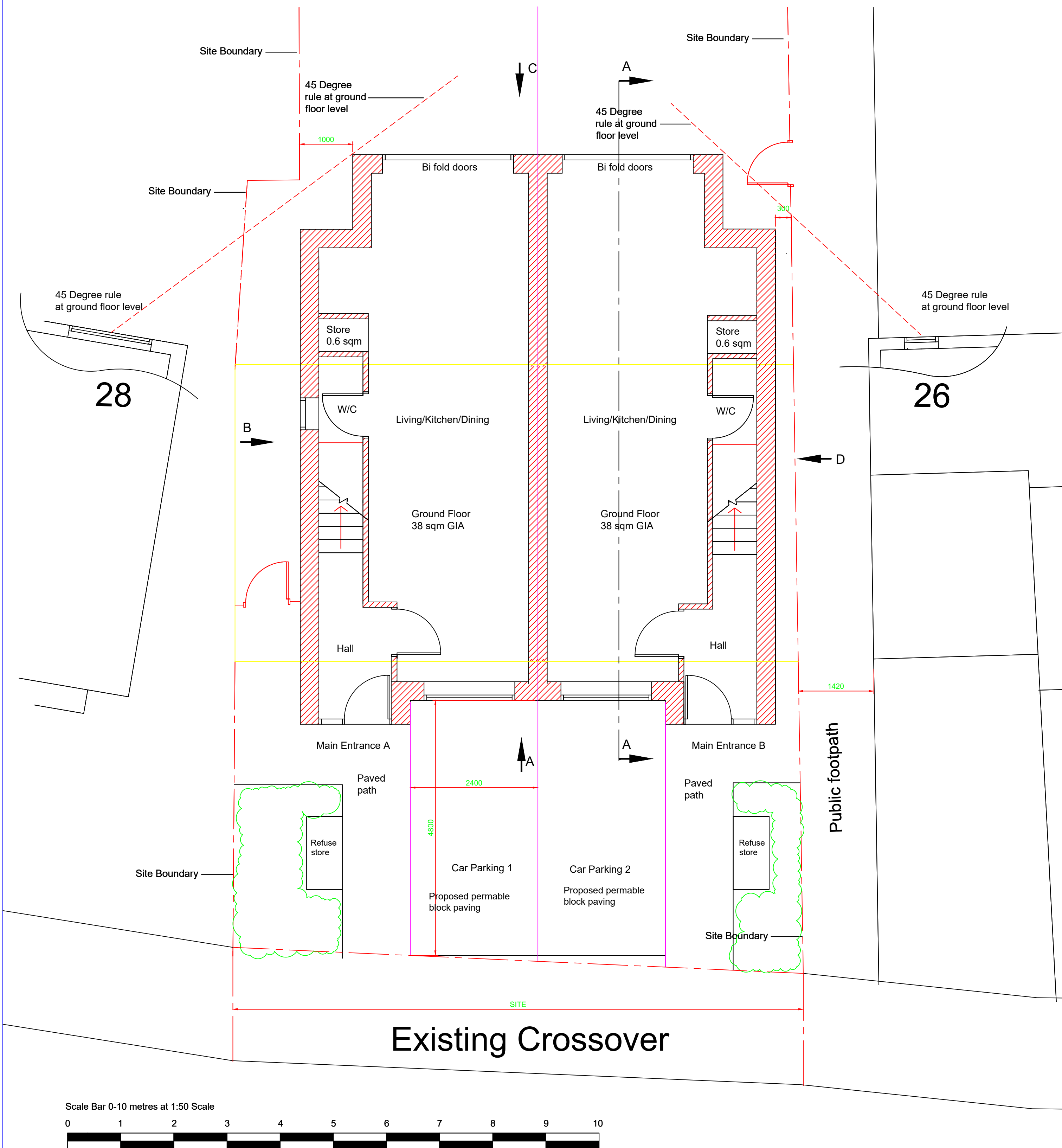
