

IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,
THEY MUST BE CONSULTED WITH STAAC

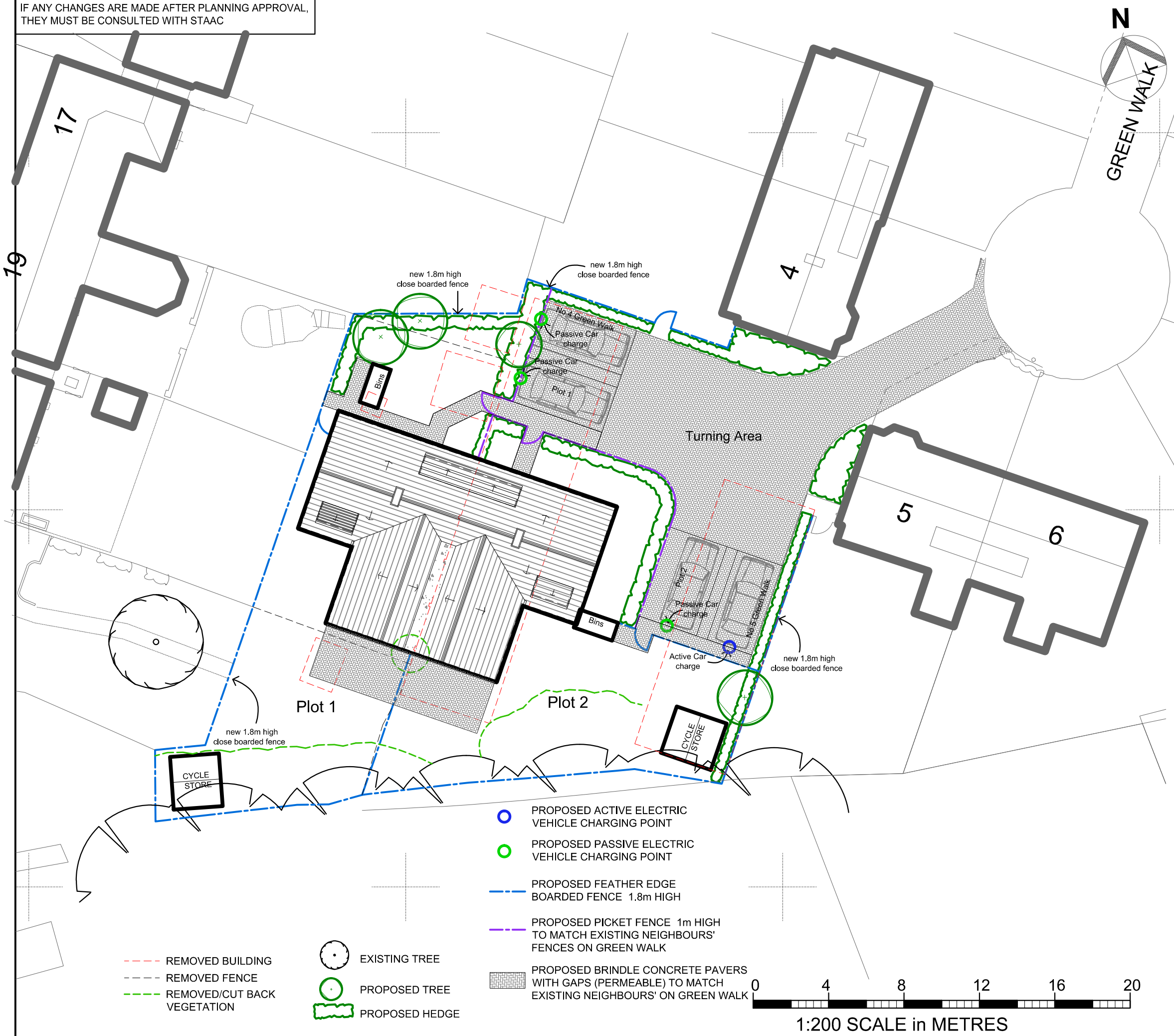


Studio1, The Hub
3 Drove Road
Newhaven, East Sussex, BN9 0AD

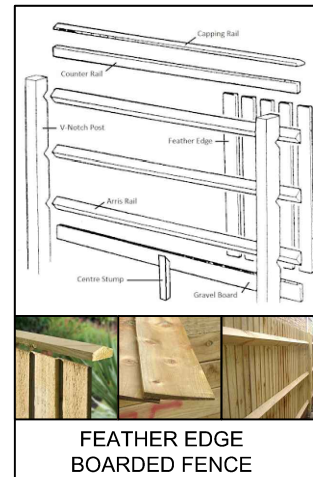
t: 01323 325354
t: 0808 1699964 /free/
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction.
All dimensions are to be verified on site prior to work commencing.
The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy.
The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes.
Party Wall matters:
It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>

No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Plans	
Project No	23076	
Date	18-10-23	
Drawn by	IA	
Drawing No	P01	
Scale	1:200@A3	



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PROPOSED FEATHER
EDGE FENCE PANEL



PROPOSED FEATHER EDGE FENCE WITH
SIMILAR DOORS:
- FENCE - 116 m'
- WOODEN DOORS - 3 pcs
NATURAL WOOD COLOR

[illegible]

PROPOSED PICKET FENCE WITH WARD
IRON DOORS:
- FENCE - 30 m' NATURAL WOOD COLOR
- DOORS - 2 pcs BLACK

Concrete Curb

Concrete Pavers

Permeable Joint Material

Open-graded Bedding Course

Open-graded Base Reservoir

Open-graded Subbase Reservoir

Underdrain (as required)

Geosynthetic Per Engineer

Soil Subgrade

CONCRETE BRINDLE PAVERS WITH GAPS - POROUS MATERIAL AND RETAINED THEREAFTER OR PROVISION SHALL BE MADE AND RETAINED THEREAFTER TO DIRECT RUN-OFF WATER FROM THE HARD SURFACE TO A PERMEABLE OR POROUS AREA OR SURFACE WITHIN THE CURTILAGE OF THE PROPERTY . IN SIZE, COLOR AND PATTERN TO MATCH EXISTING NEIGHBOURS' ON GREEN WALK

The logo for STAAC (South Texas Association of Area Councils) features the acronym "STAAC" in a bold, blue, sans-serif font. To the right of the text is a blue geometric icon consisting of several concentric, slightly offset diamond shapes, creating a 3D effect.

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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Fences and Hard Surface Material	
Project No		23076
Date		18-10-23
Drawn by		IA
Drawing No		P02
Scale 1:50 @ A3		

