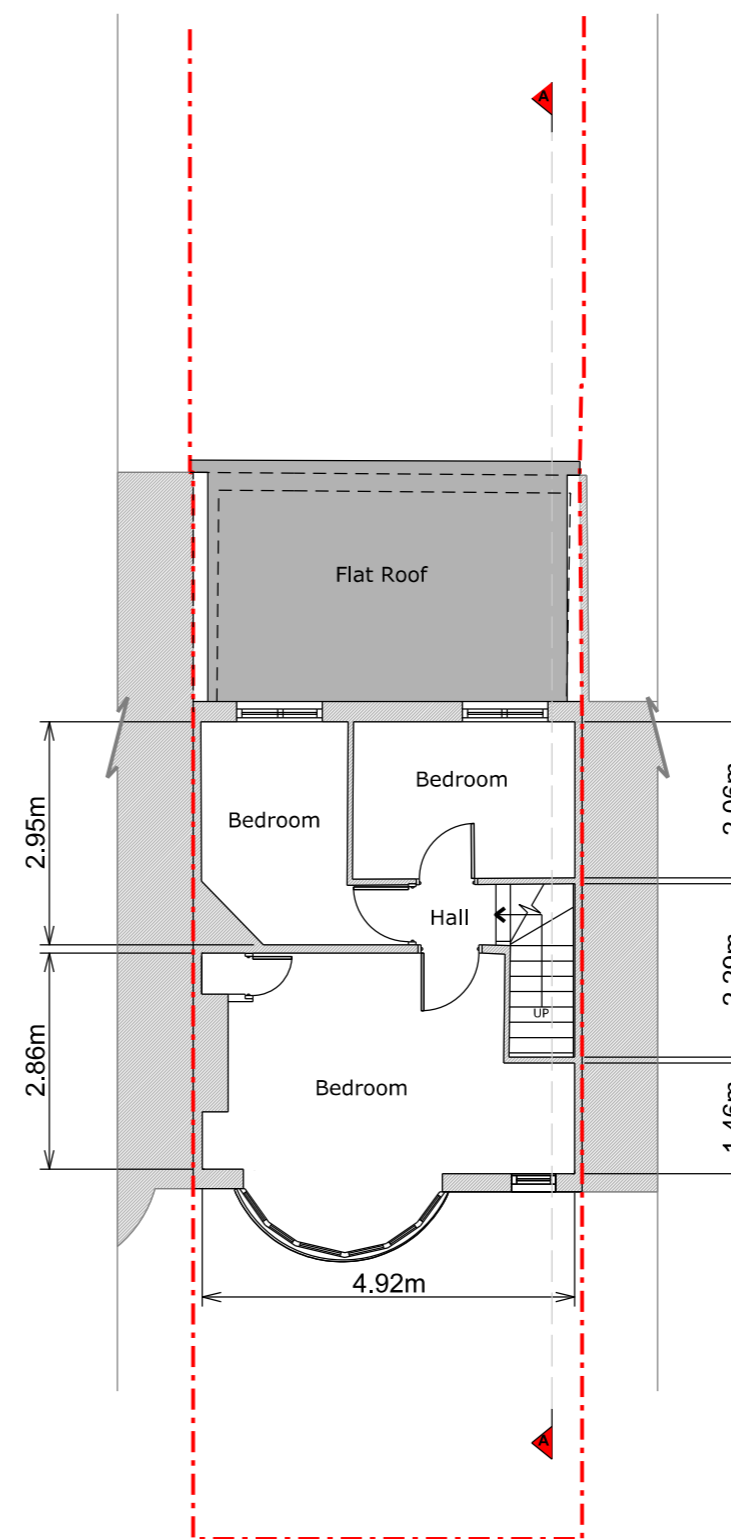
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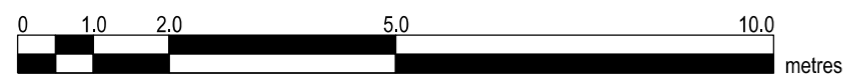
DRAWING NO. 36240 - 01 - 101A



Ground Floor Plan



First Floor Plan



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**JOB TITLE**  
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**STATUS**  
Planning

**DRAWING TITLE**  
Existing Floor & Roof Plan

**CLIENT**  
Naynesh Patel

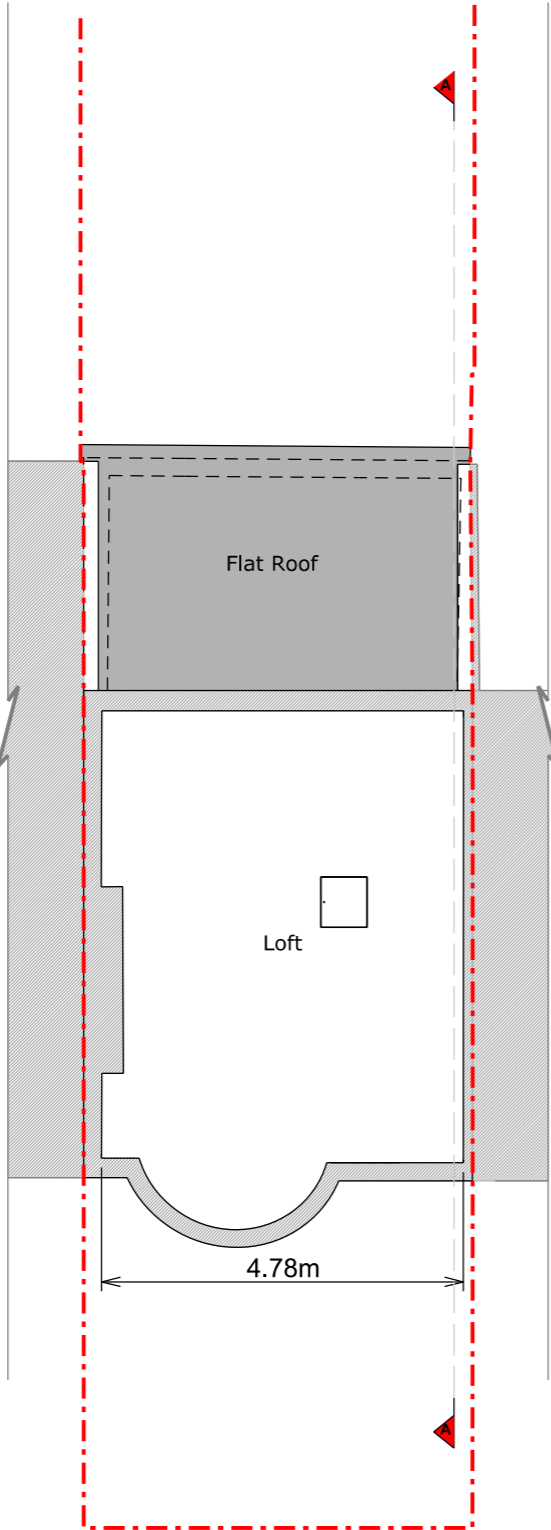
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HD

