



Studio1, The Hub
3 Drove Road
Newhaven, East Sussex, BN9 0AD

t: 01323 325354
t: 0808 1699964 /free/
e: support@staac.co.uk

This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction.

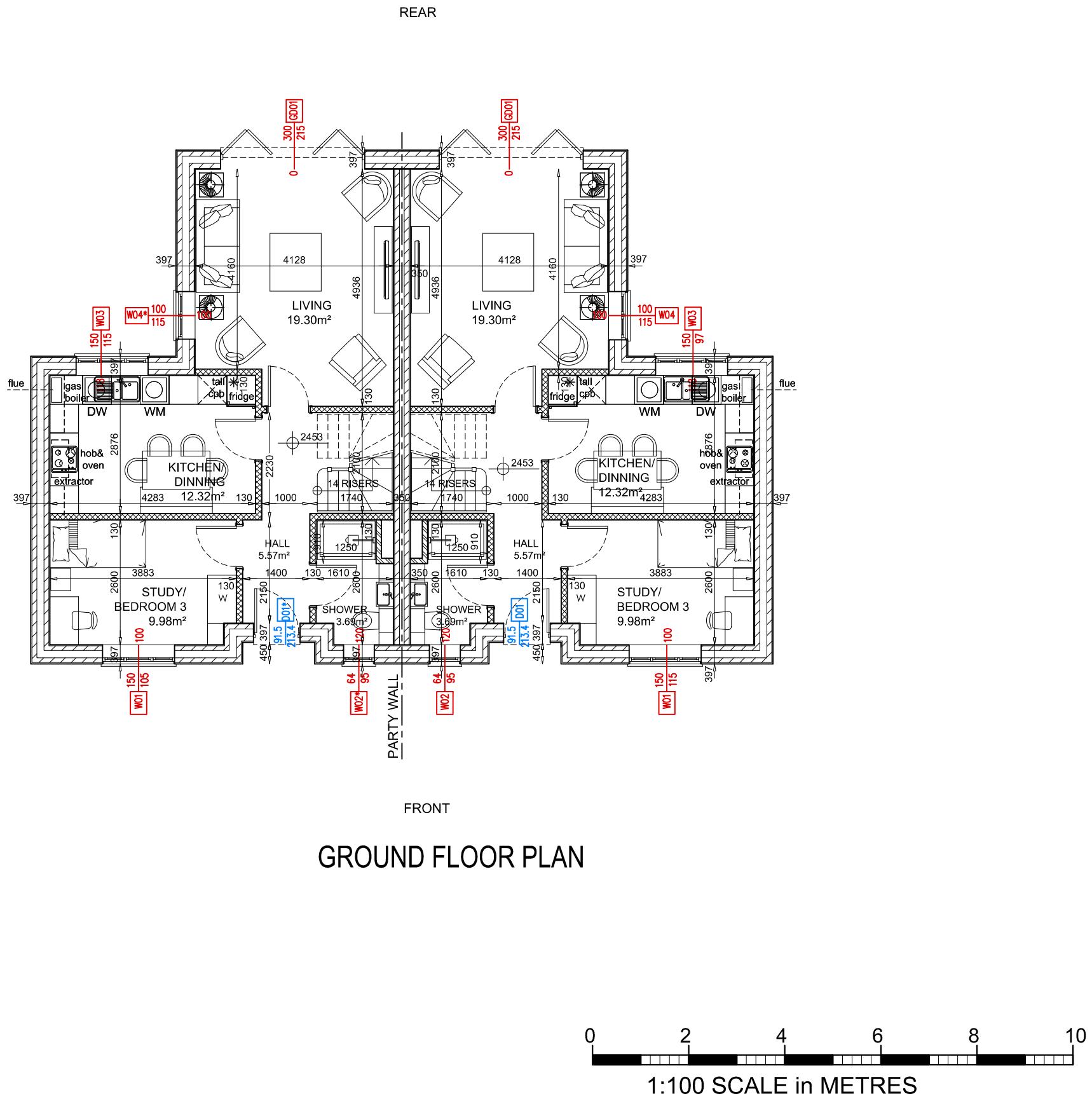
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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	

Drawing title:	Proposed Plans
Project No	23076
Date	05-10-23
Drawn by	IA
Drawing No	P01
Scale	1:100@A3





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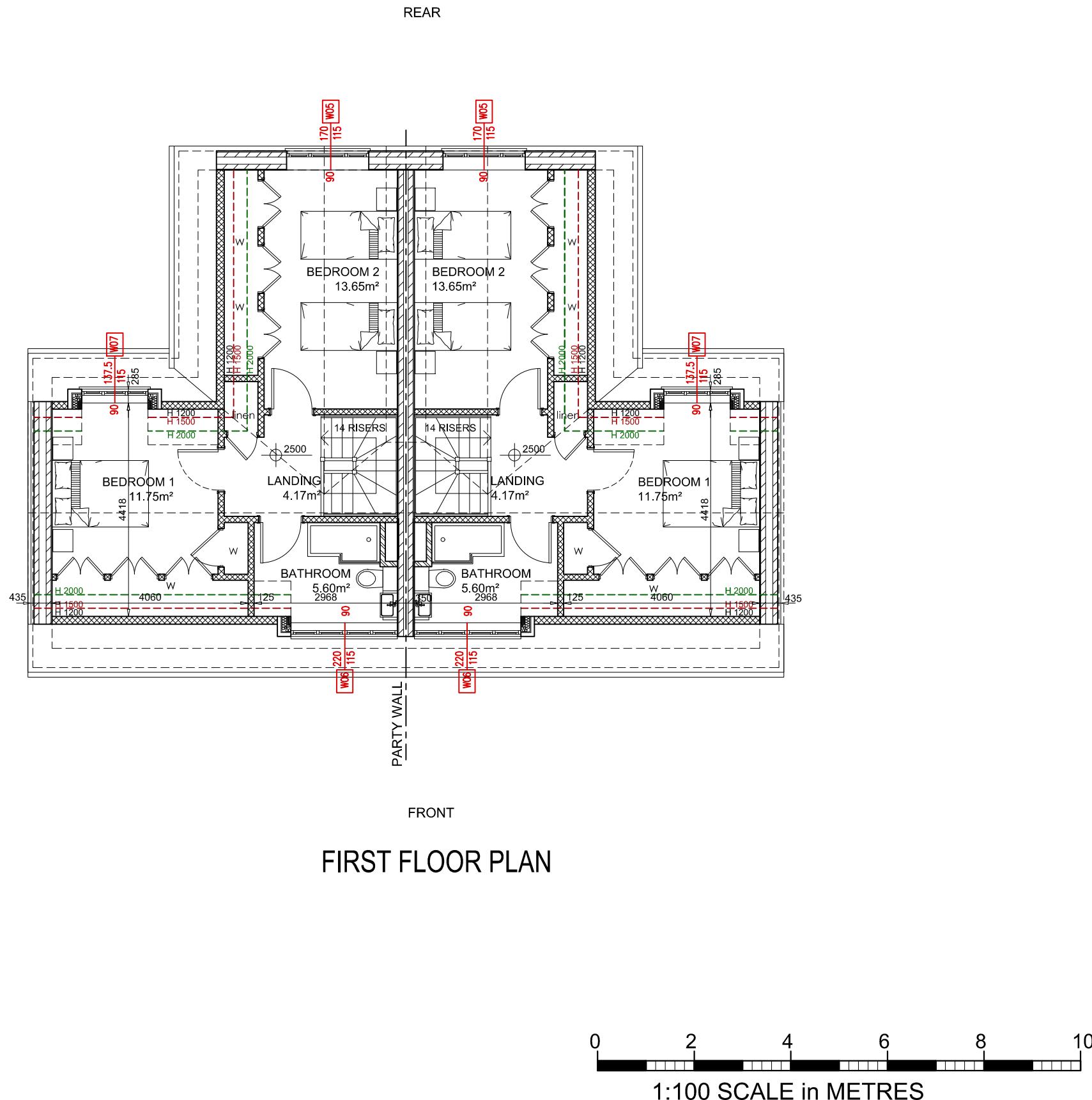
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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	