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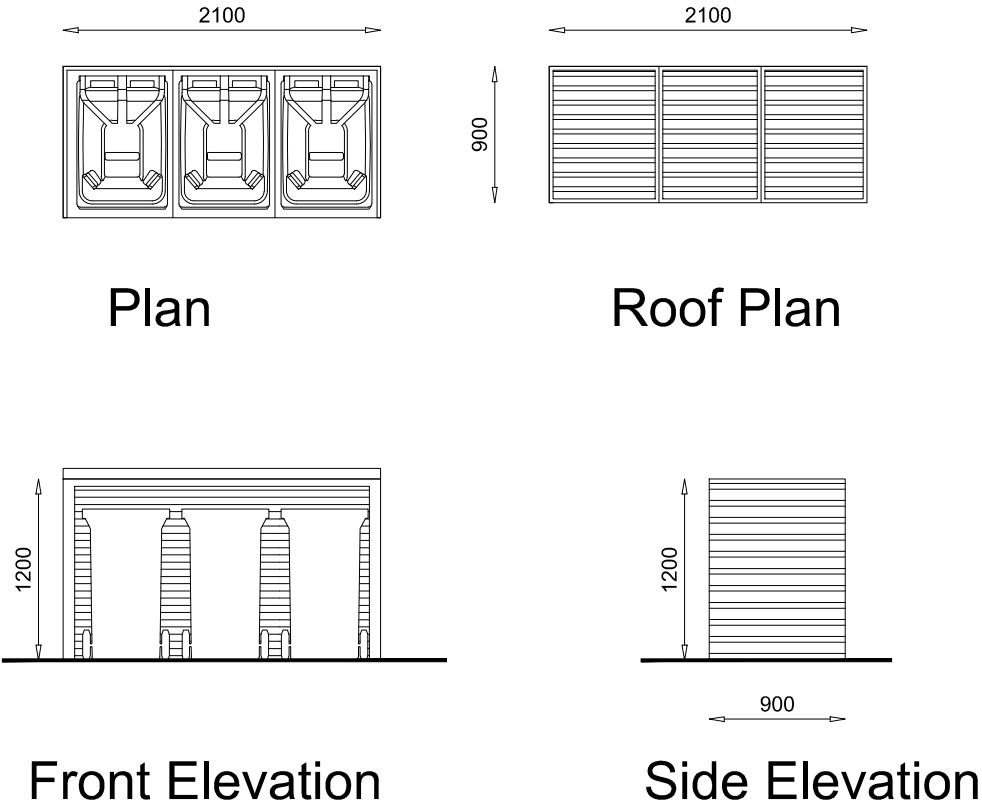


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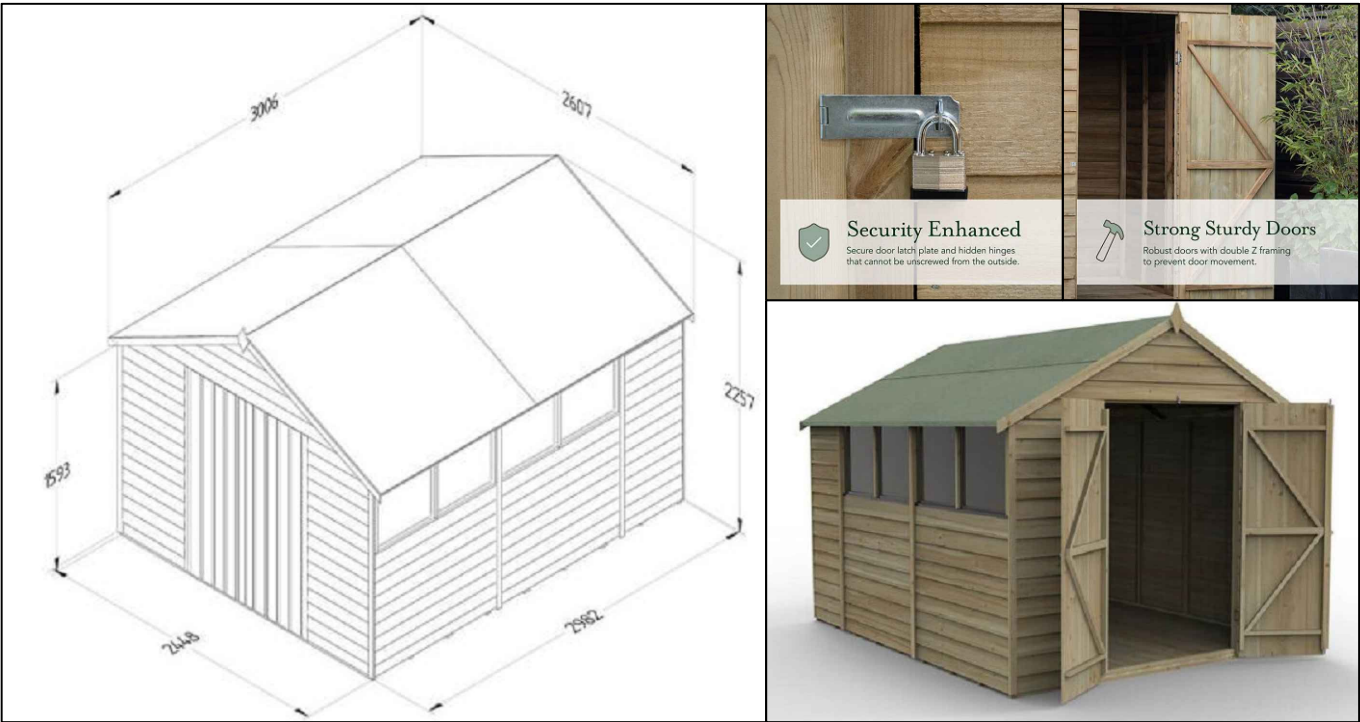
BIN STORE



