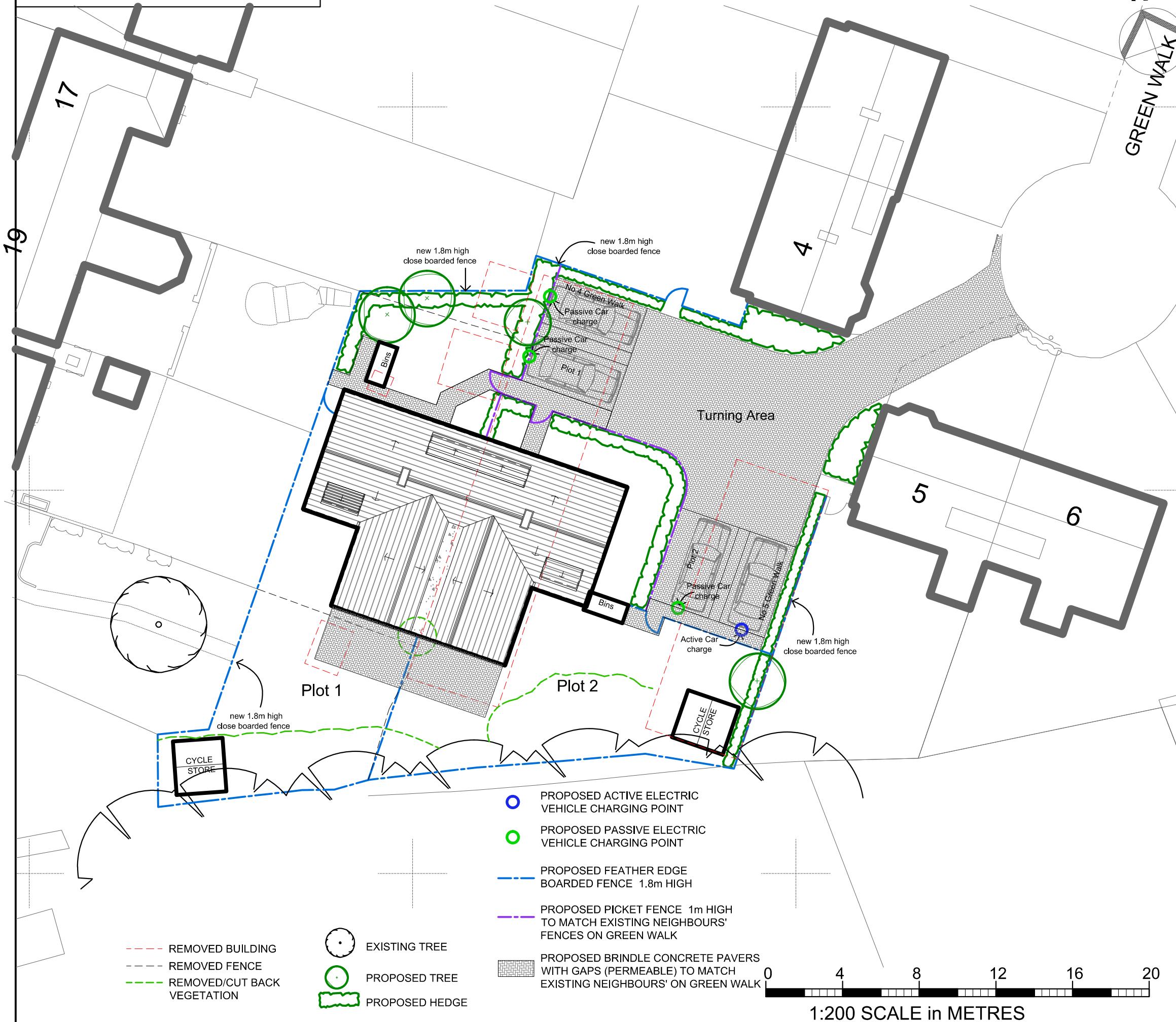


IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,
THEY MUST BE CONSULTED WITH STAAC



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Party Wall matters:

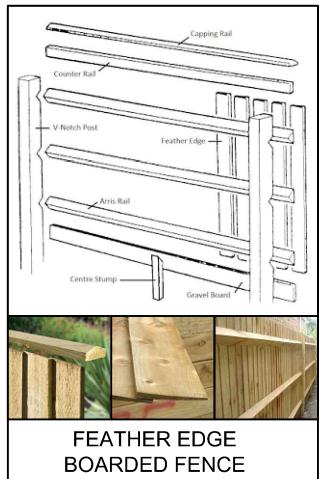
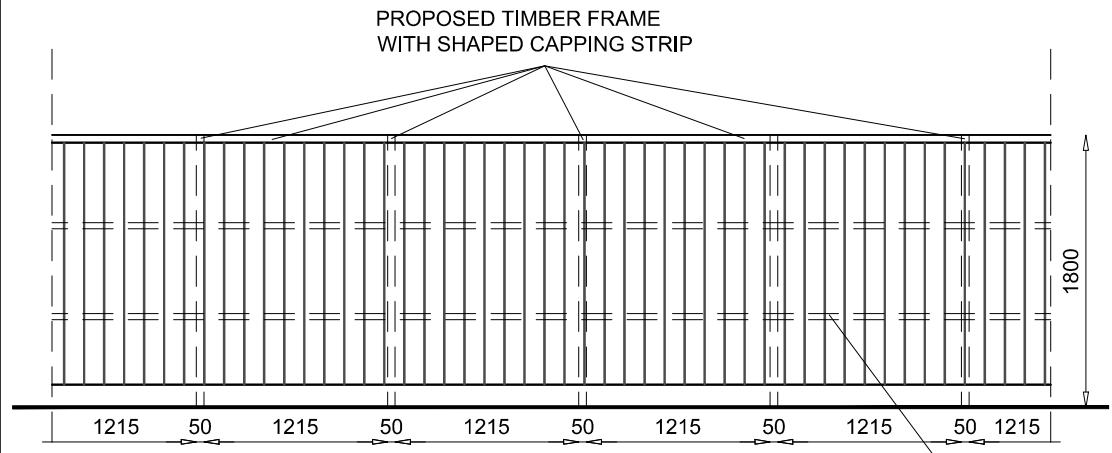
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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	

Drawing title: Proposed Plans

Project No 23076
Date 18-10-23
Drawn by IA
Drawing No P01
Scale 1:200@A3

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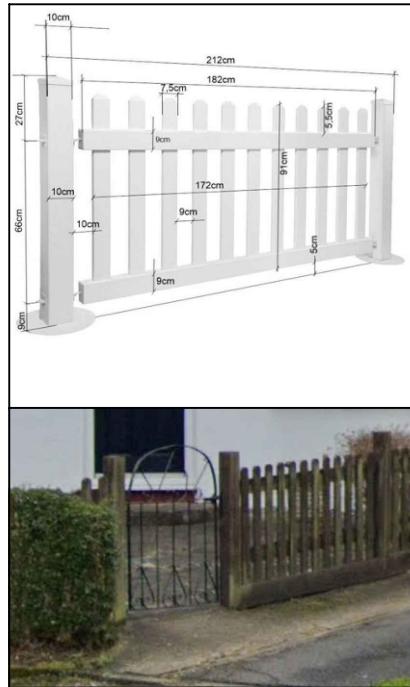


PROPOSED FEATHER EDGE BOARDED FENCE
FRAGMENT ELEVATION



PROPOSED FEATHER EDGE FENCE WITH
SIMILAR DOORS:
- FENCE - 116 m'
- WOODEN DOORS - 3 pcs
NATURAL WOOD COLOR

PROPOSED PICKET FENCE



PROPOSED HARD SURFACING



CONCRETE BRINDLE PAVERS WITH GAPS - POROUS MATERIAL AND RETAINED THEREAFTER OR
PROVISION SHALL BE MADE AND RETAINED THEREAFTER TO DIRECT RUN-OFF WATER FROM THE HARD
SURFACE TO A PERMEABLE OR POROUS AREA OR SURFACE WITHIN THE CURTILAGE OF THE PROPERTY .
IN SIZE, COLOR AND PATTERN TO MATCH EXISTING NEIGHBOURS' ON GREEN WALK



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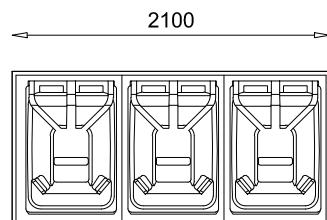
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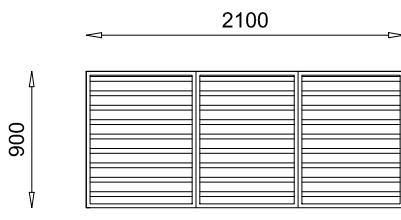
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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Fences and Hard Surface Material	
Project No	23076	
Date	18-10-23	
Drawn by	IA	
Drawing No	P02	
Scale	1:50@A3	