Drawing title:	Proposed Plans
Project No	23076
Date	05-10-23
Drawn by	IA
Drawing No	P02
Scale	1:100@A3

IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,
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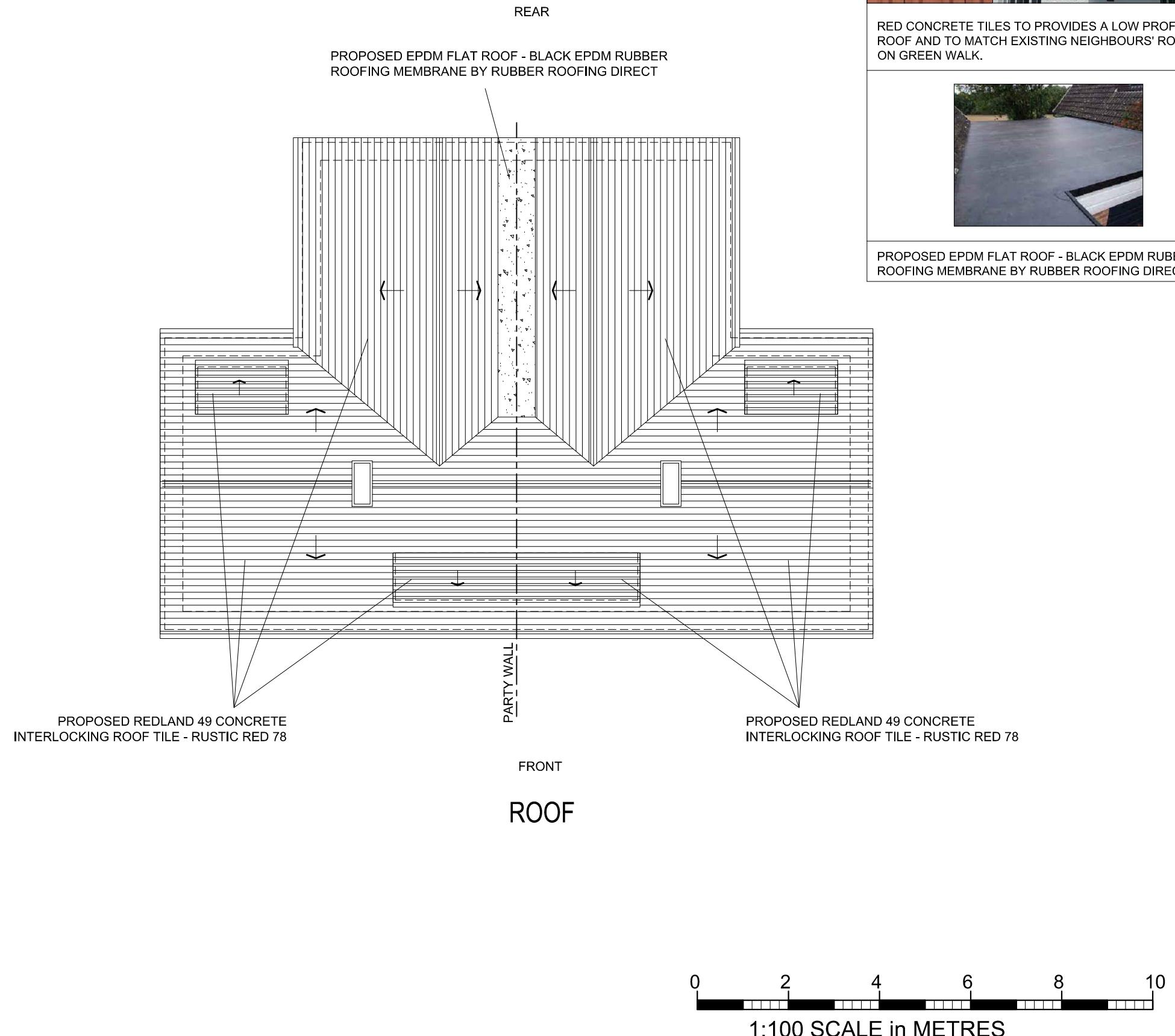
PROPOSED REDLAND 49 CONCRETE
INTERLOCKING ROOF TILE - RUSTIC RED 78:



RED CONCRETE TILES TO PROVIDE A LOW PROFILE
ROOF AND TO MATCH EXISTING NEIGHBOURS' ROOFS
ON GREEN WALK.



