

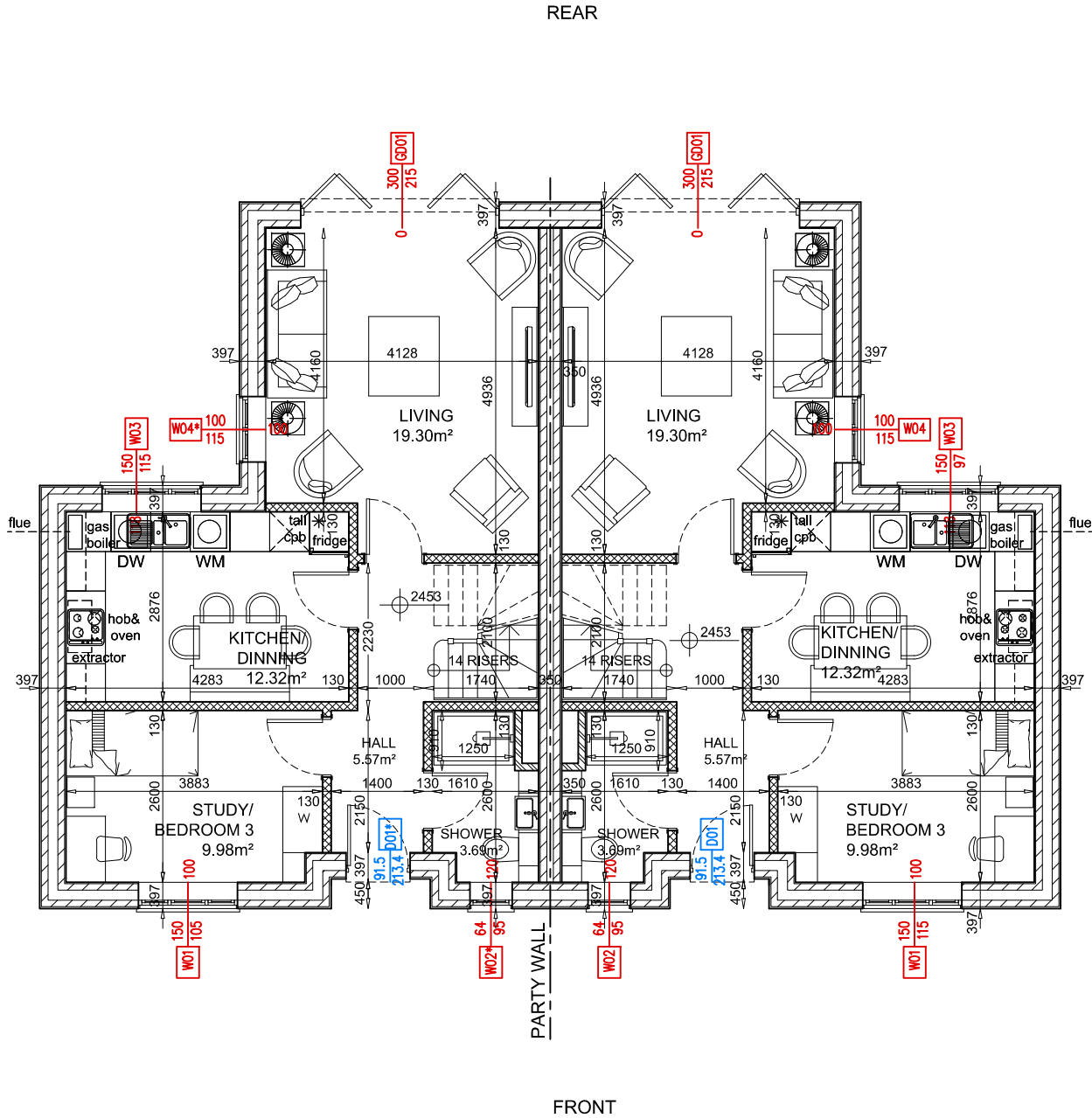
IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL,
THEY MUST BE CONSULTED WITH STAAC



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GROUND FLOOR PLAN

No.	Description	Date
Client:	Ruislip Manor Cottage Society	
Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	
Drawing title:	Proposed Plans	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P01	
Scale1:100@A3		

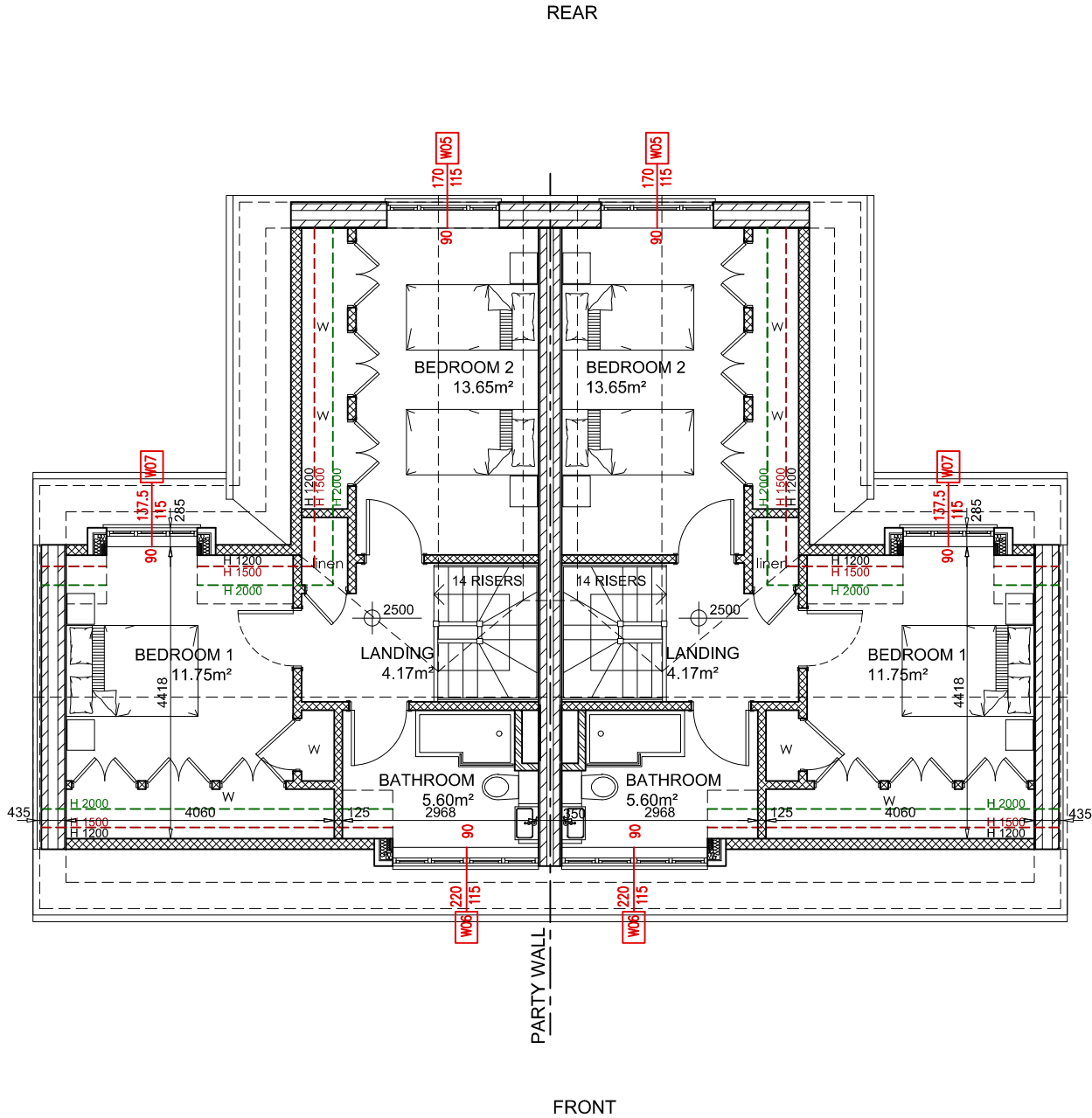
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FIRST FLOOR PLAN



