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**129-131 FIELD END ROAD, EASTCOTE HA5 1QH:
THE ALTERATIONS TO FRONT ELEVATION ONLY**

RETROSPECTIVE PLANNING APPLICATION

PLANNING STATEMENT
MARCH 2023

APPLICANT:
GRANDPROP LIMITED

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1. Location plan (red outline denotes application site - second floor only)

1. INTRODUCTION

- 1.1. The application is for retrospective planning approval for a vertical duct that was installed on the front elevation of nos. 129-131 Field End Road in 2018.
- 1.2. The application site is the second floor of nos 129-131 Field End Road that is part of the larger 127-133 Field End Road, which is in the freehold ownership of the Grandprop Limited, part of the Better Properties Group.
- 1.3. The ground floor of 129-131 Field End Road, together with nos. 127 and 133 Field End Road, is currently occupied by an Aldi supermarket, and the upper two floors in B1 use until the residential conversion of the second floor in 2018.
- 1.4. 127-133 Field End Road is a three-storey terraced building, part of a larger terrace, which appears to have been constructed in the 1930s.
- 1.5. The front elevation of the larger terrace, whilst generally intact, has suffered multiple alterations over recent years, principally the replacement of the original windows with varying designs of UPVC windows, which has affected the visual integrity of the terrace.

2. BACKGROUND



2. 129-131 Field End Road facade elevation (Photo taken 2016)



3. Field End Road street elevation (Photo taken 2016)

- 2.1. The conversion of the second floor from B1 office space to 2no. residential flats was carried out under Permitted Development, with the Prior Approval Consent for the conversion being dated 09.10.17. The Prior Approval Consent Notice Prior Approval (Ref: 7135/APP/2017/2836) is attached as Appendix A.
- 2.2. Although the Prior Approval Consent gave permission for the conversion, any changes necessary to the exterior of the property that would normally require planning consent, would need to be applied for. Accordingly, planning consent for certain minor changes to the second floor fenestration at the rear of the property was applied for, and was granted on 18.10.17. The Planning Consent Notice (Ref: 7135/APP/2017/3081) is attached as Appendix B.
- 2.3. The gas and water mains serving nos. 129-131 Field End Road are located at the front of the property in Field End Road. As the first floor of 127-133 Field End Road was in use as offices by Aldi, it was not possible to locate the gas and water mains to serve the new second floor flats internally, and it was therefore evident that this pipework would need to be externally located on the front facade.
- 2.4. Comments were sought from Hillingdon Planning Department regarding the acceptability of this external pipework at an early stage in the design process - please see the PDF of the Rich Architecture email to Hillingdon Planning Department dated 30.01.17, which is attached as Appendix C. Photographs of the site and an annotated drawing was sent with the email to show the intended route, which are included in Appendix C.
- 2.5. An email in response was received from Richard Buxton, the Planning Information Officer at Hillingdon Council on 02.02.17, and this is attached as Appendix D.
- 2.6. Richard Buxton noted that the property was not Listed or in a Conservation Area, and he believed that 'a scheme can be designed for the pipework to minimise its impact on the building and the street scene through some form of acceptable camouflaging/ducting etc'.
- 2.7. As this written advice was provided by the 'Planning Information Officer', whose role includes advising on the necessity and process of a planning permission, these comments were accepted and acted upon. It is also important to note that Richard Buxton did not advise that planning permission was required for the pipework; i.e no reference was made to any necessity for planning consent for the work.

3. DESIGN

- 3.1. In respect of the design of the duct, the advice offered by the Hillingdon Council Planning Information Officer was followed and the impact of the external piping on the street scene was minimised by grouping the pipes in a single duct.
- 3.2. The Planning Information Officer's advice to 'camouflage' the duct was also followed by incorporating just a vertical duct taken to close to parapet level so that it resembles a rainwater pipe, and the duct is coloured to be similar to the brickwork to further 'camouflage' the duct.
- 3.3. The resemblance to a rainwater pipe was enhanced by maintaining the verticality of the pipe, with any horizontal pipework being concealed within the new flats.