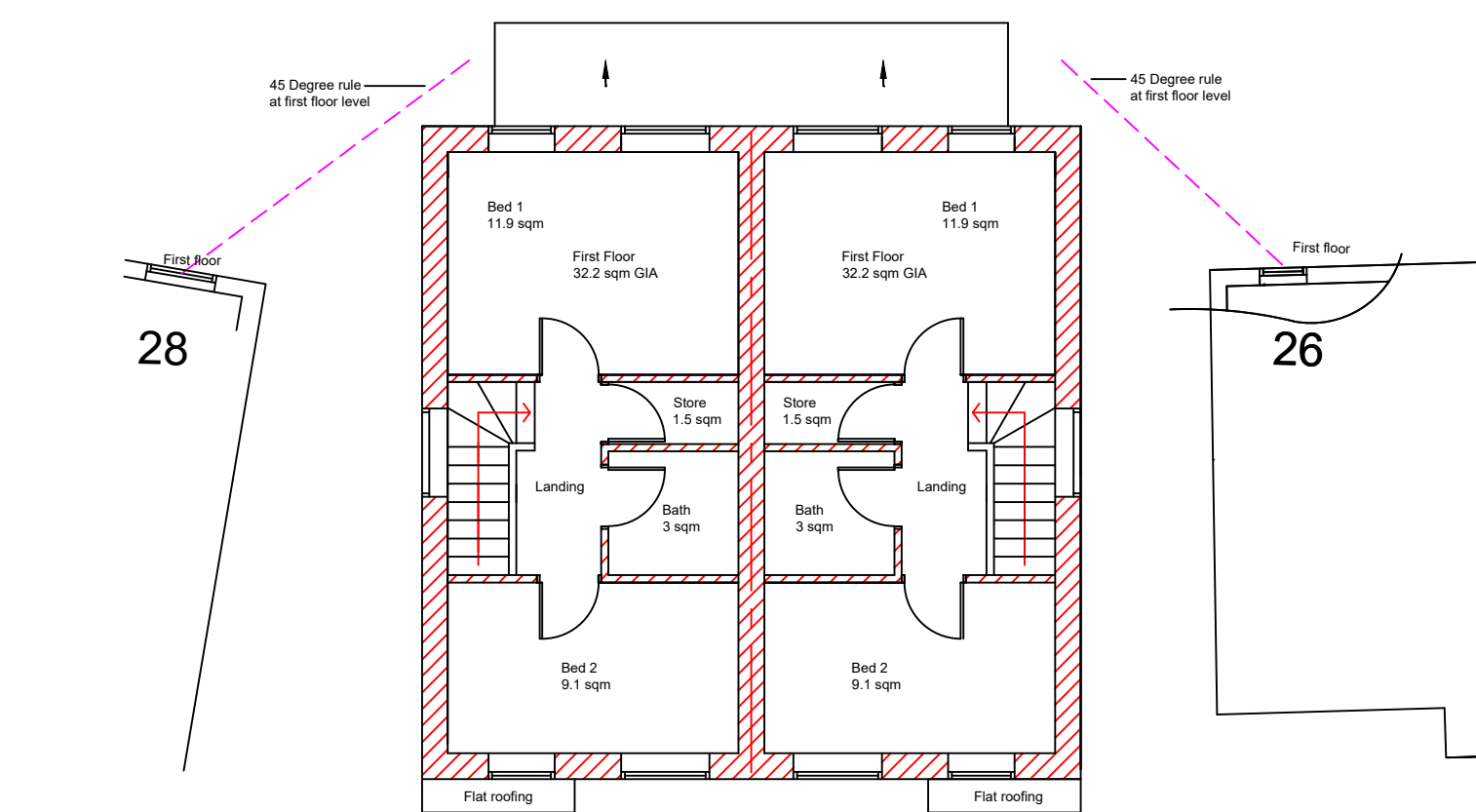