PROPOSED EPDM FLAT ROOF - BLACK EPDM RUBBER
ROOFING MEMBRANE BY RUBBER ROOFING DIRECT



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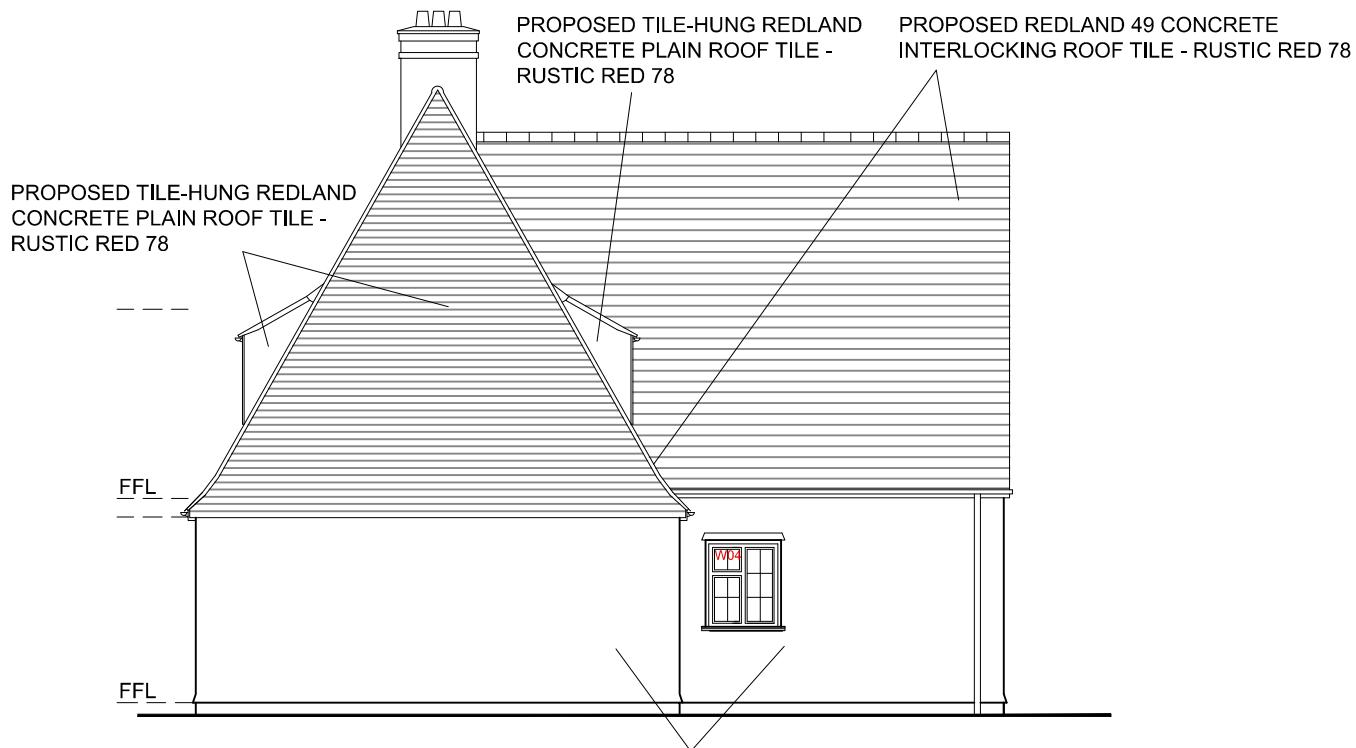
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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	

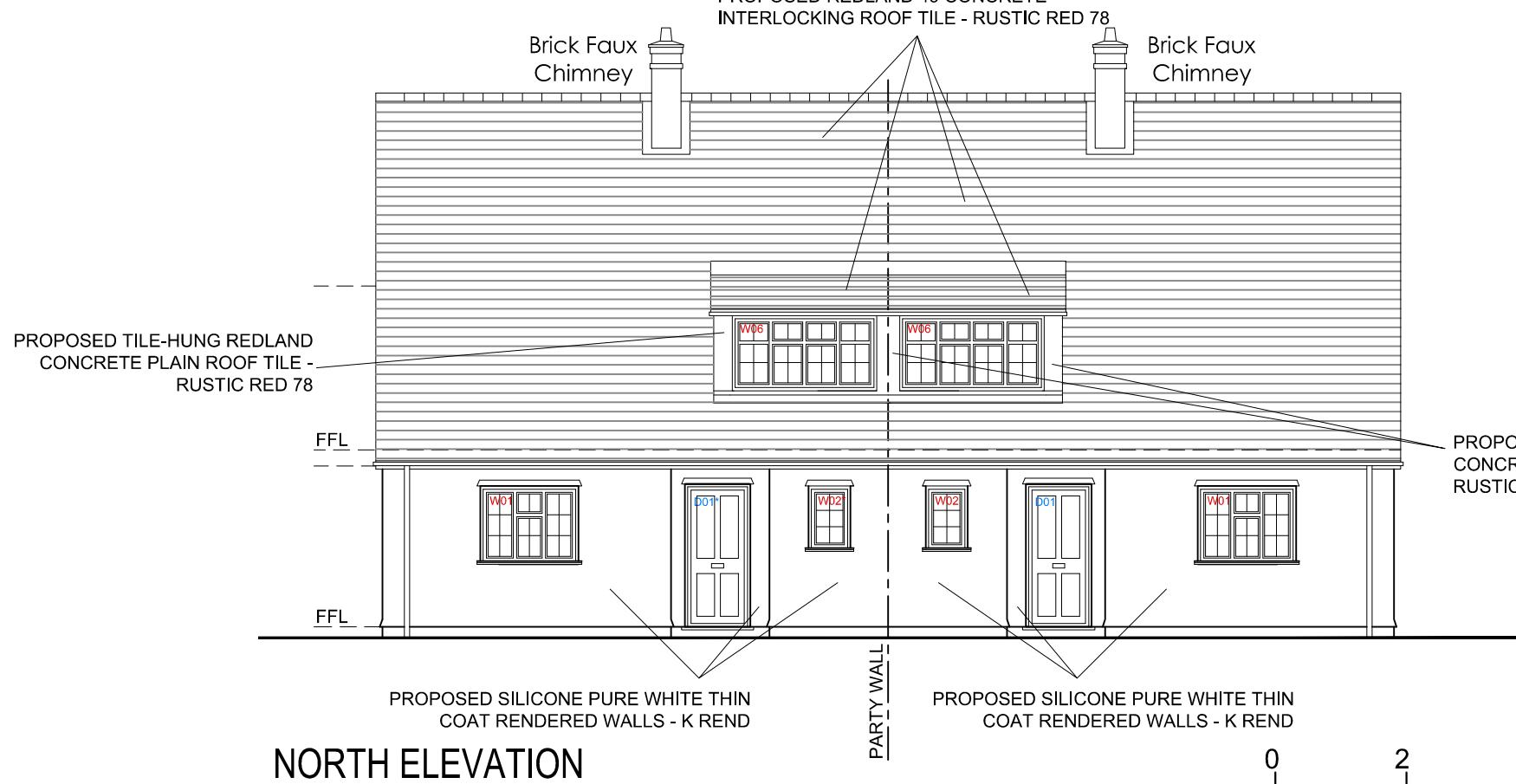
Drawing Proposed Plans title:

Project No	23076
Date	05-10-23
Drawn by	IA
Drawing No	P03
Scale	1:100@A3

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WEST ELEVATION
R/H ELEVATION



NORTH ELEVATION
FRONT ELEVATION

PROPOSED REDLAND 49 CONCRETE
INTERLOCKING ROOF TILE - RUSTIC RED 78:

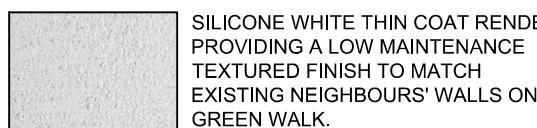


RED CONCRETE TILES TO PROVIDE A LOW PROFILE
ROOF AND TO MATCH EXISTING NEIGHBOURS' ROOFS
ON GREEN WALK.