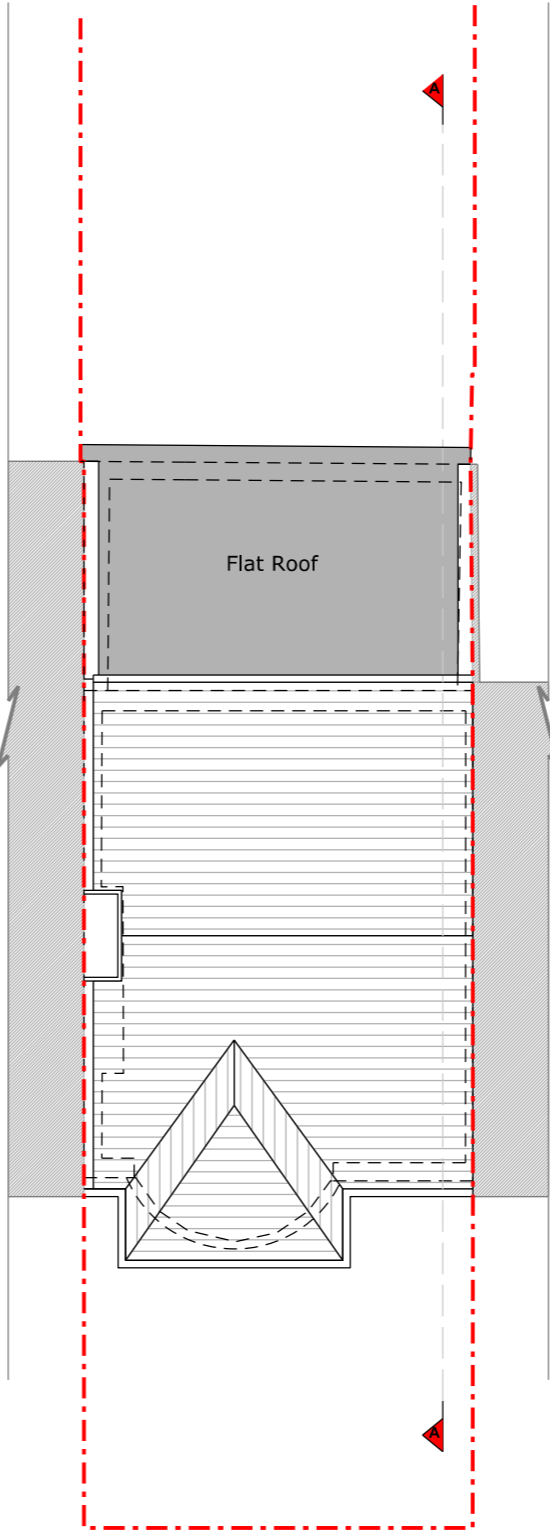
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March 2020

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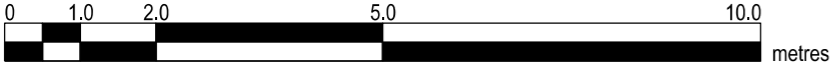
**DRAWING NO.** 36240 - 01 - 102A



Loft Plan



Roof Plan





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NOTES

- Materials:
- Brickwork / Walls - Pebbledash, white painted brick and red brick
- Pitched Roof - Concrete tiles
- Windows - White uPVC framed windows
- Doors - White painted timber and uPVC glazed doors
- RWP / Gutters / Fascia - Black/white uPVC downpipes and guttering and black painted timber fascias

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-	Preliminary Issue	06/02/2020
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- Existing removed
- Proposed rooflight
- Boundary lines
- Proposed beam
- Proposed drainage
- 1.8m head height
- 1.5m head height

**JOB TITLE**  
Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

**STATUS**  
Planning

**DRAWING TITLE**  
Existing Elevations

**CLIENT**  
Naynesh Patel

**SCALE**  
1:100 at A3

**DRAWN**  
HD

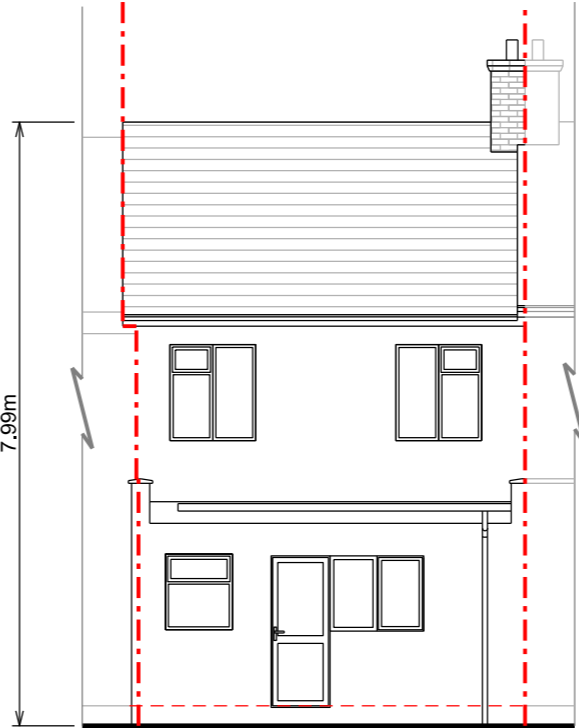
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March 2020

