

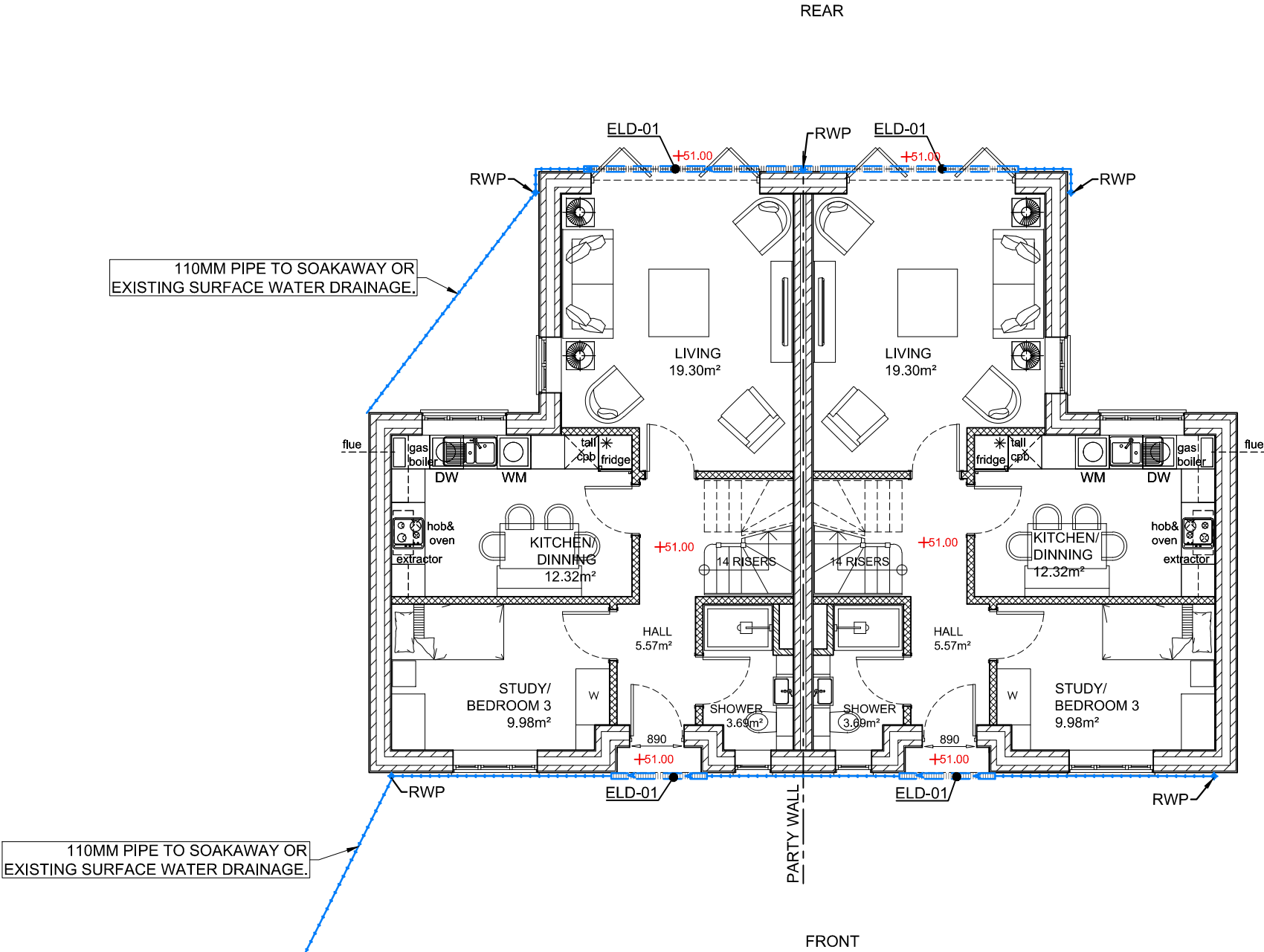
IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,  
THEY MUST BE CONSULTED WITH STAAC