PROPOSED TILE-HUNG REDLAND CONCRETE
PLAIN ROOF TILE - RUSTIC RED 78:

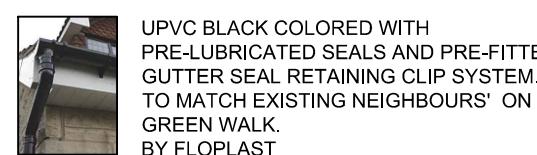


PROPOSED SILICONE PURE WHITE THIN
COAT RENDERED WALL - K REND:



SILICONE WHITE THIN COAT RENDER
PROVIDING A LOW MAINTENANCE
TEXTURED FINISH TO MATCH
EXISTING NEIGHBOURS' WALLS ON
GREEN WALK.

PROPOSED GUTTERS AND RAIN WATER
PIPES:



UPVC BLACK COLORED WITH
PRE-LUBRICATED SEALS AND PRE-FITTED
GUTTER SEAL RETAINING CLIP SYSTEM.
TO MATCH EXISTING NEIGHBOURS' ON
GREEN WALK.
BY FLOPLAST

PROPOSED SOFIT:



WHITE PVC-UE & PVC-U
EXTRUDED FASCIA BOARDS
CAPABLE OF LOAD BEARING
TO MATCH EXISTING
NEIGHBOURS' ON GREEN
WALK.
100 mm BY EUROCELL

PROPOSED TILE-HUNG REDLAND
CONCRETE PLAIN ROOF TILE -
RUSTIC RED 78

0 2 4 6 8 10
1:100 SCALE in METRES



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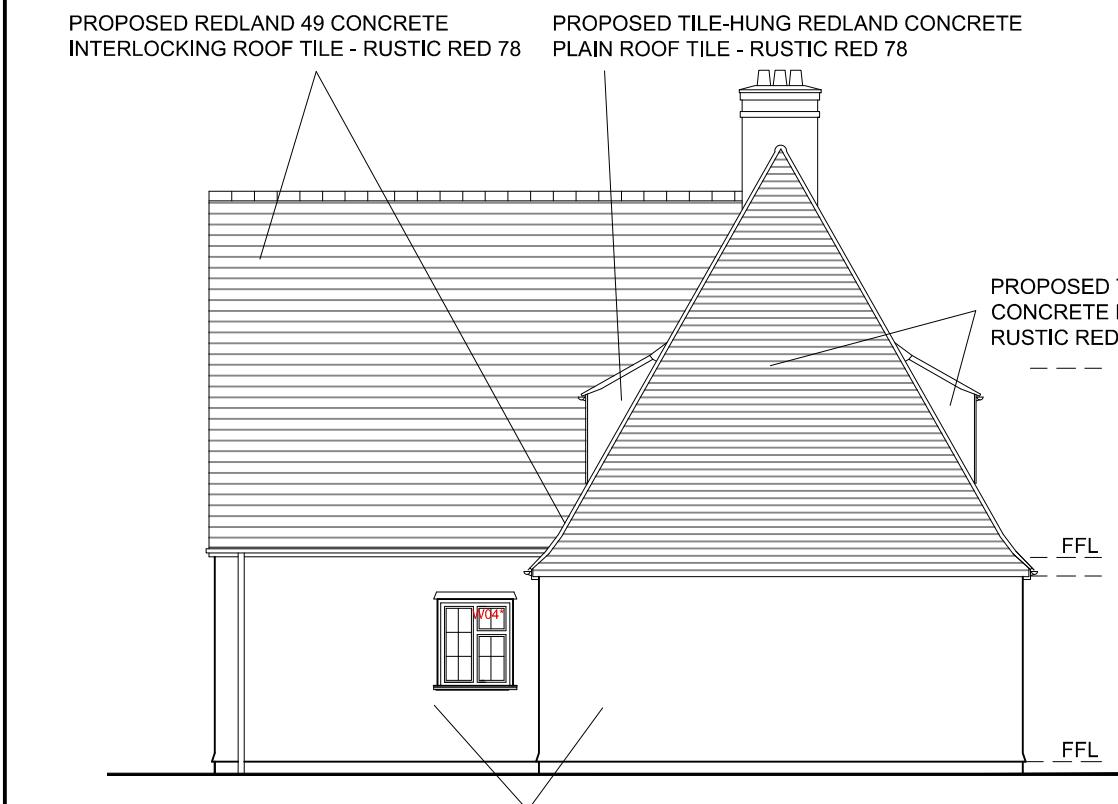
It is the responsibility of the building owner to enter
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adjoining owners as required by the Party Wall etc
Act. Advice and guidance can be found by visiting:
<http://www.partywalls.org.uk/>

No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	

Drawing Proposed Elevations
title:

Project No	23076
Date	05-10-23
Drawn by	IA
Drawing No	P04
Scale	1:100@A3

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**EAST ELEVATION
L/H ELEVATION**



**SOUTH ELEVATION
REAR ELEVATION**

PROPOSED EPDM FLAT ROOF:



PROPOSED EPDM FLAT ROOF - BLACK EPDM RUBBER ROOFING MEMBRANE

PROPOSED REDLAND 49 CONCRETE INTERLOCKING ROOF TILE - RUSTIC RED 78:

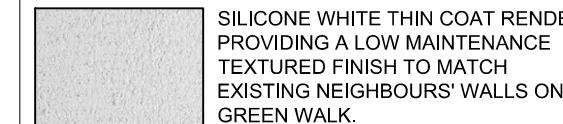


RED CONCRETE TILES TO PROVIDE A LOW PROFILE ROOF AND TO MATCH EXISTING NEIGHBOURS' ROOFS ON GREEN WALK.

PROPOSED TILE-HUNG REDLAND CONCRETE PLAIN ROOF TILE - RUSTIC RED 78:

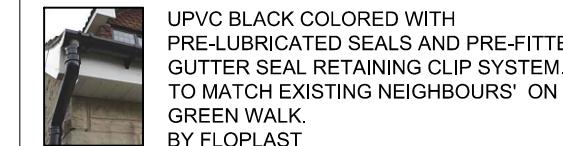


PROPOSED SILICONE PURE WHITE THIN COAT RENDERED WALL - K REND:



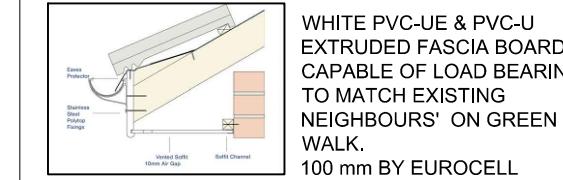
SILICONE WHITE THIN COAT RENDER PROVIDING A LOW MAINTENANCE TEXTURED FINISH TO MATCH EXISTING NEIGHBOURS' WALLS ON GREEN WALK.