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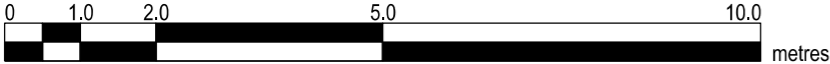
**DRAWING NO.** 36240 - 01 - 201A



Front Elevation



Rear Elevation



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## NOTES

### Materials:

Brickwork / Walls - Pebbledash, white painted brick and red brick

Pitched Roof - Concrete tiles

Flat Roof - Fibreglass

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Doors - White painted timber and uPVC glazed doors

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## JOB TITLE

Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

## STATUS

Planning

## DRAWING TITLE

Existing Elevations

## CLIENT

Naynesh Patel

## SCALE

1:100 at A3

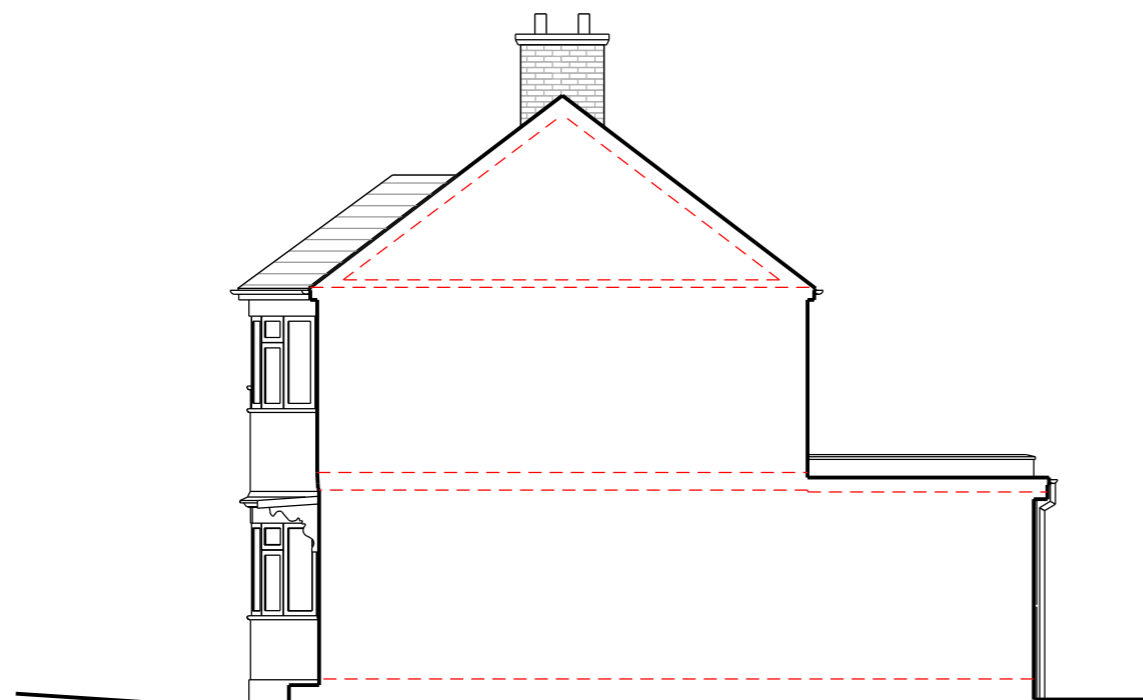
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March 2020

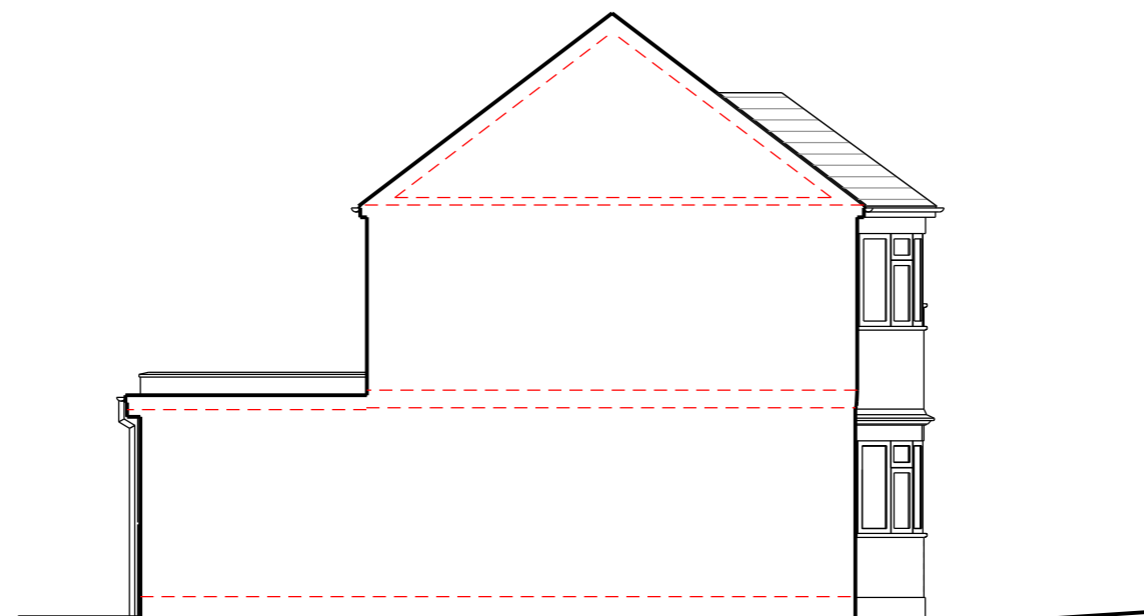
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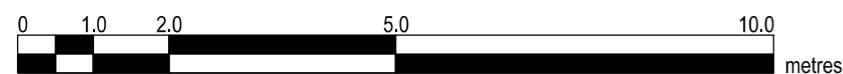
DRAWING NO. 36240 - 01 - 202A