Studio1, The Hub  
3 Drove Road  
Newhaven, East Sussex, BN9 0AD

t: 01323 325354  
t: 0808 1699964 /free/  
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction. All dimensions are to be verified on site prior to work commencing. The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy. The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes. Party Wall matters: It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>



GROUND FLOOR PLAN



1:100 SCALE in METRES

No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 12	
Drawing title:	Proposed Plans	
Project No	23076	
Date	20-02-24	
Drawn by	IA	
Drawing No	P01	
Scale1:100@A3		

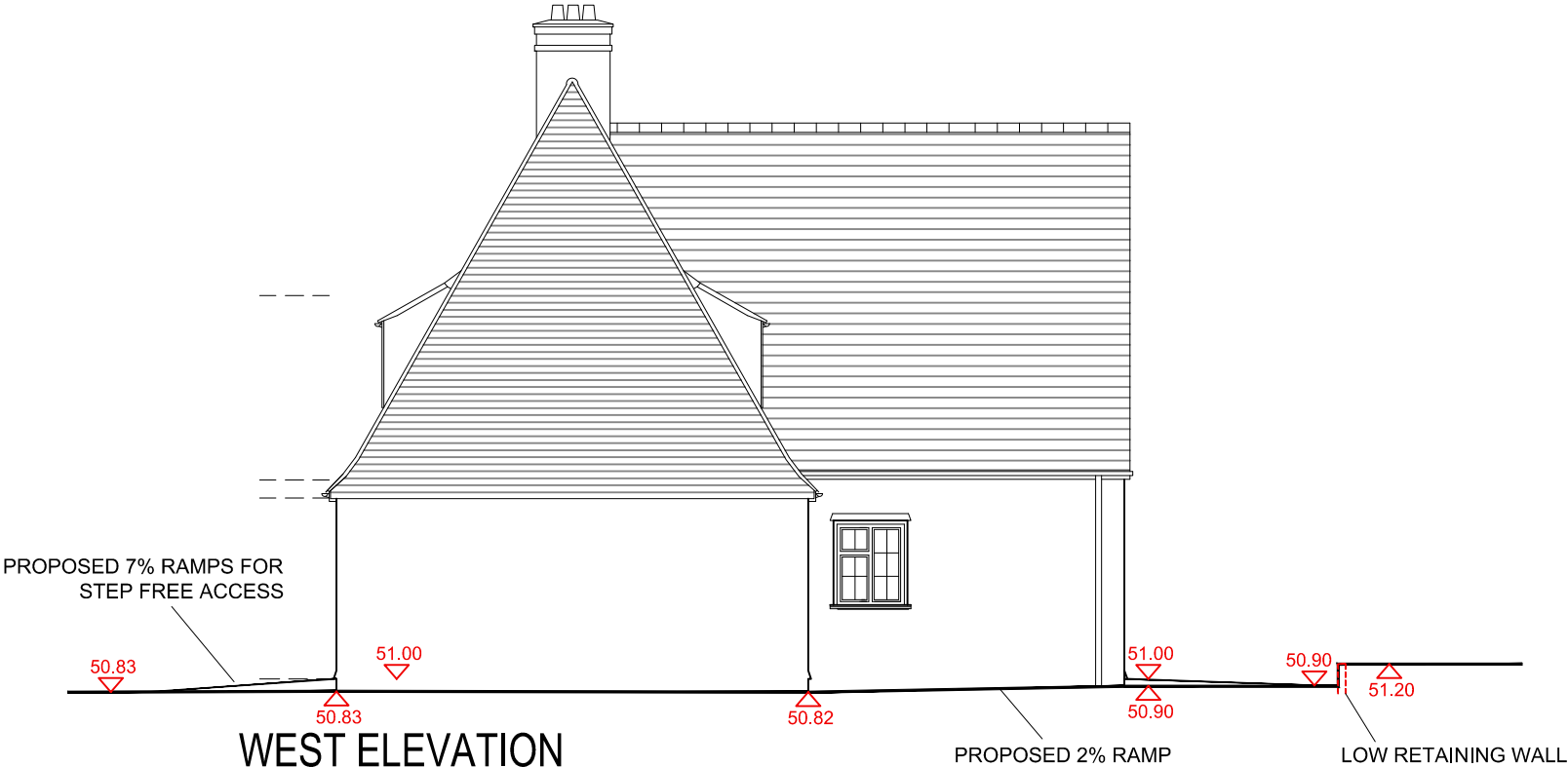
IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,  
THEY MUST BE CONSULTED WITH STAAC