# Proposed Ground Floor Plan



# Proposed Floor Plans



Proposed First Floor Plan  
Scale 1:100

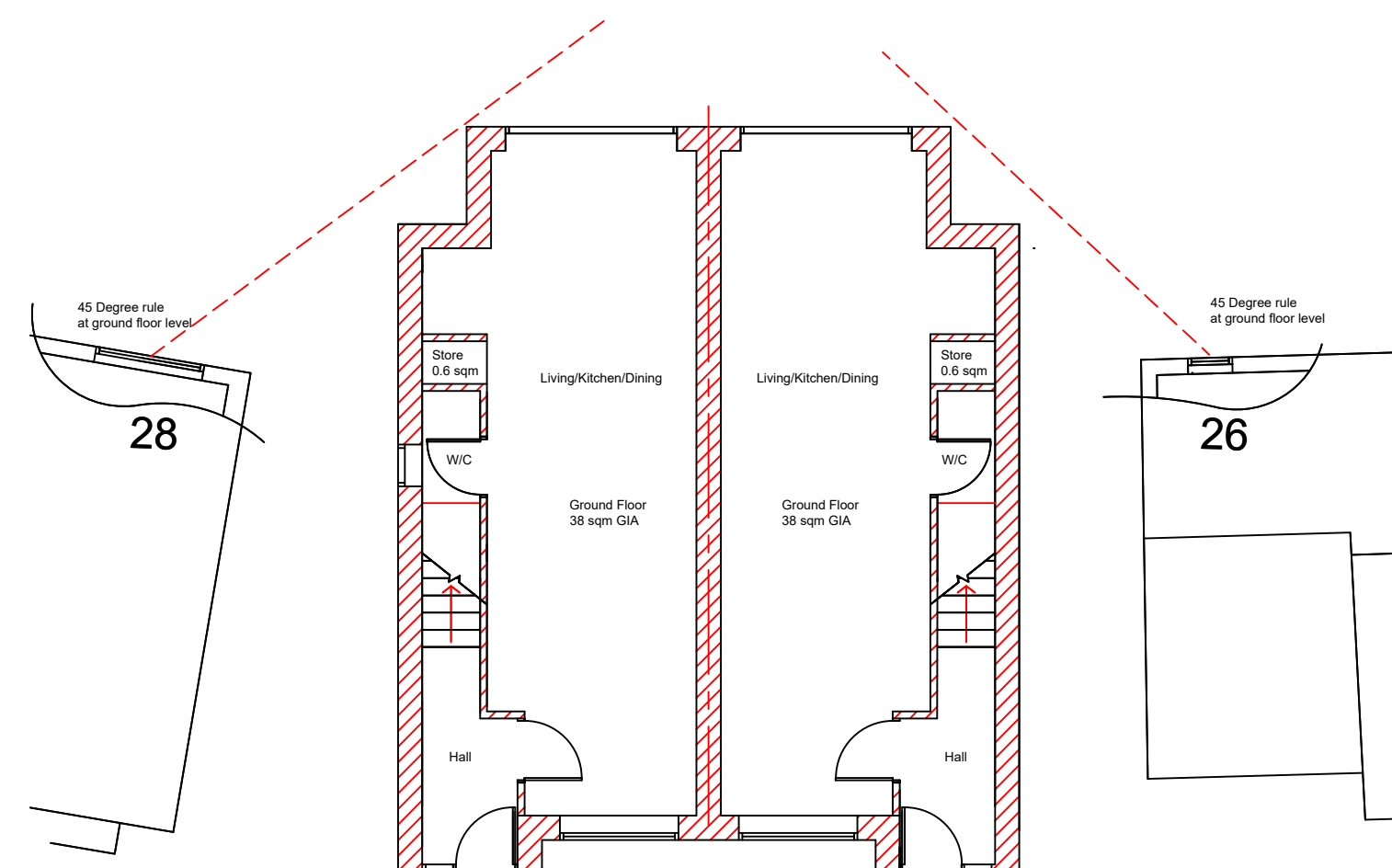
Proposed Material Schedule

Walling - Brickwork  
Roofing Pitched - Roofing tiles  
Roofing Flat - Fibre glass  
Colour: Grey  
Windows and doors - PVC  
Colour: White/Grey