Right Side Elevation



Left Side Elevation





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**JOB TITLE**  
Proposed loft conversion  
complete with dormer and all  
associated works at 52 Chelston  
Road

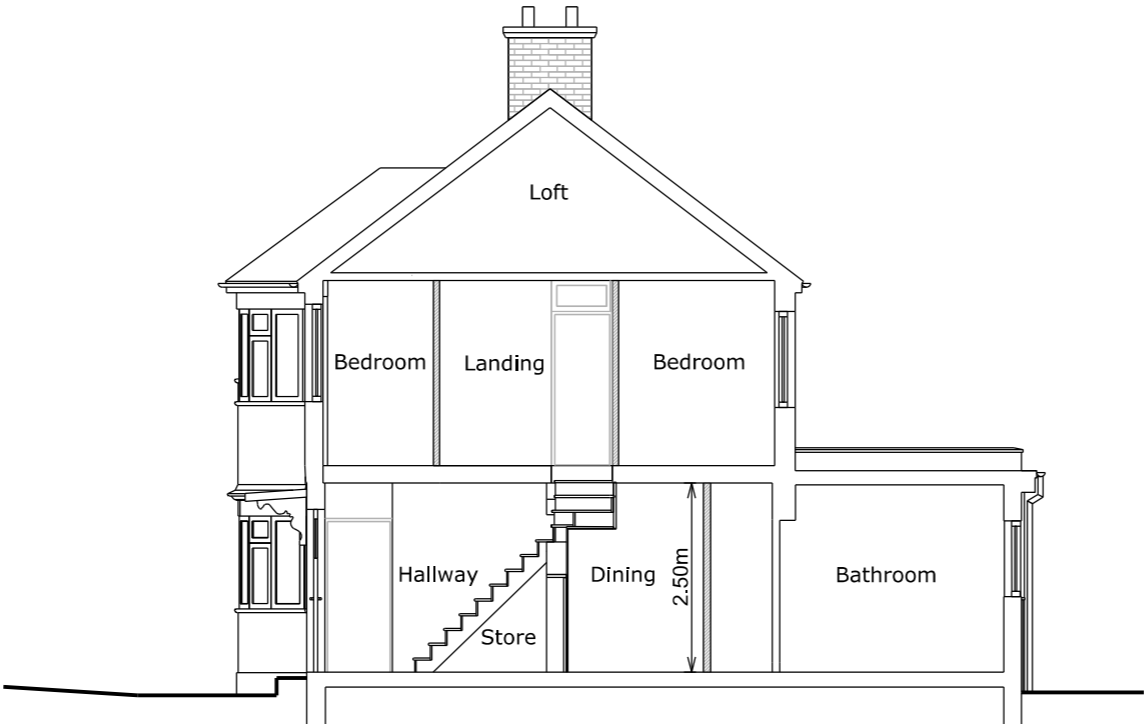
**STATUS**  
Planning

**DRAWING TITLE**  
Existing Section

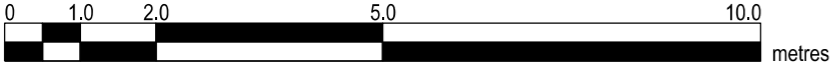
**CLIENT**  
Naynesh Patel

<b>SCALE</b> 1:100 at A3	<b>DRAWN</b> HD
<b>DATE</b> March 2020	<b>CHECKED</b> OC

**DRAWING NO.** 36240 - 01 - 301A



Section A - A



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Print to scale (as actual size)

## NOTES

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Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