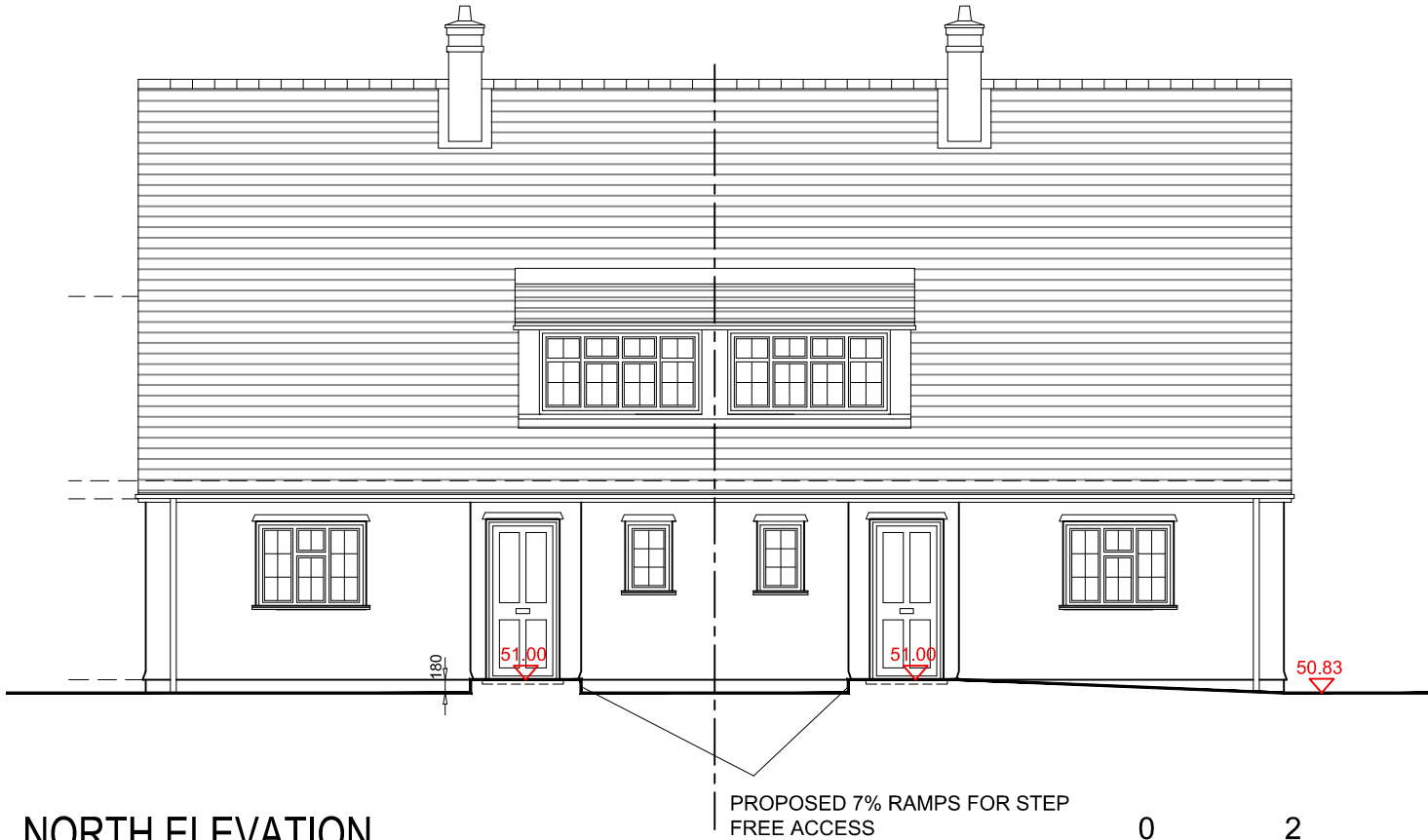
Studio1, The Hub  
3 Drove Road  
Newhaven, East Sussex, BN9 0AD