No.	Description	Date
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Project:	Planning Conditions - Point 6 and Point 11	
Drawing title:	Proposed Plans	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P02	
Scale1:100@A3		

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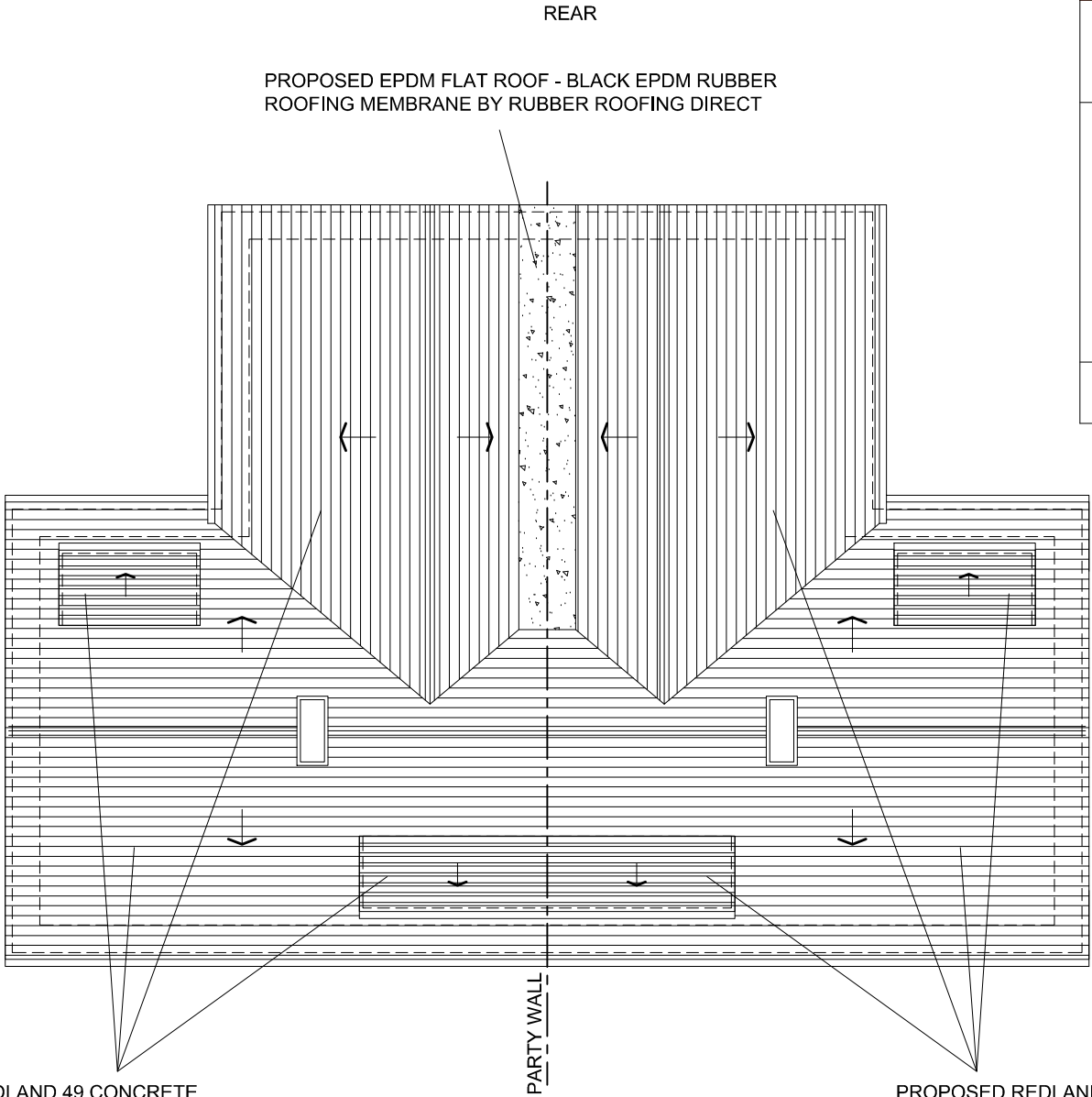
PROPOSED REDLAND 49 CONCRETE
INTERLOCKING ROOF TILE - RUSTIC RED 78:



RED CONCRETE TILES TO PROVIDES A LOW PROFILE
ROOF AND TO MATCH EXISTING NEIGHBOURS' ROOFS
ON GREEN WALK.