## STATUS

Planning

## DRAWING TITLE

Proposed Floor Plans

## CLIENT

Naynesh Patel

## SCALE

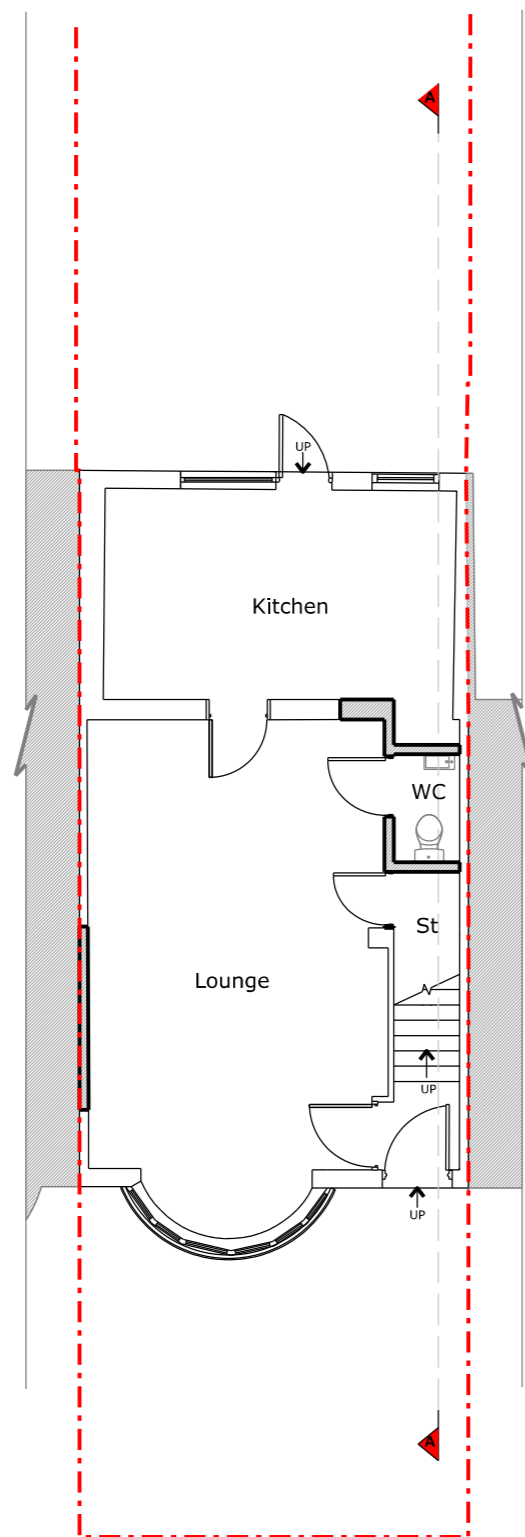
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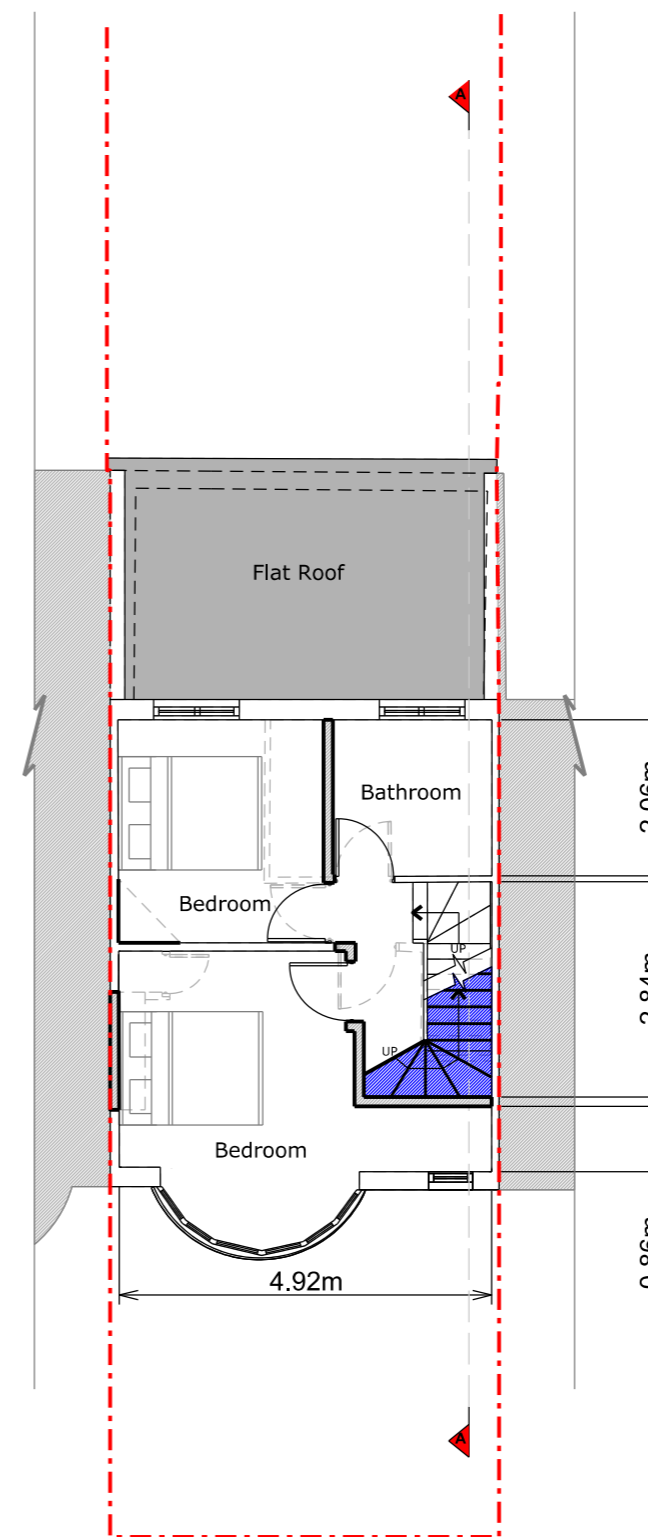
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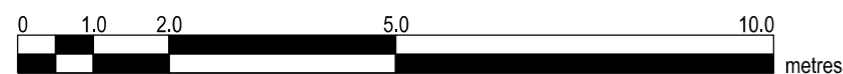
36240 - 01 - 103A



Ground Floor Plan



First Floor Plan



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	Proposed rooflight
	Existing walls
	Existing removed