PROPOSED GUTTERS AND RAIN WATER PIPES:



UPVC BLACK COLORED WITH PRE-LUBRICATED SEALS AND PRE-FITTED GUTTER SEAL RETAINING CLIP SYSTEM. TO MATCH EXISTING NEIGHBOURS' ON GREEN WALK. BY FLOPLAST

PROPOSED SOFIT:



WHITE PVC-UE & PVC-U EXTRUDED FASCIA BOARDS CAPABLE OF LOAD BEARING TO MATCH EXISTING NEIGHBOURS' ON GREEN WALK. 100 mm BY EUROCELL

PROPOSED TILE-HUNG REDLAND CONCRETE PLAIN ROOF TILE - RUSTIC RED 78

0 2 4 6 8 10
1:100 SCALE in METRES



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No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	

Drawing Proposed Elevations title:

Project No	23076
Date	05-10-23
Drawn by	IA
Drawing No	P05
Scale	1:100@A3

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Address: Green Walk Garages,
Ruislip, HA4 8HJ

Project: Planning Conditions -
Point 6 and Point 11

Drawing Proposed Windows and
title: Doors Elevations and
Materials

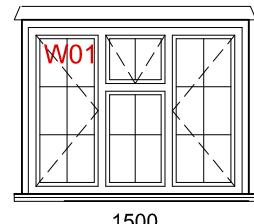
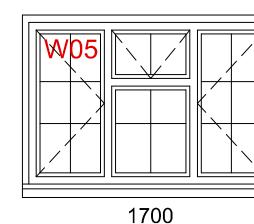
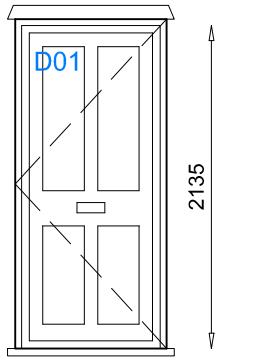
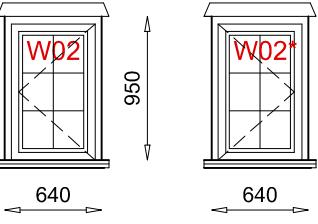
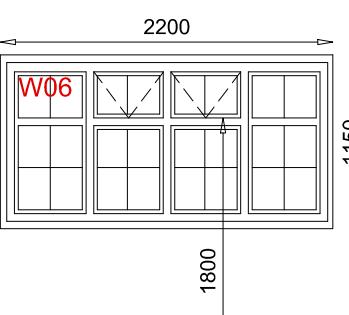
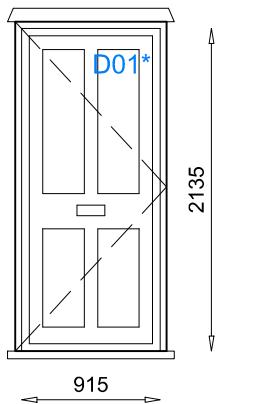
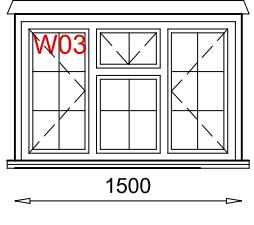
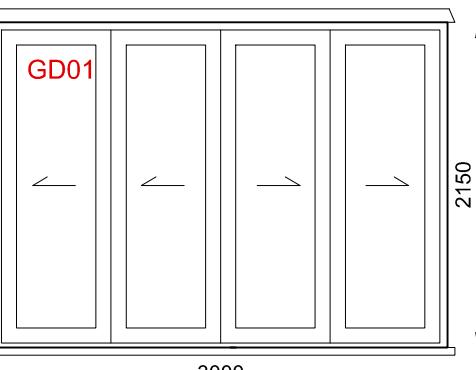
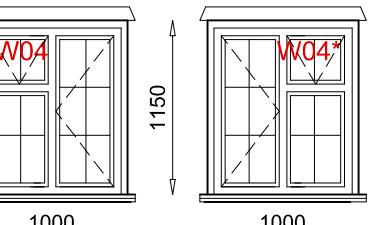
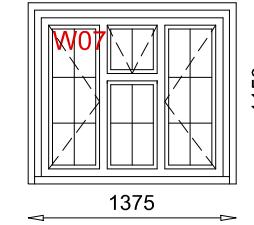
Project No 23076