t: 01323 325354  
t: 0808 1699964 /free/  
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction.  
All dimensions are to be verified on site prior to work commencing.  
The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy.  
The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes.  
Party Wall matters:  
It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>



WEST ELEVATION  
R/H ELEVATION



NORTH ELEVATION  
FRONT ELEVATION



	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 12	
Drawing title:	Proposed Elevations	
Project No	23076	
Date	20-02-24	
Drawn by	IA	
Drawing No	P02	
Scale1:100@A3		

IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,  
THEY MUST BE CONSULTED WITH STAAC



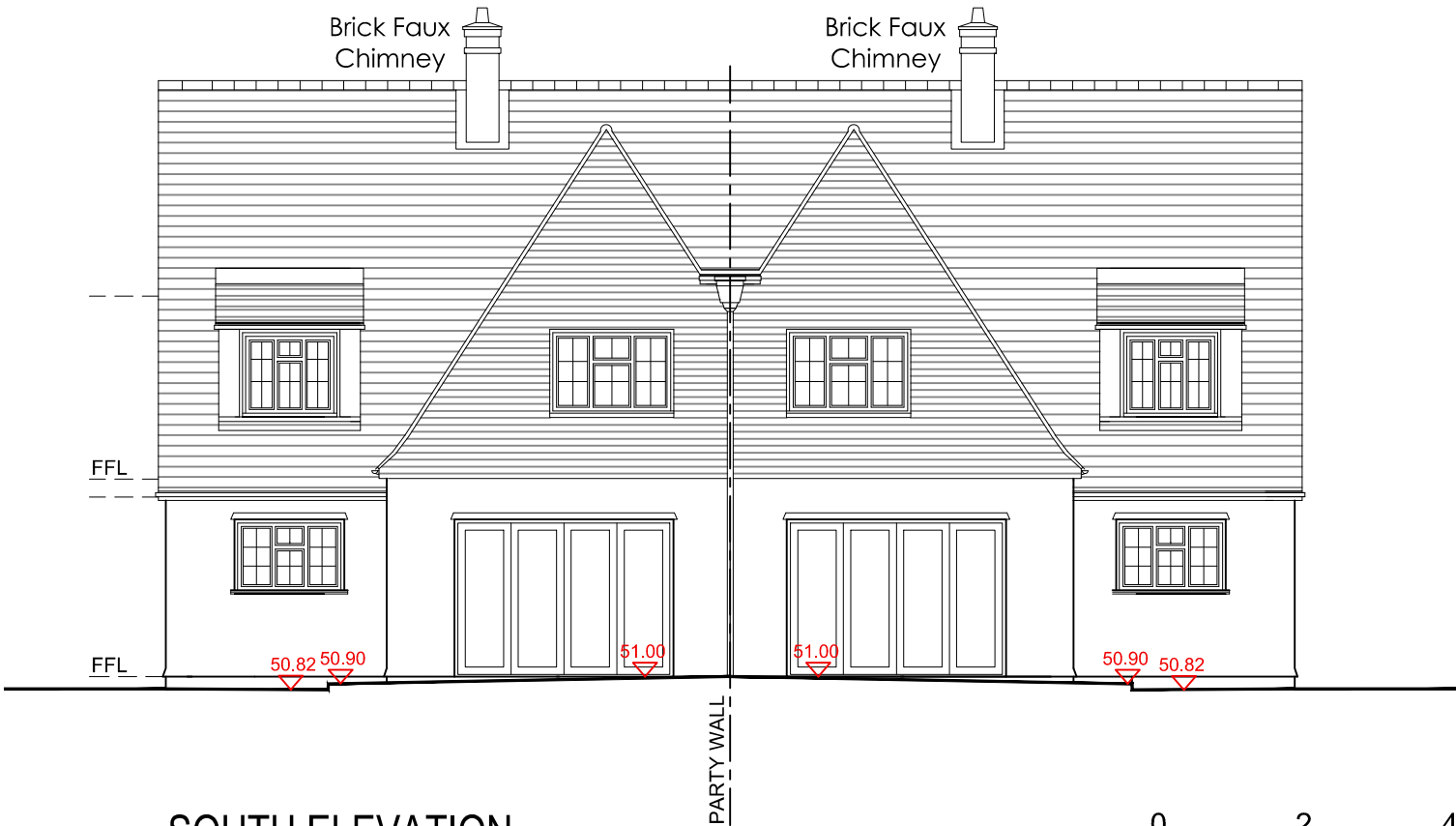
Studio1, The Hub  
3 Drove Road  
Newhaven, East Sussex, BN9 0AD