10. 129-131 Field End Road facade elevation with the vertical service duct (Photo taken 2020)

4. LB HILLINGDON CORRESPONDENCE 2022

- 4.1. Jack Leverton of Grandprop Limited, the applicant for the Prior Approval application in 2017, was contacted by the Principal Planning Enforcement Officer at Hillingdon Council, Daniel Lord, on 07.04.22, regarding the existence of the pipe on the front elevation of 127-129 Field End Road.
- 4.2. Email correspondence between Benjamin Cowen of Grandprop Limited and the Principal Planning Enforcement Officer ensued during April 2022, copies of which are included as Appendix E.

5. CONCLUSION

- 5.1. The location of the pipework on the front elevation of no 129-131 Field End Road was necessitated by the location of the gas and water mains in Field End Road.
- 5.2. The Hillingdon Council Planning Information Officer's advice regarding the installation of external pipework on the front elevation of nos 129-131 Field End Road was sought early in the design stage of the project and we were not informed that the proposal would require planning consent.
- 5.3. The written advice of the Hillingdon Council Planning Information Officer was followed in the design and installation of the duct. In particular, the duct is designed to appear as a vertical rainwater pipe and coloured to blend in with the facade brickwork
- 5.4. 'The complete terrace in Field End Road, of which no. 129-131 was a part, had suffered multiple unsympathetic alterations and additions over recent years
- 5.5. At the time of the works, the property was not Listed, nor in a Conservation Area.


HILLINGDON
 LONDON

Mr Stephen Rich
 Rich Architecture
 258 Lloyd Baker Street
 London
 WC1X 9AT

Application Ref: 7135/APP/2017/2836

Process set out by condition J.2 of Schedule 2 Part 1 Class O of the Town and Country Planning(General Permitted Development) Order 2015 (as amended by SI 2008 No 2362 and SI 2013 No 1101)

The Council of the London Borough of Hillingdon as the Local Planning Authority hereby confirm that their **PRIOR APPROVAL IS GIVEN** for the proposed development at the address shown below, as described by the description shown below, and in accordance with the approved details shown below:

Address of the proposed development:
127-133 Field End Road Eastcote Pinner

Description of proposed development:
Change of use of the second floor from office use (Use Class B1) to 2 x 1 bedroom self contained flats (Use Class C3) (Prior Approval)

Date of application:
15 August 2017

Plan Numbers:
 502-05-P1 - received 02 Aug 2017
 502-03-P1 - received 02 Aug 2017
 502-02-P1 - received 02 Aug 2017
 502-100-P1 - received 02 Aug 2017
 502-04-P1 - received 02 Aug 2017
 502-01-P1 - received 02 Aug 2017

Reason for Approval:
INFORMATIVES:

1. This written notice indicates that the proposed development would comply with the process set out by condition J.2 of Schedule 2 Part 1 Class J of the Town and Country Planning(General Permitted Development) Order 1995 (as amended by SI 2008 No 2362 and SI 2013 No 1101)

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2. It is a requirement of the above condition A.4 that the development shall be carried out in accordance with the information that the developer provided to the local planning authority, unless the local planning authority and the developer agree otherwise in writing.

3. Please ensure that a Building Regulations application is submitted for this work, please visit Hillingdon Building Control website for the application forms.

Additional Information:

Nuisance from demolition and construction work is subject to control under the Control of Pollution Act 1974, the Clean Air Act 1993 and the Environmental Protection Act 1990. You should ensure that the following are complied with:

(i) Demolition and construction works should only be carried out between the hours of 0800 and 1800 on Monday to Friday and between the hours of 0800 and 1300 on Saturday. No works should be carried out on Sundays, Public or Bank Holidays;

(ii) All noise generated during such works should be controlled in compliance with British Standard 5228, and use "best practicable means" as defined in section 72 of the Control of Pollution Act 1974;

(iii) Measures should be taken to eliminate the release of dust, odors and other emissions caused by the works that may create a public health nuisance. Guidance on control measures is given in "The control of dust and emissions from construction and demolition: best practice guidelines", Greater London Authority, November 2006; and

(iv) No bonfires that create dark smoke or cause nuisance to local residents should be allowed at any time.