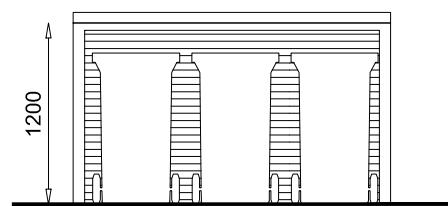
BIN STORE



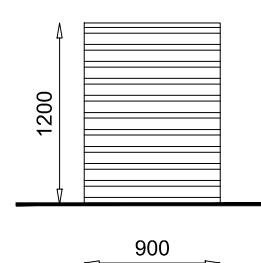
Plan



Roof Plan



Front Elevation

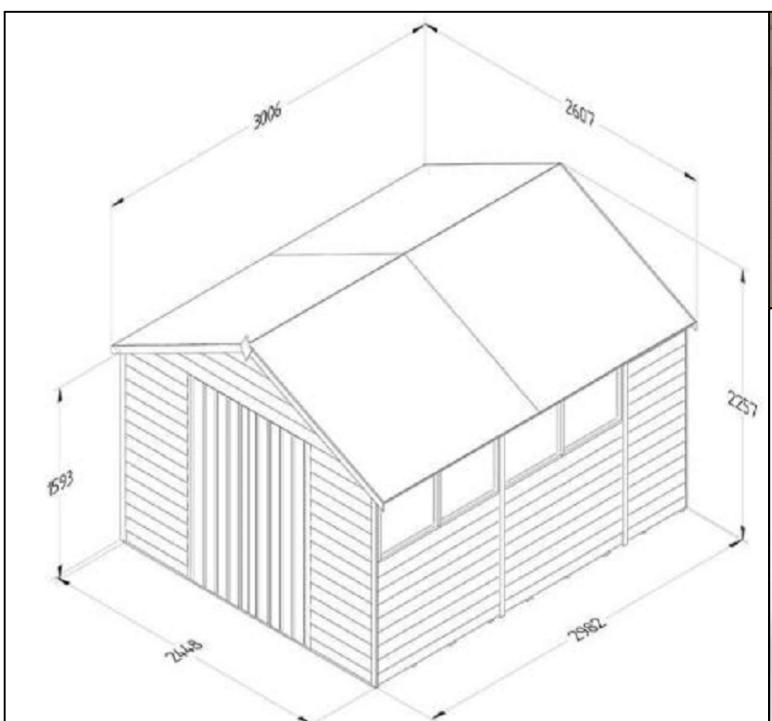


Side Elevation



PLASTIC HDPE WHEELIE BINS. EACH WHEELIE BIN IS ROBUST, WEATHERPROOF AND FOR OUTDOOR USE. EXTERNAL WHEELS WITH RUBBER TIRES. TIMBER - NATURAL WOOD COLOR.

CYCLE STORE



OVERLAP PRESSURE TREATED DOUBLE DOOR APEX WOODEN SHED TO PROVIDES EASY-TO-ACCESS GARDEN STORAGE FOR BIKES AND OTHER OUTDOOR EQUIPMENT.

SUPPORTED BY FRAMING THE WALLS ARE CONSTRUCTED FROM 7MM OVERLAP CLADDING. THESE ALLOW FOR THE NATURAL MOVEMENT OF THE TIMBER OVER THE CHANGING SEASONS AND PROVIDE EXCELLENT RAINWATER RUNOFF. THE ROOF IS BUILT FROM TOUGH 8MM OSB WITH A MINERAL-FELT COVER TO KEEP THE INTERIOR COMPLETELY DRY.

BUILT UP FROM FSC® CERTIFIED WOOD.