**JOB TITLE**  
Proposed loft conversion complete with dormer and all associated works at 52 Chelston Road

**STATUS**  
Planning

**DRAWING TITLE**  
Proposed Floor & Roof Plan

**CLIENT**  
Naynesh Patel

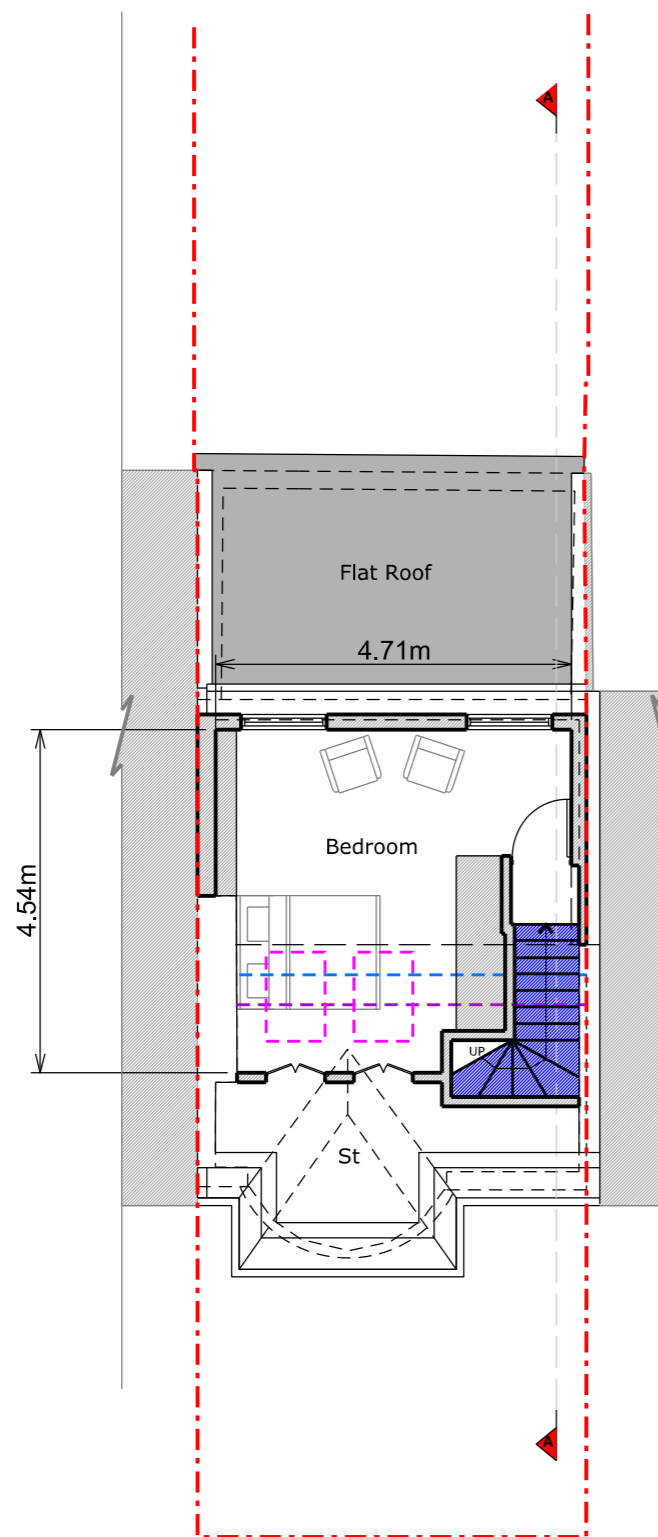
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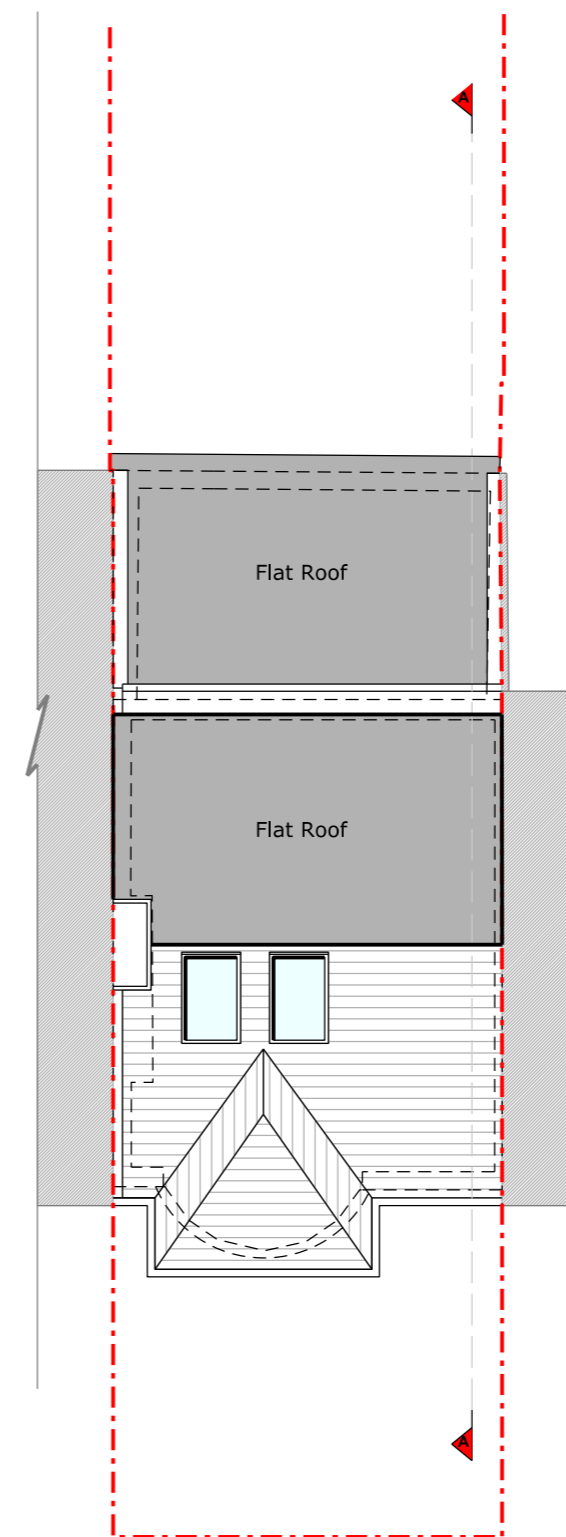
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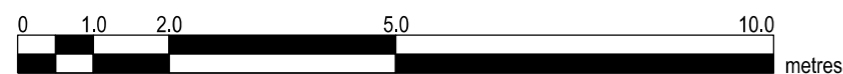
**DRAWING NO.** 36240 - 01 - 104A