PROPOSED EPDM FLAT ROOF - BLACK EPDM RUBBER
ROOFING MEMBRANE BY RUBBER ROOFING DIRECT



PROPOSED REDLAND 49 CONCRETE
INTERLOCKING ROOF TILE - RUSTIC RED 78

PROPOSED REDLAND 49 CONCRETE
INTERLOCKING ROOF TILE - RUSTIC RED 78

FRONT

ROOF



1:100 SCALE in METRES



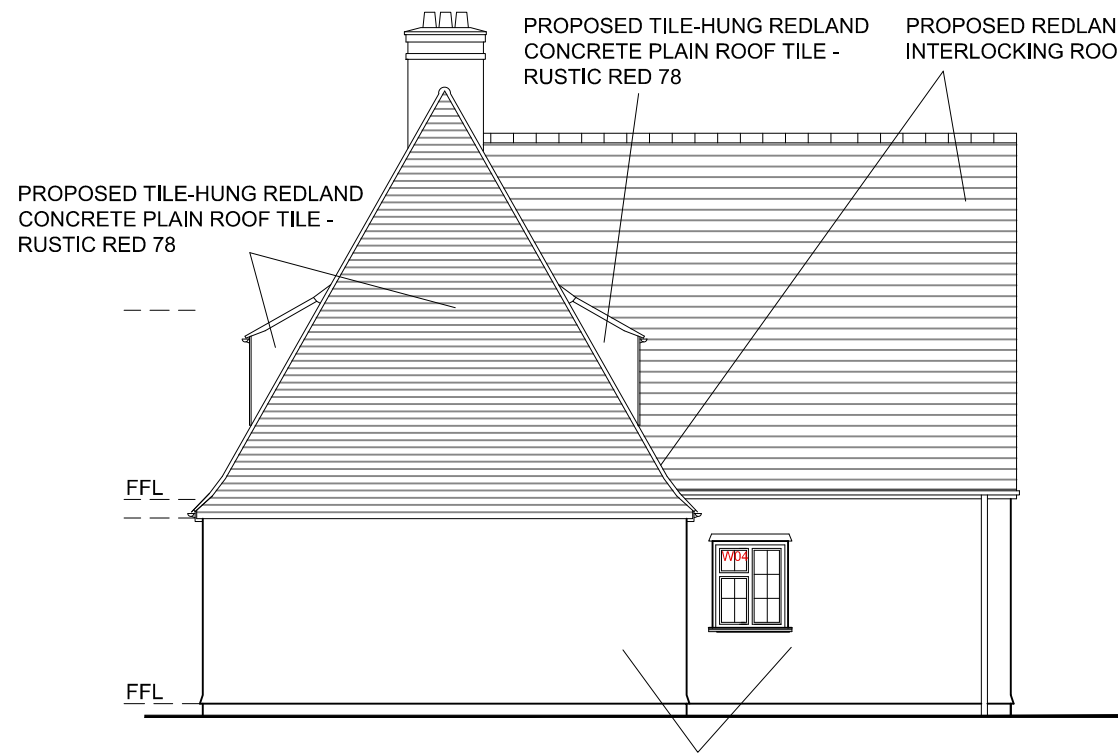
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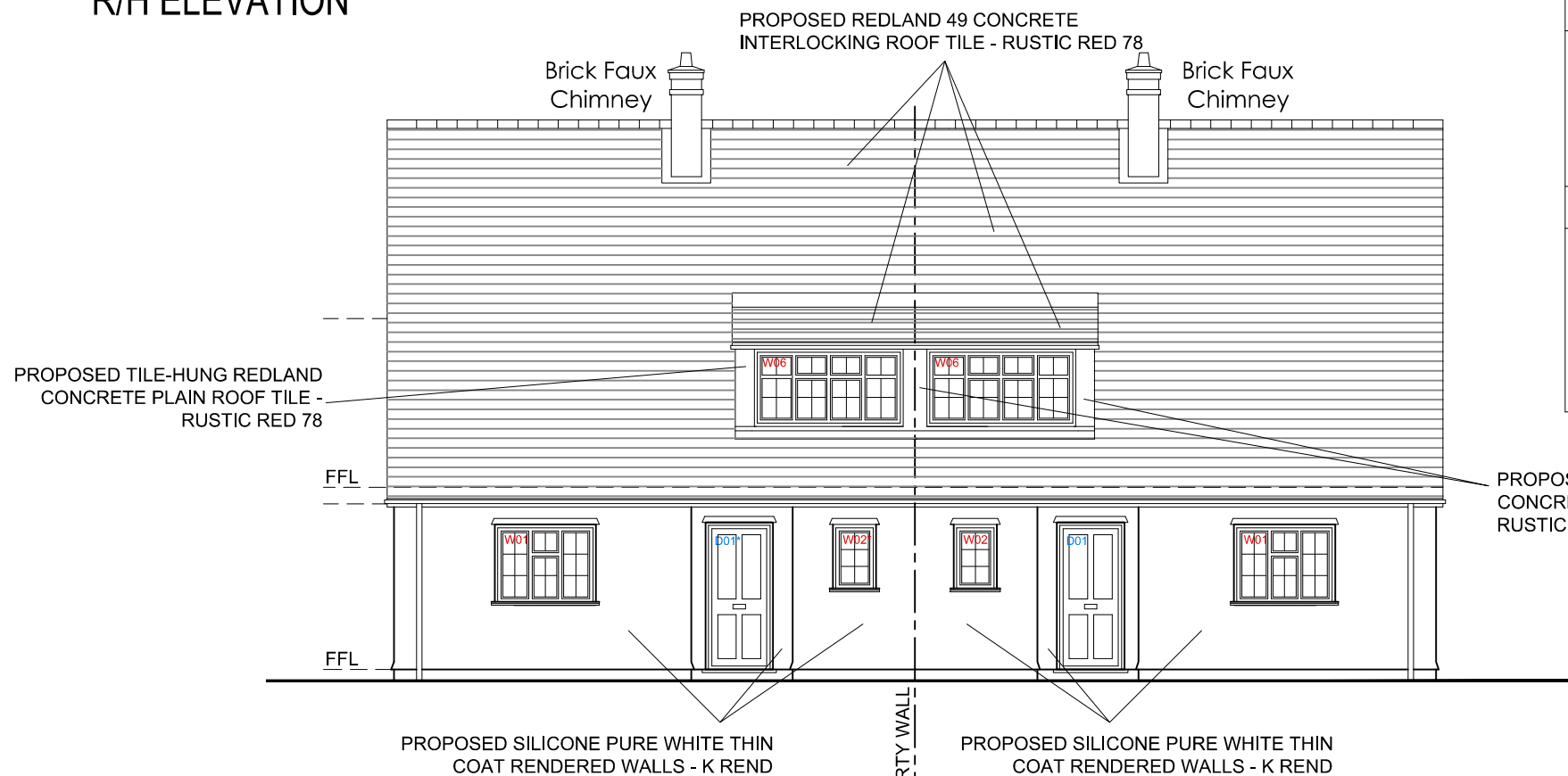
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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	
Drawing title:	Proposed Plans	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P03	
Scale	1:100@A3	

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WEST ELEVATION
R/H ELEVATION



NORTH ELEVATION
FRONT ELEVATION



PROPOSED REDLAND 49 CONCRETE
INTERLOCKING ROOF TILE - RUSTIC RED 78:



RED CONCRETE TILES TO PROVIDES A LOW PROFILE
ROOF AND TO MATCH EXISTING NEIGHBOURS' ROOFS
ON GREEN WALK.

PROPOSED TILE-HUNG REDLAND CONCRETE
PLAIN ROOF TILE - RUSTIC RED 78:



PROPOSED SILICONE PURE WHITE THIN
COAT RENDERED WALL - K REND:



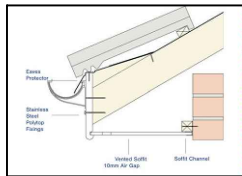
SILICONE WHITE THIN COAT RENDER
PROVIDING A LOW MAINTENANCE
TEXTURED FINISH TO MATCH
EXISTING NEIGHBOURS' WALLS ON
GREEN WALK.

PROPOSED GUTTERS AND RAIN WATER
PIPES:



UPVC BLACK COLORED WITH
PRE-LUBRICATED SEALS AND PRE-FITTED
GUTTER SEAL RETAINING CLIP SYSTEM.
TO MATCH EXISTING NEIGHBOURS' ON
GREEN WALK.
BY FLOPLAST

PROPOSED SOFIT:



WHITE PVC-UE & PVC-U
EXTRUDED FASCIA BOARDS
CAPABLE OF LOAD BEARING
TO MATCH EXISTING
NEIGHBOURS' ON GREEN
WALK.
100 mm BY EUROCELL



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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	
Drawing title:	Proposed Elevations	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P04	
Scale	1:100@A3	

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PROPOSED EPDM FLAT ROOF:



PROPOSED EPDM FLAT ROOF - BLACK EPDM RUBBER ROOFING MEMBRANE

PROPOSED REDLAND 49 CONCRETE INTERLOCKING ROOF TILE - RUSTIC RED 78:



RED CONCRETE TILES TO PROVIDES A LOW PROFILE ROOF AND TO MATCH EXISTING NEIGHBOURS' ROOFS ON GREEN WALK.