Date 05-10-23

Drawn by IA

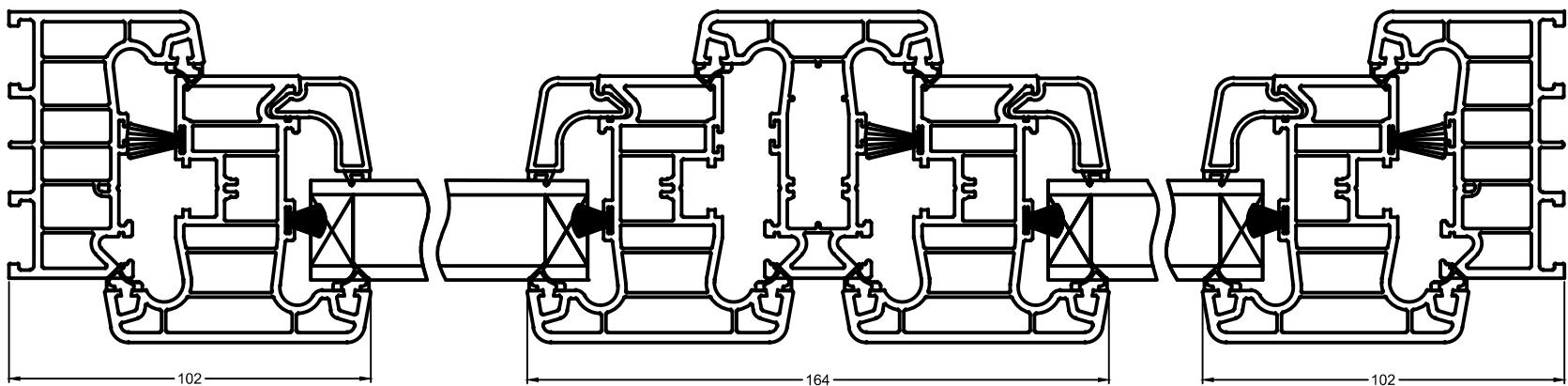
Drawing No P06

Scale 1:50@A3

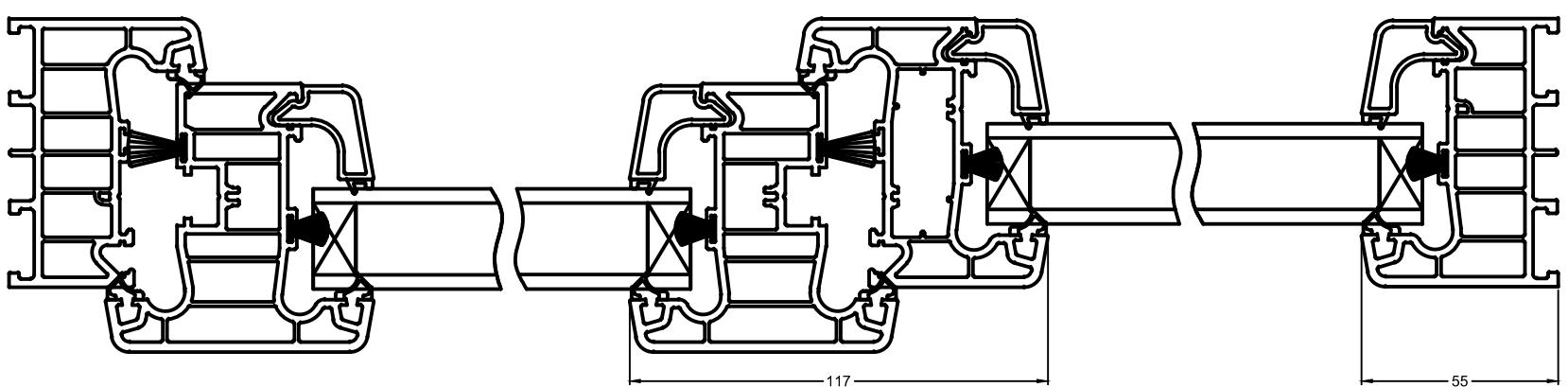
N	PROPOSED WINDOWS	N	PROPOSED WINDOWS	N	PROPOSED DOORS	PROPOSED DOORS COLOR, MATERIAL AND SPECIFICATION
2	 CLEAR OFF GLASS	2	 CLEAR OFF GLASS	1	 OBSCURED GLASS	 PROPOSED FRONT DOORS ARE DARK BLUE COMPOSITE, WITH DIMENSIONS AND OPENING AS SHOWN. DIMENSIONS PRESENT THE DOOR LEAF SIZE!
1+1	 BATHROOM WINDOW - OBSCURED GLASS	2	 FFL	1	 OBSCURED GLASS	 PROPOSED BI-FOLD DOORS ARE WHITE UPVC, WITH DIMENSIONS AND OPENING AS SHOWN.
2	 CLEAR OFF GLASS		BATHROOM WINDOW - OBSCURED GLASS (MIN SCALE 4 ON THE PILKINGTON SCALE). NON-OPENING BELOW A HEIGHT OF 1.8 METRES TAKEN FROM INTERNAL FINISHED FLOOR LEVEL	2	 BI-FOLD DOORS - CLEAR OFF GLASS	GENERAL NOTES: ELEVATION DRAWING ILLUSTRATE EXTERNAL FACE OF PROPOSED DOORS. PROPOSED FRONT DOORS ARE MADE UP OF A MIXTURE OF MATERIALS SUCH AS GRP AND PU FOAM WITH HIGH-DENSITY CORE. DOUBLE GLAZED SEALED UNITS (1.3 U-VALUE) AND CLEAR OFF AND OBSCURE GLASS TO BE PROVIDED. IF THESE DOORS ARE NOT AVAILABLE ONCE PERMISSION IS GRANTED, ALTERNATIVE DOORS WITH EQUIVALENT DETAILS WILL BE SOUGHT AND FIXED. DOORS DIMENSIONS TO BE CHECKED ON SITE BEFORE ORDER! IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL, THEY MUST BE CONSULTED WITH STAAC
1+1	 CLEAR OFF GLASS	2	 CLEAR OFF GLASS			 WINDOWS ARE WHITE UPVC - THE COLOR AND MATERIAL ARE TO MATCH EXISTING NEIGHBOURS' WINDOWS ON GREEN WALK. WINDOWS ARE MANUFACTURED USING UPVC (UNPLASTICISED POLY VINYL CHLORIDE) - RIGID, DURABLE AND LONG LASTING MATERIAL USED IN THE CONSTRUCTION INDUSTRY. HIGH-PERFORMANCE LOW-E INSULATING GLASS LOWERS ENERGY COSTS, KEEPS HOMES COOLER IN THE SUMMER AND WARMER IN THE WINTER. CLEAR GLASS CONSISTS OF TWO PANES OF GLASS, SEALED WITH AN AIRSPACE AND THE PERIMETER OF THE UNIT IS SEALED. THIS OPTION OFFERS MAXIMUM VISIBLE LIGHT TRANSMITTANCE AND SUPERB ENERGY EFFICIENCY IN MOST CLIMATES. OBSCURED GLASS PANES TO BE MIN SCALE 4 ON THE PILKINGTON SCALE. CONCEALED TRICKLE VENTS.
						 1:50 SCALE in METRES