BIN STORE - TIMBER WHEELIE BINS STORAGE

PLASTIC HDPE WHEELIE BINS. EACH WHEELIE BIN IS ROBUST, WEATHERPROOF AND FOR OUTDOOR USE. EXTERNAL WHEELS WITH RUBBER TIRES. TIMBER - NATURAL WOOD COLOR.

CYCLE STORE



OVERLAP PRESSURE TREATED DOUBLE DOOR APEX WOODEN SHED TO PROVIDES EASY-TO-ACCESS GARDEN STORAGE FOR BIKES AND OTHER OUTDOOR EQUIPMENT.

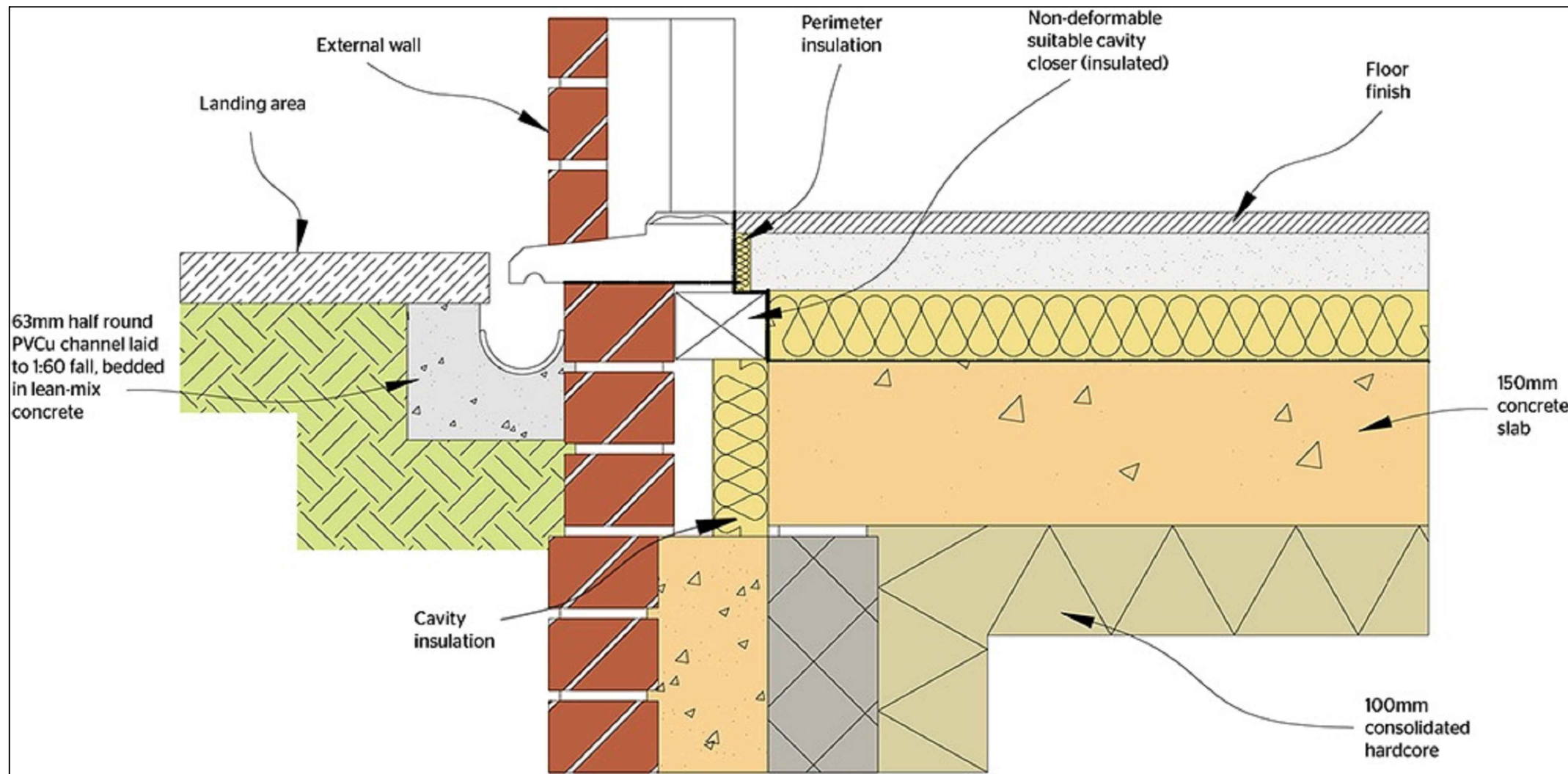
SUPPORTED BY FRAMING THE WALLS ARE CONSTRUCTED FROM 7MM OVERLAP CLADDING. THESE ALLOW FOR THE NATURAL MOVEMENT OF THE TIMBER OVER THE CHANGING SEASONS AND PROVIDE EXCELLENT RAINWATER RUNOFF. THE ROOF IS BUILT FROM TOUGH 8MM OSB WITH A MINERAL-FELT COVER TO KEEP THE INTERIOR COMPLETELY DRY.