PROPOSED TILE-HUNG REDLAND CONCRETE PLAIN ROOF TILE - RUSTIC RED 78:



PROPOSED SILICONE PURE WHITE THIN COAT RENDERED WALL - K REND:



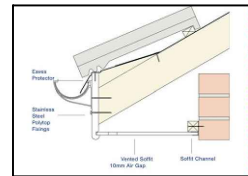
SILICONE WHITE THIN COAT RENDER PROVIDING A LOW MAINTENANCE TEXTURED FINISH TO MATCH EXISTING NEIGHBOURS' WALLS ON GREEN WALK.

PROPOSED GUTTERS AND RAIN WATER PIPES:



UPVC BLACK COLORED WITH PRE-LUBRICATED SEALS AND PRE-FITTED GUTTER SEAL RETAINING CLIP SYSTEM. TO MATCH EXISTING NEIGHBOURS' ON GREEN WALK. BY FLOPLAST

PROPOSED SOFIT:



WHITE PVC-UE & PVC-U EXTRUDED FASCIA BOARDS CAPABLE OF LOAD BEARING TO MATCH EXISTING NEIGHBOURS' ON GREEN WALK. 100 mm BY EUROCELL

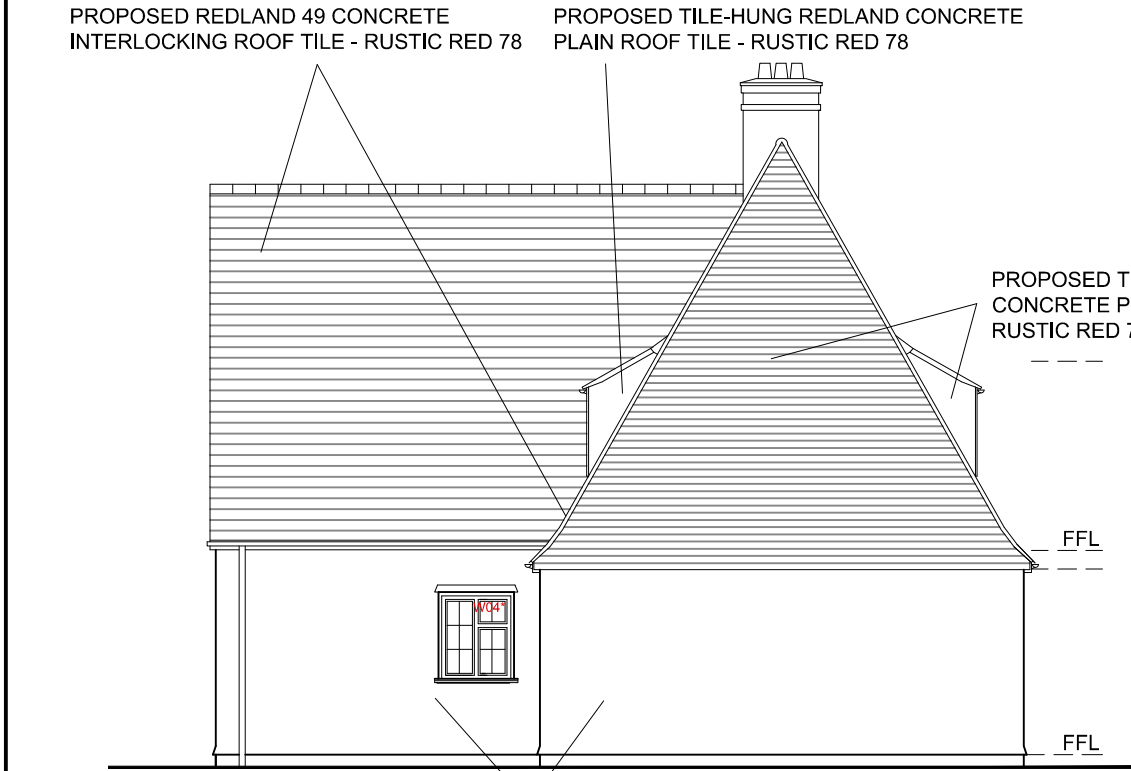


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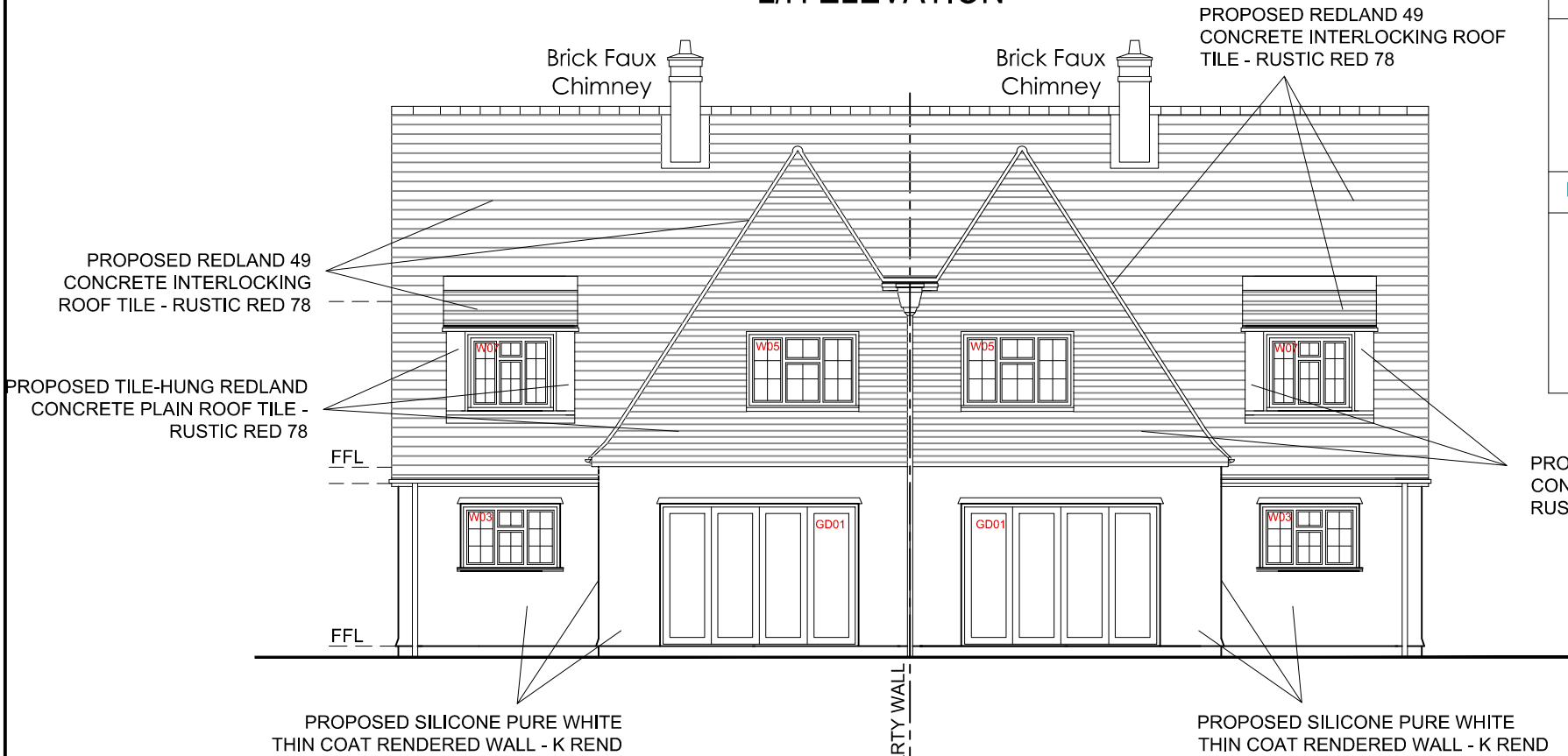
t: 01323 325354
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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6 and Point 11	
Drawing title:	Proposed Elevations	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P05	
Scale	1:100@A3	