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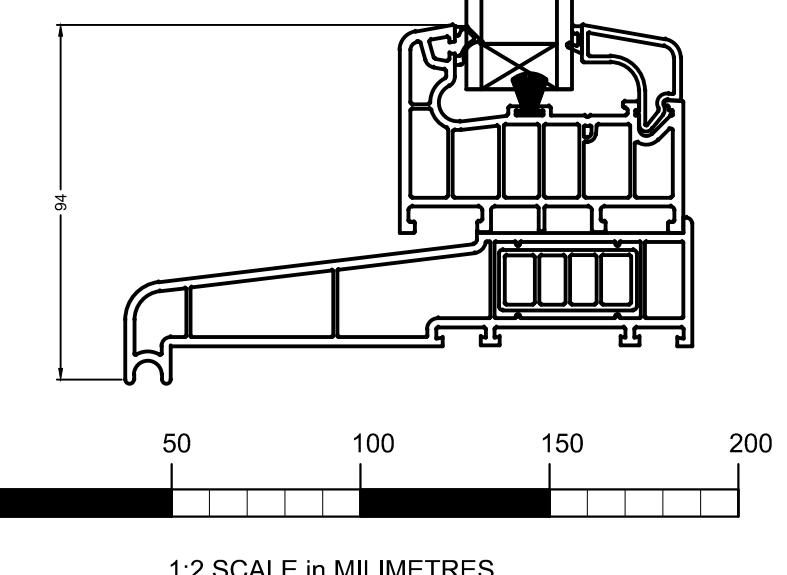
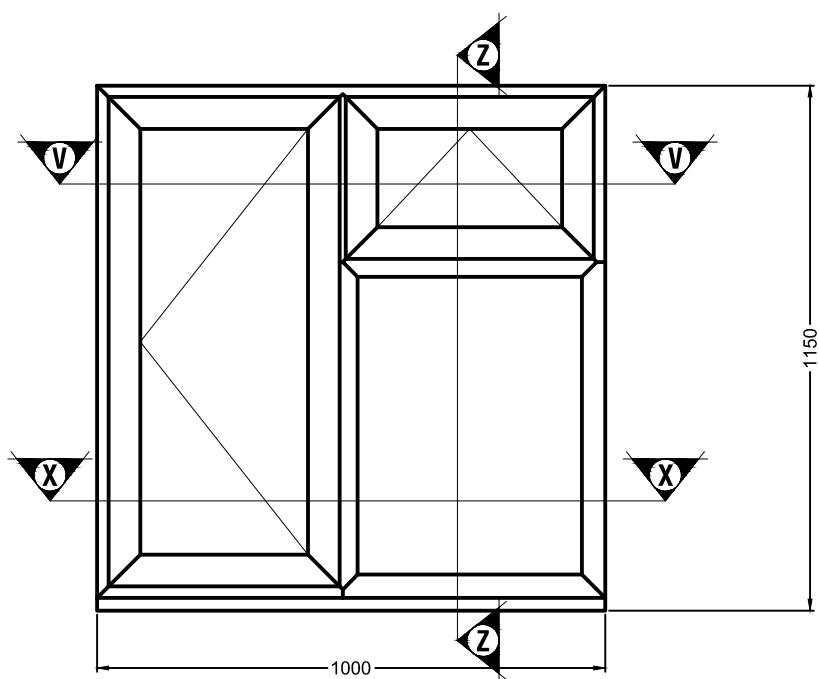
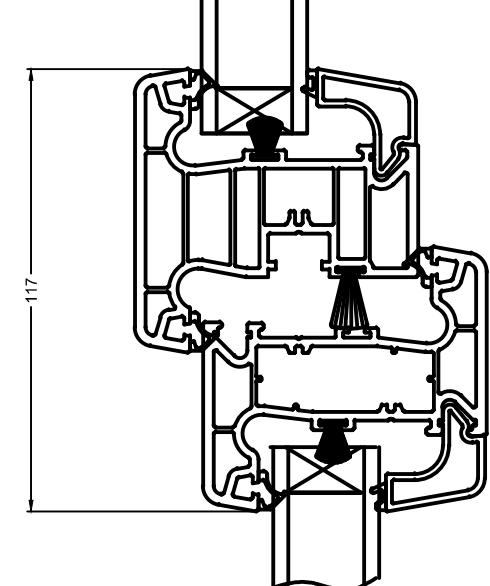
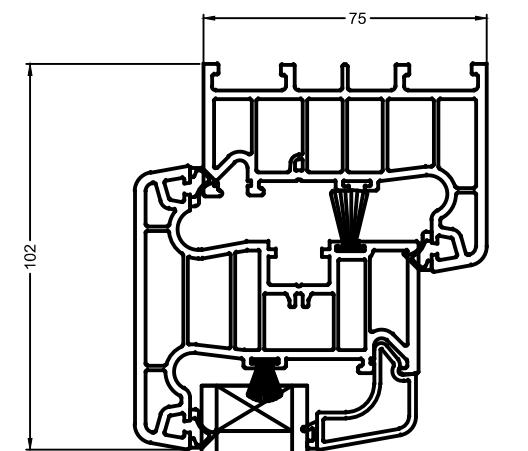
Section V-V
Scale 1:2



Section X-X
Scale 1:2



Section Z-Z
Scale 1:2



1:2 SCALE in MILLIMETRES



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Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6	
Drawing title:	Proposed Windows Details	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P07	
Scale	1:2@A3	

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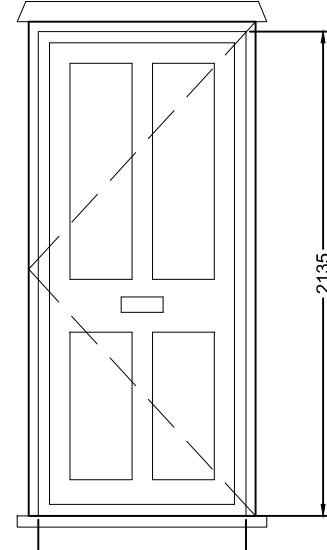
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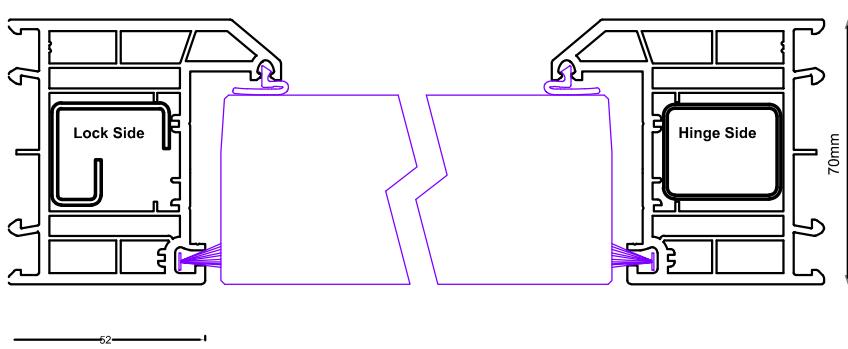
No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6	