BUILT UP FROM FSC® CERTIFIED WOOD.



No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Refuse and Cycle Stores	
Project No	23076	
Date	12-10-23	
Drawn by	IA	
Drawing No	P03	
Scale1:50@A3		

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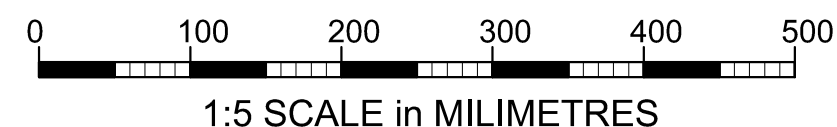


THE EXTERNAL LANDING SHOULD BE SUFFICIENTLY LARGE AND LEVEL FOR AMBULANT DISABLED PEOPLE AND WHEELCHAIR USERS TO BE ABLE TO APPROACH THE DOOR. IT SHOULD BE DESIGNED TO AVOID STANDING WATER AND LIMIT THE AMOUNT OF SURFACE WATER REACHING THE THRESHOLD.

EXTERNAL LANDINGS ON A RAMPED APPROACH SHOULD BE LAID TO FALL BETWEEN 1:40 AND 1:60 IN A SINGLE DIRECTION.

A DRAINAGE CHANNEL SHOULD BE PROVIDED BETWEEN THE LANDING AND THRESHOLD WHERE SURFACE WATER IS LIKELY TO BE BLOWN TOWARDS THE THRESHOLD. THE CHANNEL SHOULD DISCHARGE TO A DRAINAGE SYSTEM OR PERMEABLE FIELD DRAIN.

THRESHOLD SILLS SHOULD HAVE A SLOPE BETWEEN A MAXIMUM OF 15° AND A MINIMUM OF 7° TO DISCOURAGE WATER INGRESS AND FACILITATE RUN-OFF. THE UPPER LEADING EDGE OF THE DOOR THRESHOLD UNIT SHOULD BE NO HIGHER THAN 15MM. THE WIDTH OF AN ENTRANCE SHOULD BE AT LEAST 800MM.



No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 9 and Point 12	
Drawing title:	Proposed Step-free Access - Leveled Thresholds (Point 12)	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P04	
Scale 1:5@A3		