1:50 SCALE in METRES



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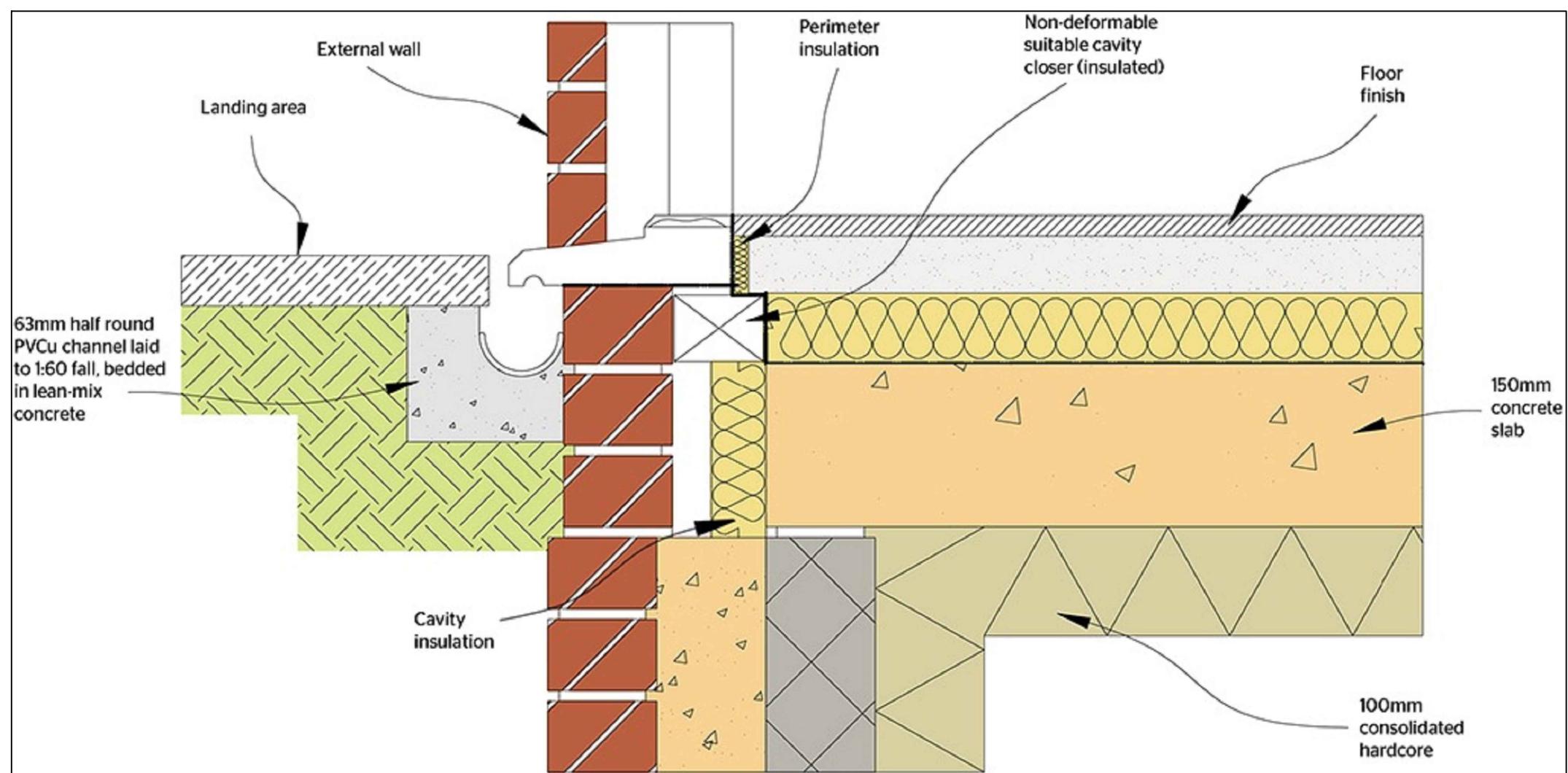
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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Refuse and Cycle Stores	
Project No	23076	
Date	12-10-23	
Drawn by	IA	
Drawing No	P03	
Scale	1:50@A3	



THE EXTERNAL LANDING SHOULD BE SUFFICIENTLY LARGE AND LEVEL FOR AMBULANT DISABLED PEOPLE AND WHEELCHAIR USERS TO BE ABLE TO APPROACH THE DOOR. IT SHOULD BE DESIGNED TO AVOID STANDING WATER AND LIMIT THE AMOUNT OF SURFACE WATER REACHING THE THRESHOLD.

EXTERNAL LANDINGS ON A RAMPED APPROACH SHOULD BE LAID TO FALL BETWEEN 1:40 AND 1:60 IN A SINGLE DIRECTION.

A DRAINAGE CHANNEL SHOULD BE PROVIDED BETWEEN THE LANDING AND THRESHOLD WHERE SURFACE WATER IS LIKELY TO BE BLOWN TOWARDS THE THRESHOLD. THE CHANNEL SHOULD DISCHARGE TO A DRAINAGE SYSTEM OR PERMEABLE FIELD DRAIN.

THRESHOLD SILLS SHOULD HAVE A SLOPE BETWEEN A MAXIMUM OF 15° AND A MINIMUM OF 7° TO DISCOURAGE WATER INGRESS AND FACILITATE RUN-OFF. THE UPPER LEADING EDGE OF THE DOOR THRESHOLD UNIT SHOULD BE NO HIGHER THAN 15MM. THE WIDTH OF AN ENTRANCE SHOULD BE AT LEAST 800MM.

0 100 200 300 400 500
 1:5 SCALE in MILLIMETRES

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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Step-free Access - Leveled Thresholds (Point 12)	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P04	
Scale	1:5@A3	