You are advised to consult the Council's Environmental Protection Unit to seek prior approval under Section 61 of the Control of Pollution Act 1974 if you anticipate any difficulty in carrying out the works other than within the normal working hours set out above, and by means that would minimise disturbance to adjoining premises. For further information and advice, contact the Environmental Protection Unit, 3S/02 Civic Centre, High Street, Uxbridge, Middlesex UB8 1UW (tel. 01895 250155). The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

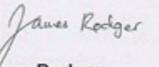
Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the

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Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

END OF SCHEDULE


James Rodger
 Head of Planning and Enforcement

Date: 9 October 2017

Address:
 Residents Services
 London Borough of Hillingdon
 3 North Civic Centre, High Street, Uxbridge UB8 1UW
 Tel: 01895 250230
www.hillingdon.gov.uk

Page 3 of 3

4. Prior Approval Consent Notice (Ref: 7135/APP/2017/2836) (Granted on 09.10.17).



Mr Stephen Rich
Rich Architecture
25b Lloyd Baker Street
London
WC1X 9AT

Application Ref: 7135/APP/2017/3081

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

GRANT OF PLANNING PERMISSION

The Council of the London Borough of Hillingdon as the Local Planning Authority within the meaning of the above Act and associated Orders **GRANTS** permission for the following:-

Description of development:

Alterations to fenestration to rear at second floor

Location of development: 127-133 Field End Road Eastcote Pinner

Date of application: 23 August 2017

Plan Numbers: See attached Schedule of plans

Permission is subject to the condition(s) listed on the attached schedule:-

Head of Planning and Enforcement

Date: 18 October 2017

NOTES:

- (i) Please also see the informatics included in the Schedule of Conditions.
- (ii) Should you wish to appeal against any of the conditions please read the attached sheet which explains the procedure.
- (iii) This decision does not convey any approval or consent which may be required under any by-laws, building regulations or under any Act other than the Town and Country Planning Act 1990 (as amended).

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

GRANT OF PLANNING PERMISSION

Application Ref: 7135/APP/2017/3081

SCHEDULE OF CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 502-100-P1 and 502-101-P1.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

INFORMATIVES:

1. The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2. The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.

3. The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Application Ref: 7135/APP/2017/3081

SCHEDULE OF CONDITIONS

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

4. Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition'.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

END OF SCHEDULE

Address:

Residents Services
London Borough of Hillingdon
3 North Civic Centre, High Street, Uxbridge UB8 1UW
Tel: 01895 250230
www.hillingdon.gov.uk

5. Planning Consent Notice (Ref: 7135/APP/2017/3081) for minor changes to the second floor fenestration at the rear of the property (Granted on 18.10.17).

From: Stephen Rich sr@rich.uk.com 
Subject: Second Floor, 129-131 Field End Road, Eastcote, HA5 1QH
Date: 30 January 2017 at 13:00
To: planning@hillingdon.gov.uk
Cc: Jack Leverton JackL@betterproperties.co.uk, Martin Wright MWright@betterproperties.co.uk, David Au-Yeong d.auyeong@sgaconsulting.co.uk

Dear Sir or Madam

We are writing as architects for the proposed residential refurbishment and conversion of the second floor at 129-131 Field End Road, Eastcote, for which a planning application is due to be submitted in the next few weeks.

In connection with this work, we require new gas and water mains, and we have been informed by both National Grid and Affinity Water that the mains services will need to be taken up the front elevation of the property, as both the gas and water mains are located in Field End Road, and it is not possible to run these services through the Aldi store, which is located on the ground floor of the building.