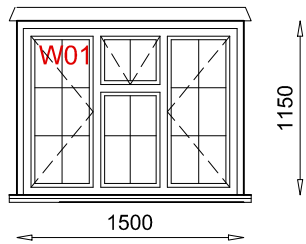
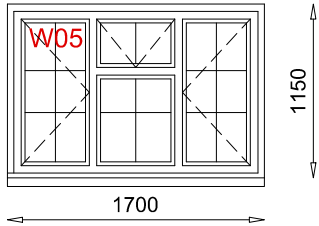
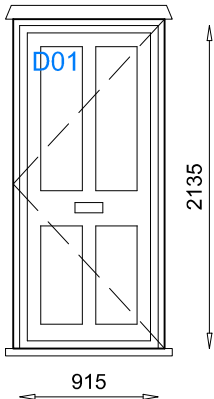

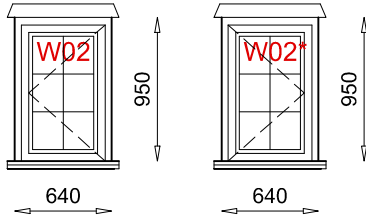
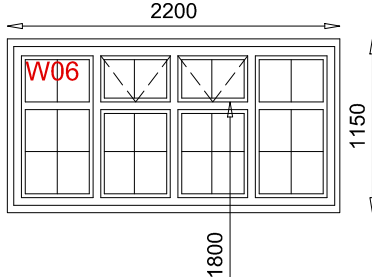
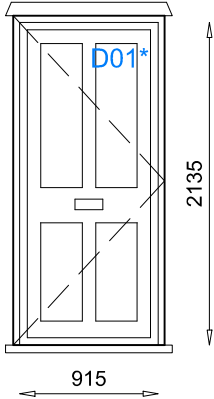

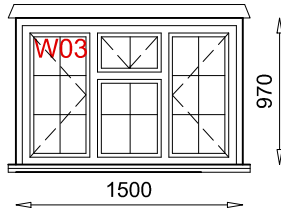
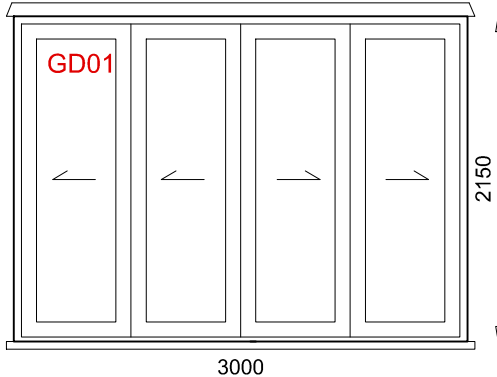
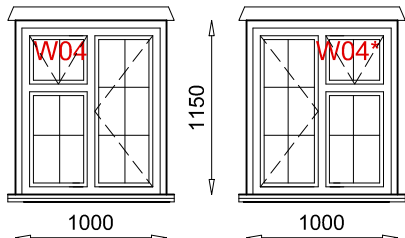
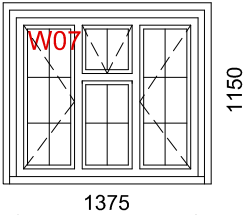