Loft Plan



Roof Plan



Dormer will not project above the existing ridgeline

Rooflights will not project 150mm above ridgeline

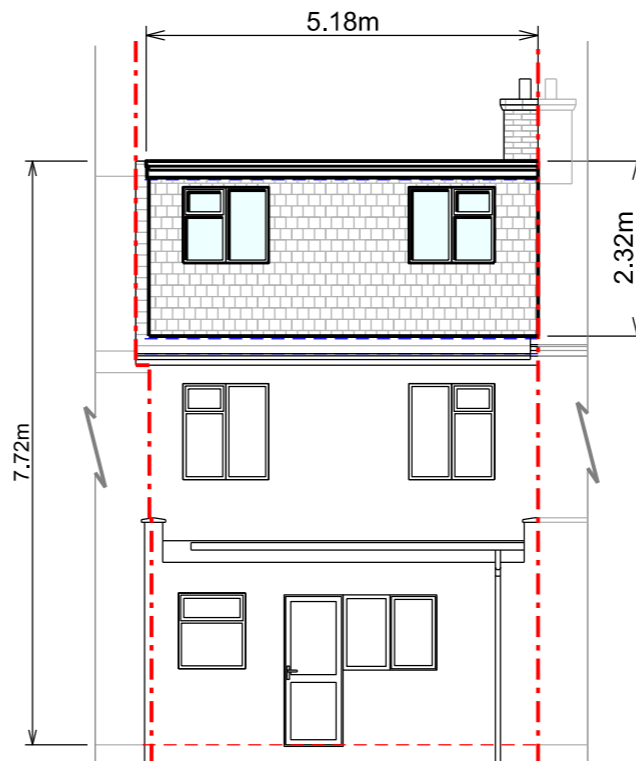
Total Volume Calculation

Total allowance: 40cbm

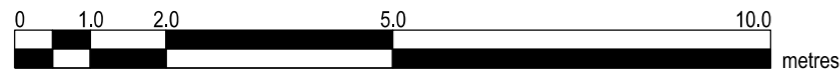
Main dormer: 5.18m x 3.53cbm = 18.28cbm



Front Elevation



Rear Elevation



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NOTES

Materials:

Dormer Walls - Hung tiles to match existing roof

Flat Roof - Fibreglass

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Planning

**DRAWING TITLE**  
Proposed Elevations

**CLIENT**  
Naynesh Patel

**SCALE**  
1:100 at A3

**DRAWN**  
HD

**DATE**  
March 2020

**CHECKED**  
OC

**DRAWING NO.** 36240 - 01 - 201A

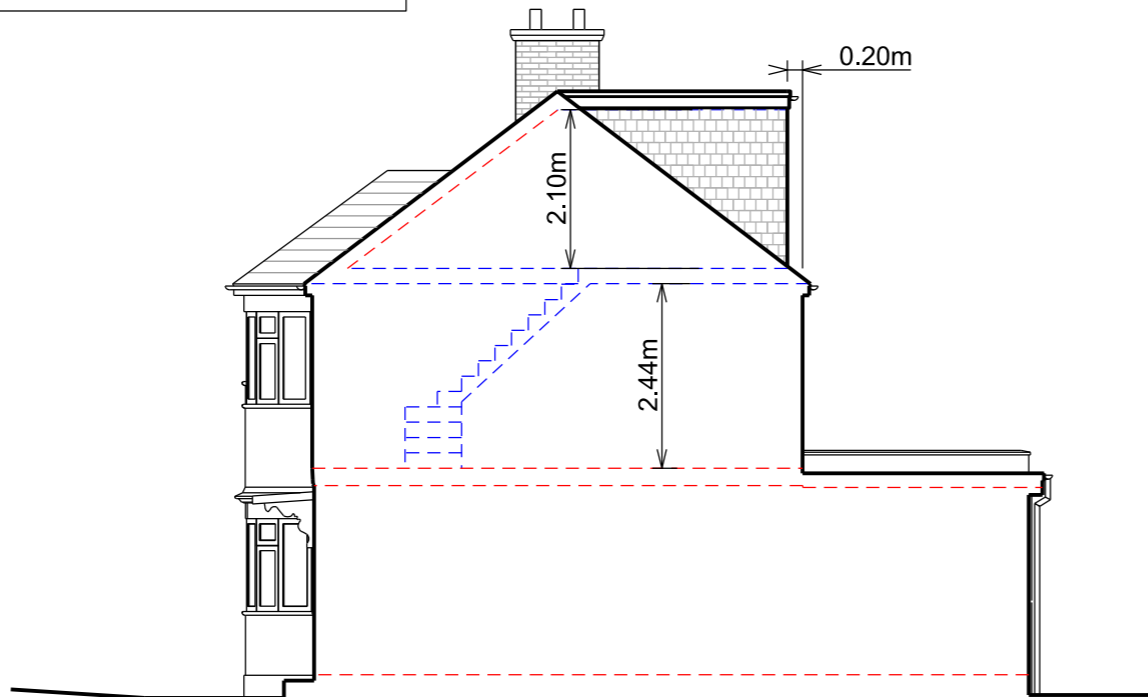
Dormer will not project above the existing ridgeline