t: 01323 325354  
t: 0808 1699964 /free/  
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction.  
All dimensions are to be verified on site prior to work commencing.  
The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy.  
The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes.  
Party Wall matters:  
It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>



EAST ELEVATION  
L/H ELEVATION



SOUTH ELEVATION  
REAR ELEVATION



No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 12	
Drawing title:	Proposed Elevations	
Project No	23076	
Date	20-02-24	
Drawn by	IA	
Drawing No	P03	
Scale1:100@A3		

IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,  
THEY MUST BE CONSULTED WITH STAAC

ELD-01

3%



1:20 SCALE in METRES

ELD-01

7% RAMP



Studio1, The Hub  
3 Drove Road  
Newhaven, East Sussex, BN9 0AD

t: 01323 325354  
t: 0808 1699964 /free/  
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction.

All dimensions are to be verified on site prior to work commencing.

The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy.

The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes.

Party Wall matters:  
It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>

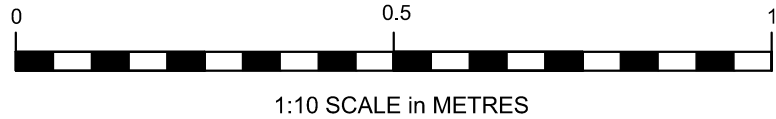
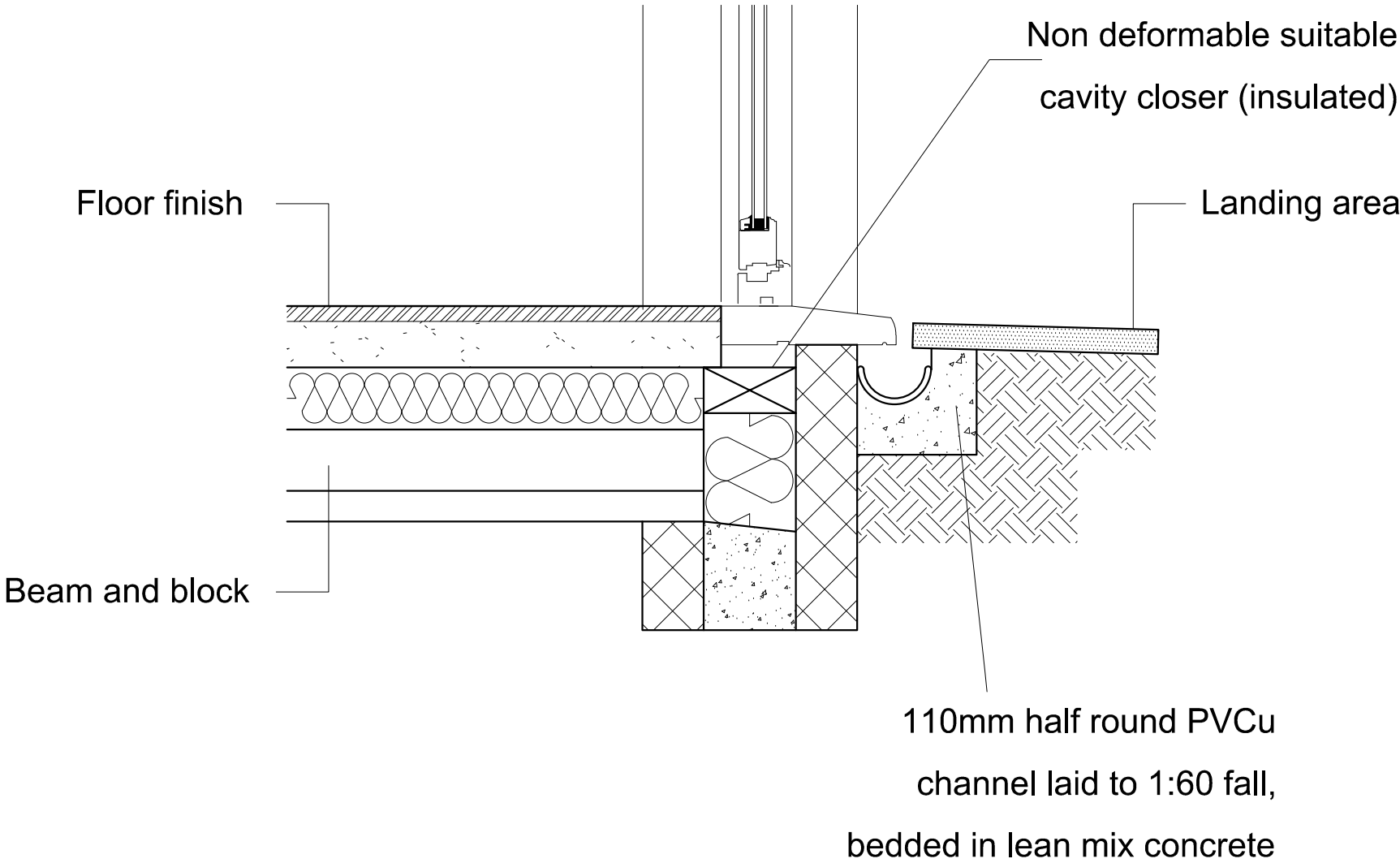
No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 12	
Drawing title:	Partial Sections Through Thresholds - Step-free Access	
Project No	23076	
Date	20-02-24	
Drawn by	IA	
Drawing No	P04	
Scale1:20@A3		

ELD -01 - EXTERNAL LANDING

The external landing should be sufficiently large and level for ambulant disabled people and wheelchair users to be able to approach the door. It should be designed to avoid standing water and limit the amount of surface water reaching the treshold.

External landings on a ramped approach should be laid to fall between 2% in a single direction. A drainage channel should be provided between the landing and threshold where surface water is likely to be blown towards the threshold. The channel should discharge to a drainage system or permeable field drain.

Threshold sills should have a slope of 7° to discourage water ingress and facilitate run-off. The upper leading edge of the door threshold unit should be same level as entrance landing. The width of an entrance should be at least 800mm.



Studio1, The Hub  
3 Drove Road  
Newhaven, East Sussex, BN9 0AD

t: 01323 325354  
t: 0808 1699964 /free/  
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction. All dimensions are to be verified on site prior to work commencing. The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy. The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes. Party Wall matters: It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>

No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 12	
Drawing title:	Proposed Threshold Detail - Step-free Access	
Project No	23076	
Date	20-02-24	
Drawn by	IA	
Drawing No	P05	
Scale1:10@A3		