EAST ELEVATION
L/H ELEVATION



SOUTH ELEVATION
REAR ELEVATION



1:100 SCALE in METRES

N	PROPOSED WINDOWS	N	PROPOSED WINDOWS	N	PROPOSED DOORS	PROPOSED DOORS COLOR, MATERIAL AND SPECIFICATION																														
2	 <p>CLEAR OFF GLASS</p>	2	 <p>CLEAR OFF GLASS</p>	1	 <p>OBSCURED GLASS</p>	 <p>PROPOSED FRONT DOORS ARE DARK BLUE COMPOSITE, WITH DIMENSIONS AND OPENING AS SHOWN. DIMENTIONS PRESENT THE DOOR LEAF SIZE!</p>																														
1+1	 <p>BATHROOM WINDOW - OBSCURED GLASS</p>	2	 <p>FFL</p> <p>BATHROOM WINDOW - OBSCURED GLASS (MIN SCALE 4 ON THE PILKINGTON SCALE).</p> <p>NON-OPENING BELOW A HEIGHT OF 1.8 METRES TAKEN FROM INTERNAL FINISHED FLOOR LEVEL</p>	1	 <p>OBSCURED GLASS</p>	 <p>PROPOSED BI-FOLD DOORS ARE WHITE UPVC, WITH DIMENSIONS AND OPENING AS SHOWN.</p>																														
2	 <p>CLEAR OFF GLASS</p>			2	 <p>BI-FOLD DOORS - CLEAR OFF GLASS</p>	<p>GENERAL NOTES:</p> <p>ELEVATION DRAWING ILLUSTRATE EXTERNAL FACE OF PROPOSED DOORS.</p> <p>PROPOSED FRONT DOORS ARE MADE UP OF A MIXTURE OF MATERIALS SUCH AS GRP AND PU FOAM WITH HIGH-DENSITY CORE.</p> <p>DOUBLE GLAZED SEALED UNITS (1.3 U-VALUE) AND CLEAR OFF AND OBSCURE GLASS TO BE PROVIDED.</p> <p>IF THESE DOORS ARE NOT AVAILABLE ONCE PERMISSION IS GRANTED, ALTERNATIVE DOORS WITH EQUIVALENT DETAILS WILL BE SOUGHT AND FIXED.</p> <p>DOORS DIMENTIONS TO BE CHECKED ON SITE BEFORE ORDER!</p> <p>IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL, THEY MUST BE CONSULTED WITH STAAC</p>																														
1+1	 <p>CLEAR OFF GLASS</p>	2	 <p>CLEAR OFF GLASS</p>																																	
PROPOSED WINDOWS COLOR, MATERIAL AND SPECIFICATION				GENERAL NOTES:																																
 <p>WINDOWS ARE WHITE UPVC - THE COLOR AND MATERIAL ARE TO MATCH EXISTING NEIGHBOURS' WINDOWS ON GREEN WALK.</p> <p>WINDOWS ARE MANUFACTURED USING UPVC (UNPLASTICISED POLY VINYL CHLORIDE) - RIGID, DURABLE AND LONG LASTING MATERIAL USED IN THE CONSTRUCTION INDUSTRY.</p> <p>HIGH-PERFORMANCE LOW-E INSULATING GLASS LOWERS ENERGY COSTS, KEEPS HOMES COOLER IN THE SUMMER AND WARMER IN THE WINTER.</p> <p>CLEAR GLASS CONSISTS OF TWO PANES OF GLASS, SEALED WITH AN AIRSPACE AND THE PERIMETER OF THE UNIT IS SEALED. THIS OPTION OFFERS MAXIMUM VISIBLE LIGHT TRANSMITTANCE AND SUPERB ENERGY EFFICIENCY IN MOST CLIMATES.</p> <p>OBSCURED GLASS PANES TO BE MIN SCALE 4 ON THE PILKINGTON SCALE.</p> <p>CONCEALED TRICKLE VENTS.</p>				<p>ELEVATION DRAWING ILLUSTRATE EXTERNAL FACE OF PROPOSED WINDOWS.</p> <p>PROPOSED WINDOWS ARE UPVC, WHITE COLOURED WITH DIMENSIONS AND OPENING AS SHOWN. DIMENTIONS TO BE CHECKED ON SITE BEFORE ORDER!</p> <p>LONG-LASTING, LOW MAINTENANCE WITH HIGH PERFORMANCE MATERIAL. UPVC WINDOWS ARE AMONG THE MOST ENERGY-EFFICIENT WINDOWS AVAILABLE AND CAN ACHIEVE A WINDOWS ENERGY RATING OF UP TO AN A+.</p> <p>DOUBLE GLAZED SEALED UNITS (1.3 U-VALUE) AND CLEAR OFF AND OBSCURE GLASS.</p> <p>CILLS TO MATCH EXISTING.</p> <p>WINDOWS COMPLY WITH BUILDING REGULATIONS FOR THE FIRE ESCAPE OPENINGS.</p> <p>IF THESE WINDOWS ARE NOT AVAILABLE ONCE PERMISSION IS GRANTED, ALTERNATIVE WINDOWS WITH EQUIVALENT DETAILS WILL BE SOUGHT AND FIXED.</p>																																
				 <p>1:50 SCALE in METRES</p>																																
				<table><tr><th>No.</th><th>Description</th><th>Date</th></tr><tr><td>Client:</td><td>Ruislip Manor Cottage Society</td><td></td></tr><tr><td>Address:</td><td>Green Walk Garages, Ruislip, HA4 8HJ</td><td></td></tr><tr><td>Project:</td><td>Planning Conditions - Point 6 and Point 11</td><td></td></tr><tr><td>Drawing title:</td><td>Proposed Windows and Doors Elevations and Materials</td><td></td></tr><tr><td>Project No</td><td>23076</td><td></td></tr><tr><td>Date</td><td>05-10-23</td><td></td></tr><tr><td>Drawn by</td><td>IA</td><td></td></tr><tr><td>Drawing No</td><td>P06</td><td></td></tr><tr><td colspan="3">Scale1:50@A3</td></tr></table>			No.	Description	Date	Client:	Ruislip Manor Cottage Society		Address:	Green Walk Garages, Ruislip, HA4 8HJ		Project:	Planning Conditions - Point 6 and Point 11		Drawing title:	Proposed Windows and Doors Elevations and Materials		Project No	23076		Date	05-10-23		Drawn by	IA		Drawing No	P06		Scale1:50@A3		
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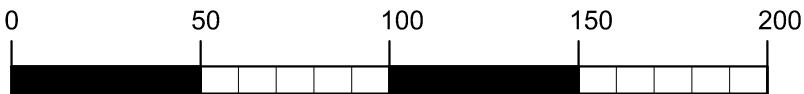
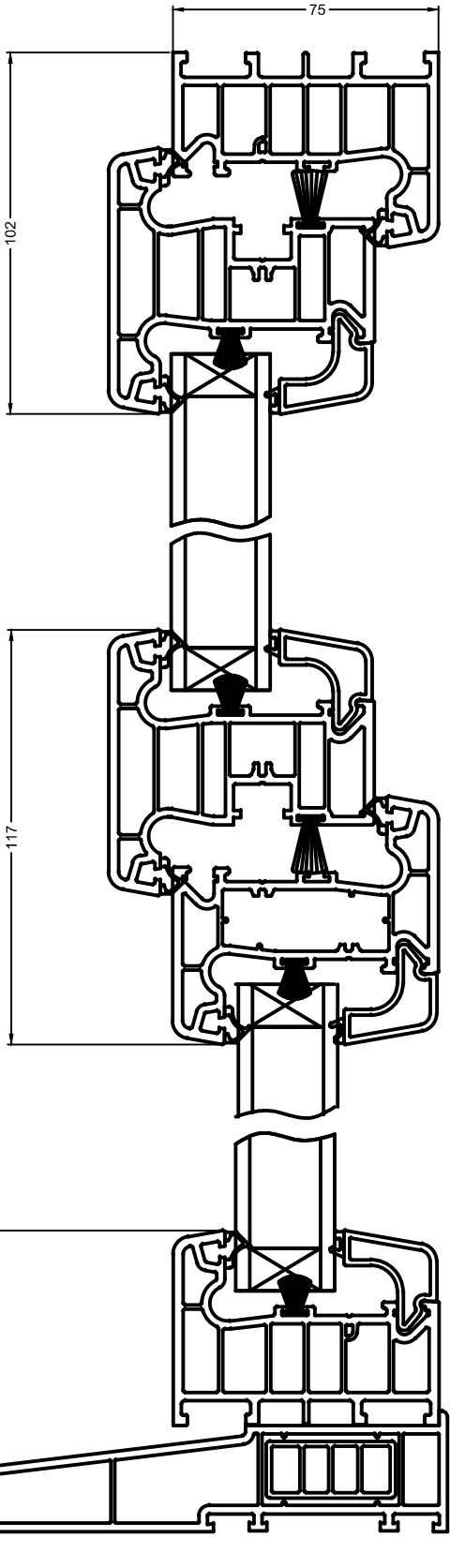
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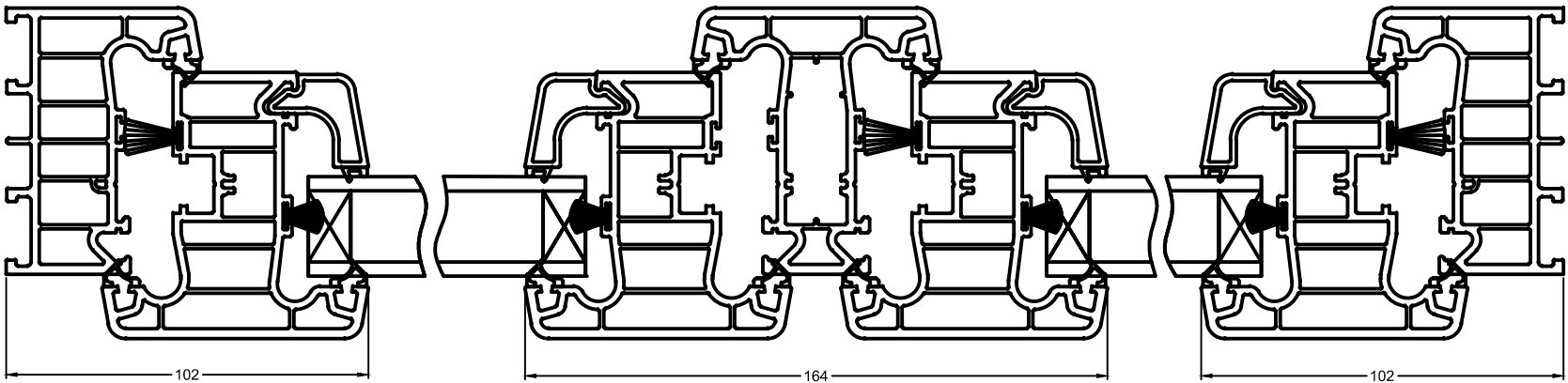
No.	Description	Date
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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6	
Drawing title:	Proposed Windows Details	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P07	
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Section Z-Z
Scale 1:2