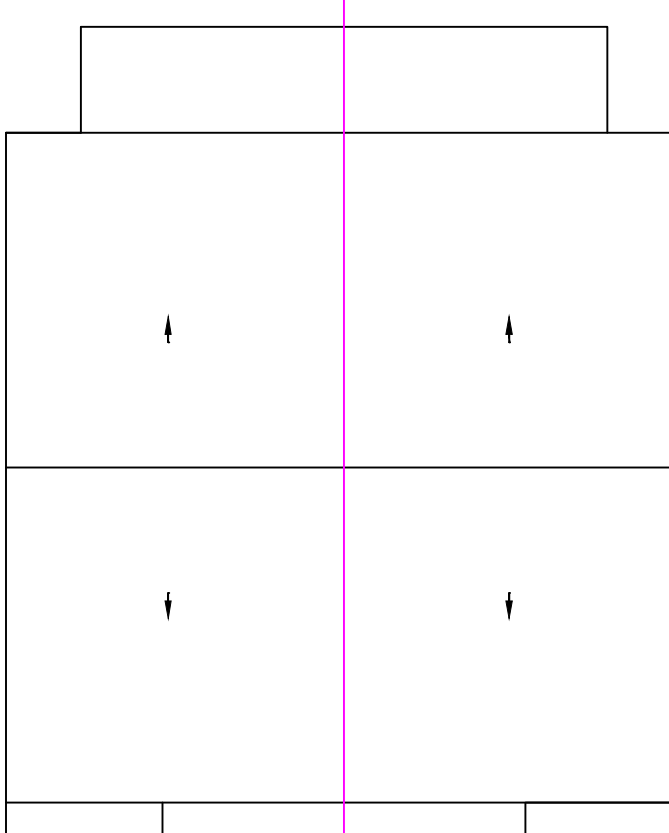
Proposed Area  
2 bed (3 person)  
Semi-Detached Dwelling  
x 2 off

Ground 38 sqm GIA  
First 32.2 sqm GIA

Proposed Total 70.2 sqm GIA



Proposed Ground Floor Plan  
Scale 1:100



Proposed Roof Plan  
Scale 1:100

Rev	Description	Date	Name
A	Two storey front projection removed, 2 off car parking location to front centre, with entrance doors either side. Proposal pull in from public footway right hand side by 300mm. Internal revisions and minor revision to front crossover	28th June 2023	K O'C



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CLIENT Oak & Stone Developers Ltd

LOCATION/PROJECT  
Garage Site Between 26 & 28 Ash Grove,  
Harefield, UB9 6EX.

TITLE OF DRAWING Proposed Floor Plans

DESCRIPTION OF PROPOSED WORKS

Demolition of existing garages and  
construction of 2 off semi detached  
dwellings with gardens to front and  
rear including off street parking for cars

DRAWING STATUS

Full Plans Re-Submission

NOTES

This drawing has been produced in support of a planning application or a building regulations submission and should not be used for any other purpose.  
Copyright. No part of this drawing or any other drawings, details, calculations or schedules pertaining to this project as titled (including any notes therein) may be produced in any form either in part or whole without the prior permission in writing of Kevin O'Callaghan, Architect.  
All dimensions are in millimeters. If in doubt ask. This drawing is not to be used for setting out.  
All sizes and dimensions to be checked on site prior to commencement and confirmed by the architect. This drawing is to be read in conjunction with all other relevant drawings and details.  
Party Walls. All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.  
All cross over, build over agreements with utility companies to be agreed and approved prior to works on site.

Materials and workmanship must be of a standard conforming with the appropriate recognised authority. For example "National House Building Council", "British Standards Institution", "Department of the Environment- (Building regulations 1991)" etc.  
Health and Safety  
The client, will be the/ or appoint a, Principle Designer to act on his behalf who will ensure that where applicable the "Construction (Design & Management) Regulations 2015" are adhered to, if required.  
The Contractor must at all times operate safe working practices, maintain the integrity of the existing structures, and conform to all the appropriate requirements of the health & Safety Executive including the "Construction (Health, Safety and welfare) Regulations 2015".  
The working methods of any hazardous operations must first be discussed with the Principle Designer and the Principle Contractor prior to commencement.

DATE April 2023

DRAWN BY K O'C

SCALE 1:100

REVISIONS A

DRAWING NUMBER

A1 SIZE DRAWING

PLR-AG-3000  
Print Drawing at 1/50 for A1 size