Drawing title: Proposed Doors Details

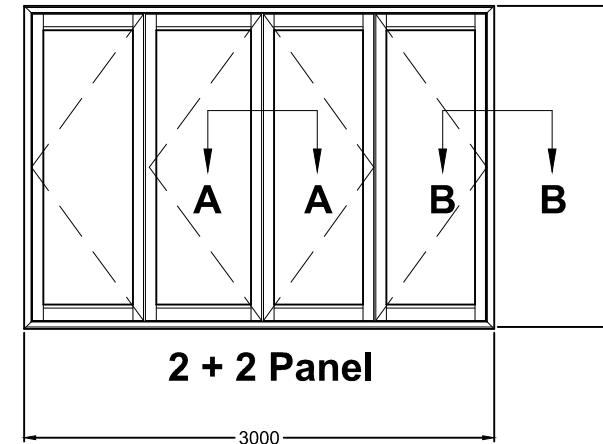
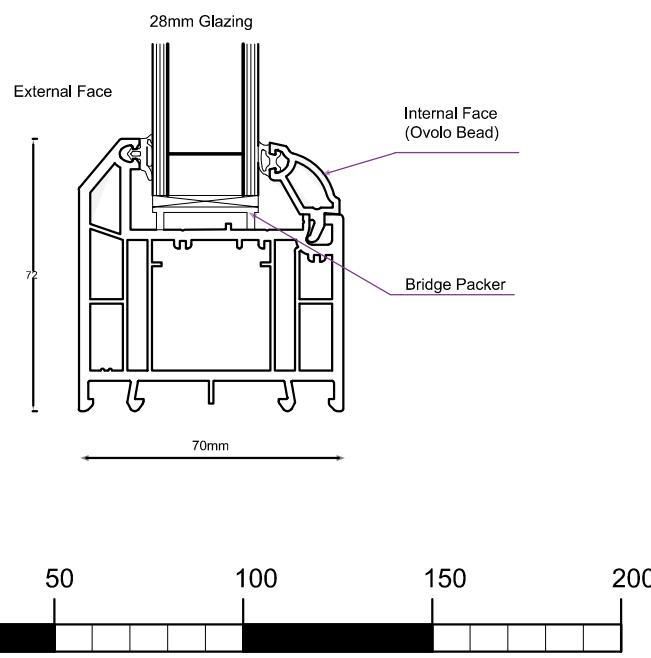
Project No	23076
Date	05-10-23
Drawn by	IA
Drawing No	P08
Scale	1:2@A3



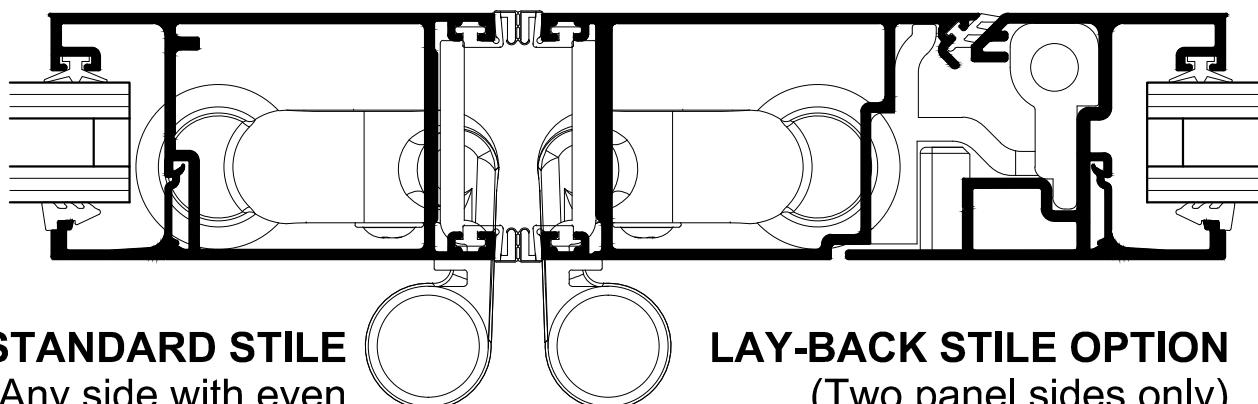
Outer Frame Detail



Side Frame Detail



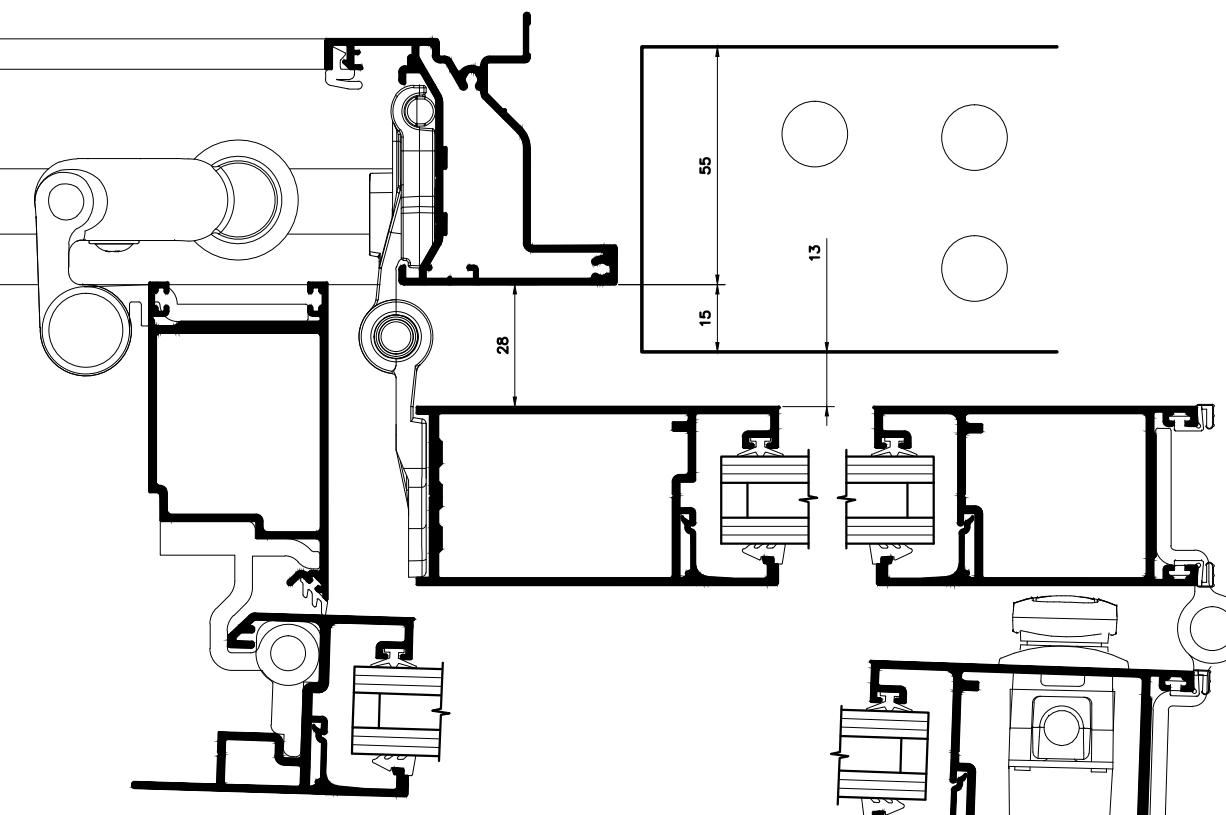
2 + 2 Panel



STANDARD STILE
(Any side with even number of panels)

LAY-BACK STILE OPTION
(Two panel sides only)

SECTION A-A



SECTION B-B

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