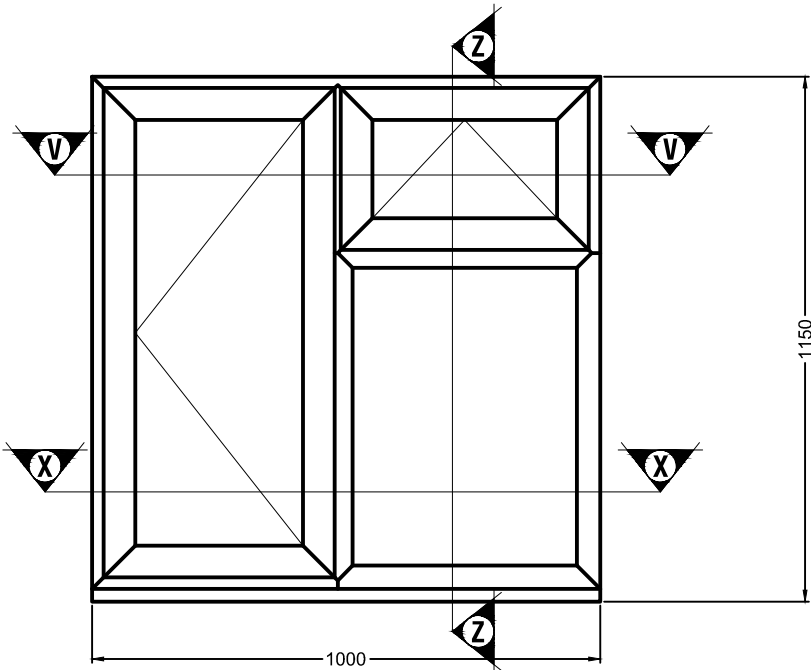
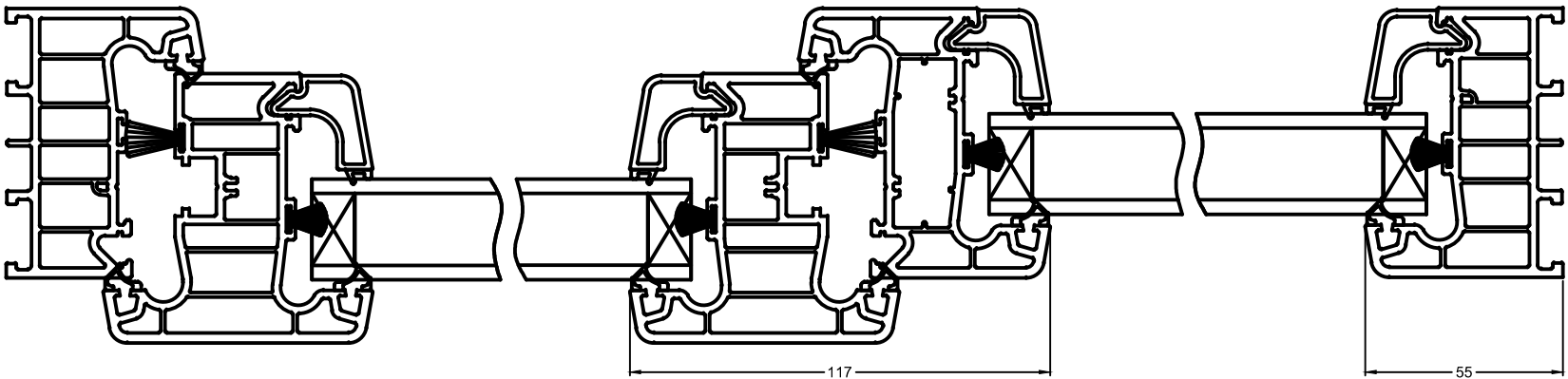


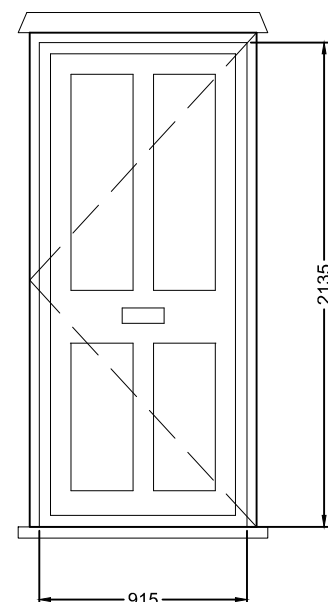
1:2 SCALE in MILLIMETRES

Section V-V
Scale 1:2

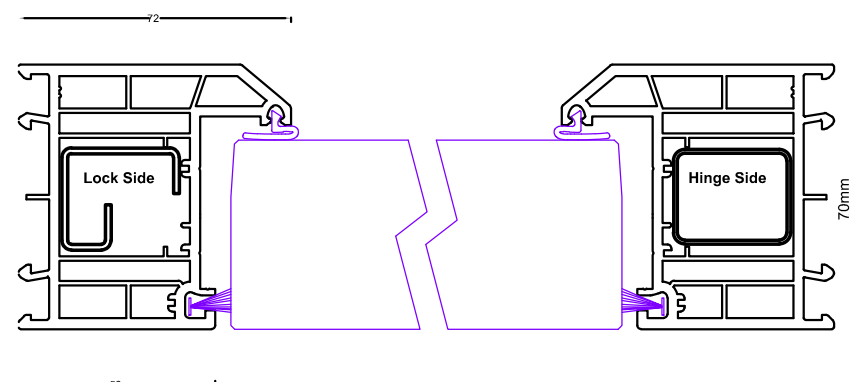


Section X-X
Scale 1:2

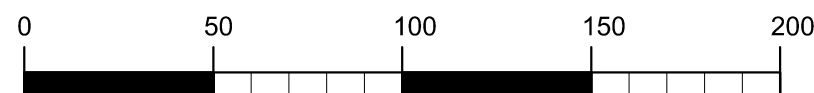
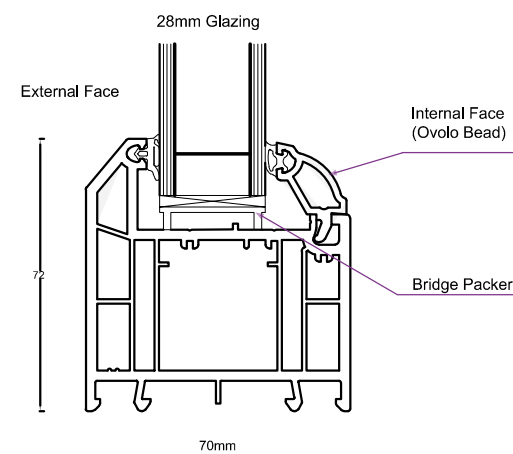