Rooflights will not project 150mm above ridgeline

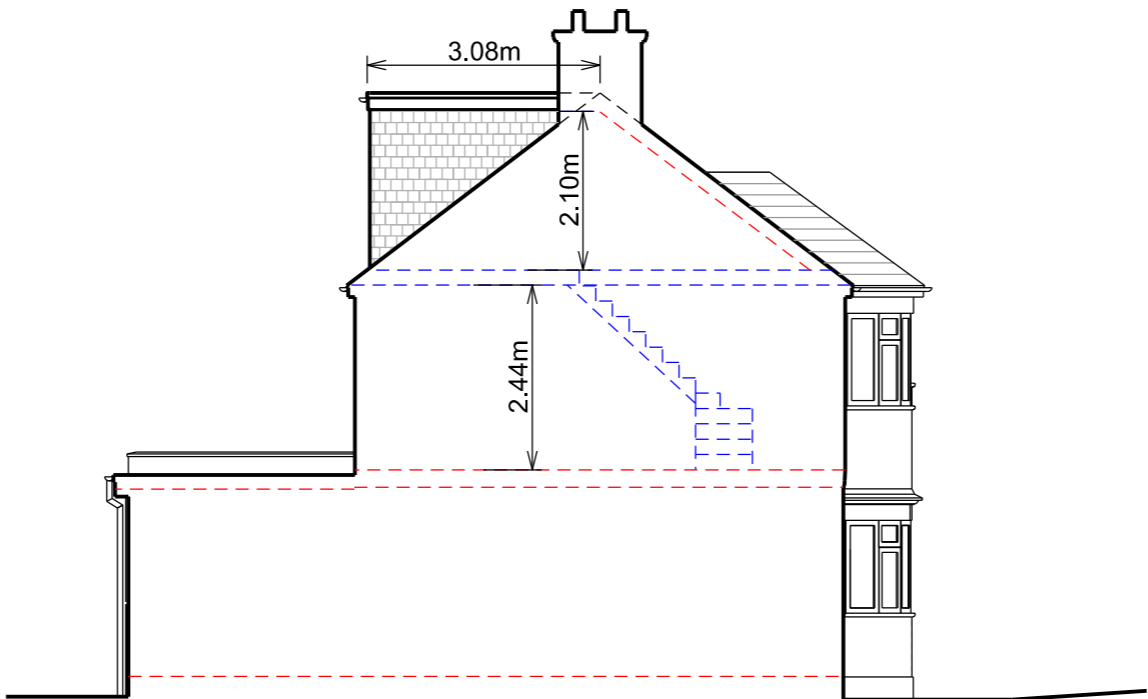
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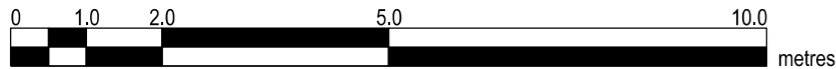
Main dormer: 5.18m x 3.53cbm = 18.28cbm



Right Side Elevation



Left Side Elevation



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**DRAWING TITLE**  
Proposed Elevations

**CLIENT**  
Naynesh Patel

**SCALE**  
1:100 at A3

**DRAWN**  
HD

**DATE**  
March 2020

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OC

**DRAWING NO.** 36240 - 01 - 203A

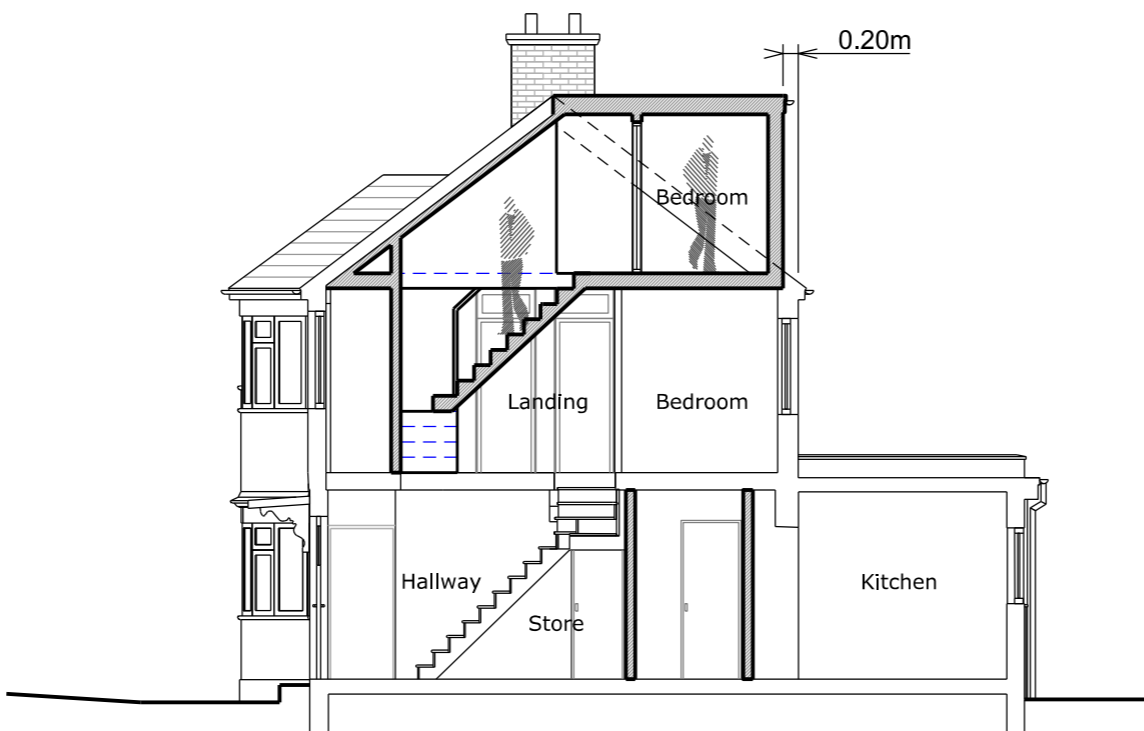
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Section A - A



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**DRAWING TITLE**  
Proposed Section

**CLIENT**  
Naynesh Patel

**SCALE**  
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**DRAWN**  
HD

**DATE**  
March 2020

**CHECKED**  
OC

**DRAWING NO.** 36240 - 01 - 302A