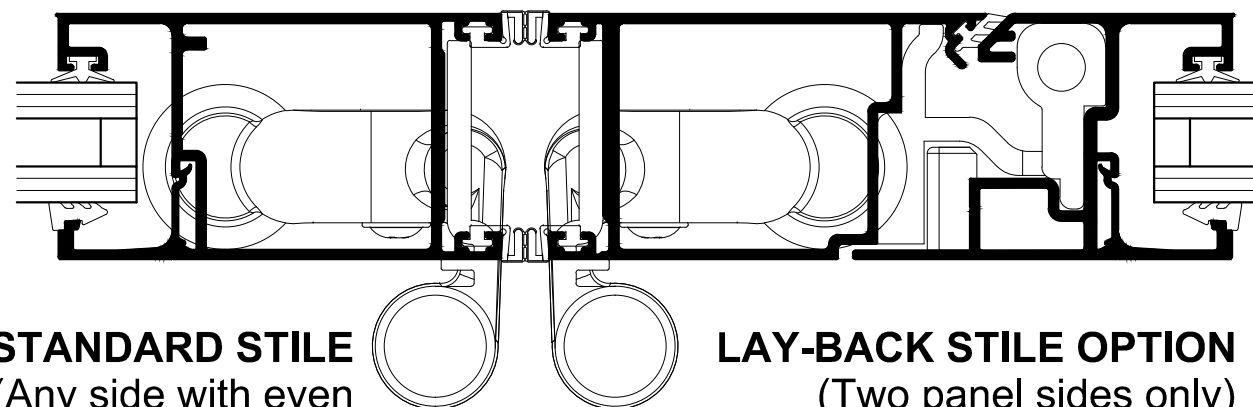
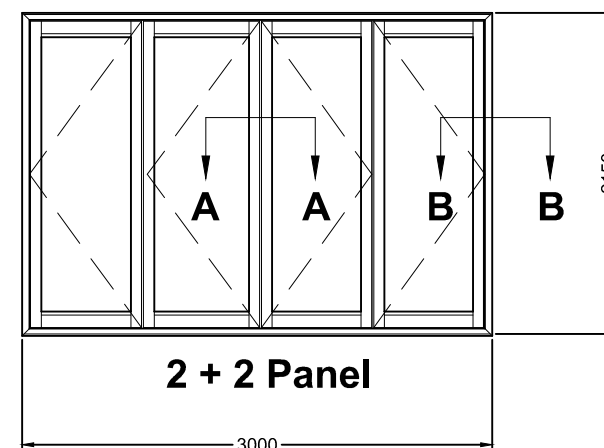
Outer Frame Detail



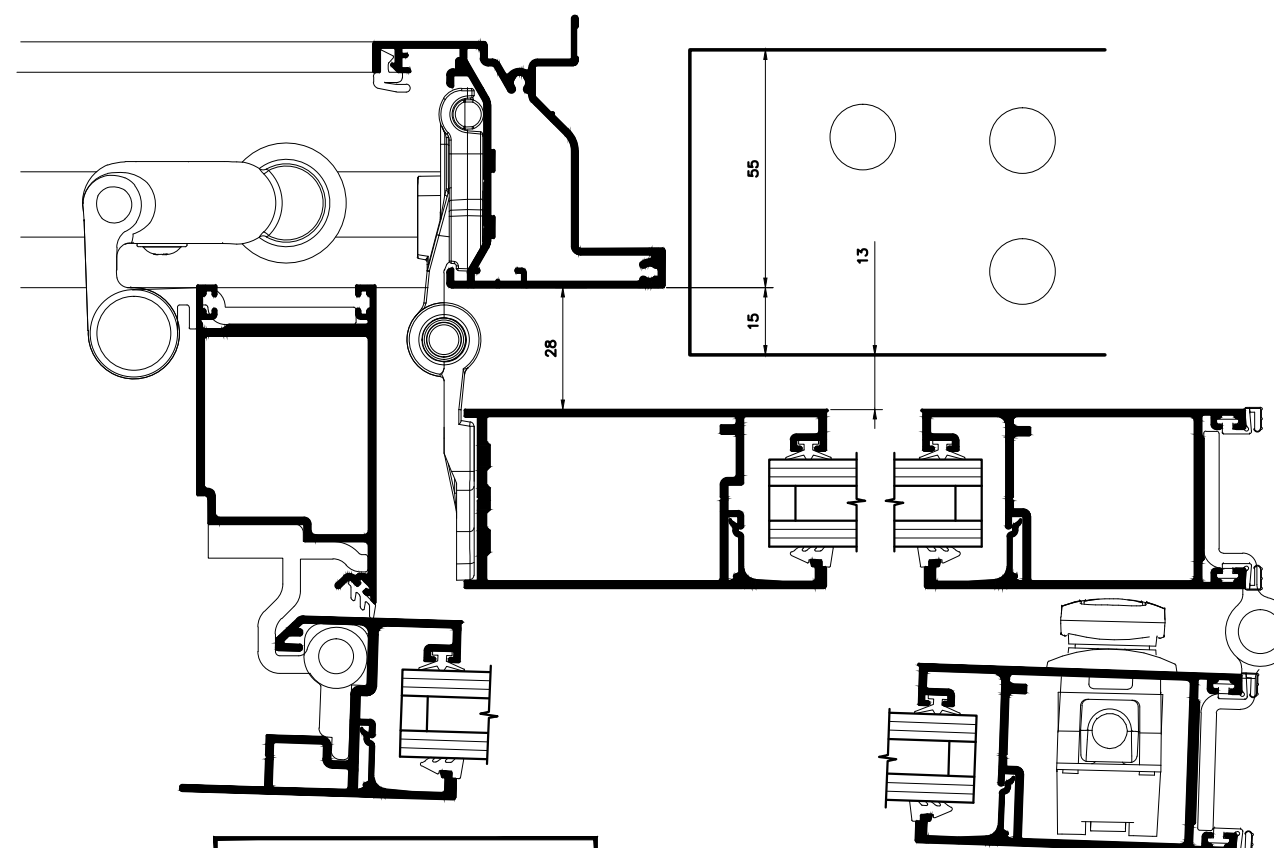
Side Frame Detail



1:2 SCALE in MILLIMETRES



SECTION A-A



SECTION B-B

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Address:	Green Walk Garages, Ruislip, HA4 8HJ	
Project:	Planning Conditions - Point 6	
Drawing title:	Proposed Doors Details	
Project No	23076	
Date	05-10-23	
Drawn by	IA	
Drawing No	P08	
Scale 1:2@A3		