The intention is to run the service pipes as discretely as possible, by making use of the first floor ledge for the horizontal routing, and by making use of recesses and piers for the vertical routing - please see the attached PDF (no.502-SK12), showing the proposed gas pipework. The water mains would need to be thermally-insulated, and this would run in a purpose-made duct. Please note that all pipework and ductwork would be painted to match the background wall surface.

Please note that there is already extensive service pipework on the adjacent elevations in Field End Road, as shown on the attached photos.

We should be grateful for confirmation that the proposal for external pipework at 129-131 Field End Road is acceptable in planning terms.

Regards

Stephen

Stephen Rich

Rich Architecture
25B Lloyd Baker Street
London WC1X 9AT

T 020 7096 0652
M 07764 607 056

- Rich Architecture email communication to Hillingdon Planning Department dated 30.01.17.



7. Photographs of the site and an annotated drawing was sent with the email to show the intended route

From: Planning . planning@hillingdon.gov.uk
Subject: Re: Second Floor, 129-131 Field End Road, Eastcote, HA5 1QH
Date: 2 February 2017 at 10:18
To: Stephen Rich sr@rich.uk.com

P

Stephen,

Thank you for your e-mail.

I may well have left you a message recently on the same issue!

On the basis that the site is not listed or in a Conservation Area I would like to think that a scheme can be designed for the pipework to minimize its impact on the building and street scene through some form of acceptable camouflaging/ducting etc.

These comments constitute Officer opinion only.

Regards
Richard Buxton
Planning Information Officer

On 30 January 2017 at 13:00, Stephen Rich <sr@rich.uk.com> wrote:

Dear Sir or Madam

We are writing as architects for the proposed residential refurbishment and conversion of the second floor at 129-131 Field End Road, Eastcote, for which a planning application is due to be submitted in the next few weeks.

In connection with this work, we require new gas and water mains, and we have been informed by both National Grid and Affinity Water that the mains services will need to be taken up the front elevation of the property, as both the gas and water mains are located in Field End Road, and it is not possible to run these services through the Aldi store, which is located on the ground floor of the building.

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Please note that there is already extensive service pipework on the adjacent elevations in Field End Road, as shown on the attached photos.

We should be grateful for confirmation that the proposal for external pipework at 129-131 Field End Road is acceptable in planning terms.

Regards

Stephen

Stephen Rich

Rich Architecture
25B Lloyd Baker Street
London WC1X 9AT

T 020 7096 0652
M 07764 607 056

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9. Email response from Richard Buxton, the Planning Information Officer at Hillingdon Council

From: Daniel Lord <DLord@hillingdon.gov.uk>
Date: 7 April 2022 at 09:56:52 BST
To: Jack Leverton <JackL@betterproperties.co.uk>
Subject: 127-129 field End Road, Ruislip [ENF/156/22]

Dear Mr Leverton,

I write to you as the recent applicant for the change of use of the second floor from office use (Use Class B1) to 2 x 1 bedroom self contained flats at 127-133 Field End Road (Prior Approval Ref: 7135/APP/2017/2836).

It had come to our attention that there have been alterations made to the front of 127-129 Field End Road by way of insulated pipes running from ground level to the parapet wall above the second floor, covered in the most part by a brown plastic ducting. The façade of this building is well preserved and it is noted that planning permission has not been granted for these alterations which are unauthorised and at risk of enforcement action.

Therefore an informal compliance period of twenty eight (28) days, from the date of this letter, is afforded for you to resolve the breach of planning control. Following which arrangements will be made for a compliance inspection to be conducted.

You are at liberty to seek retrospective planning approval for the unauthorised development(s) as it currently stands, which will be considered against extant Council Policies and in accordance with the Town and Country Planning Act 1990 (As amended). However, no inference should be drawn from this correspondence that any such application will necessarily be successful.

In the meantime I would appreciate if you could confirm how you intend to proceed in this matter.

I will also be writing to the registered owner for this premises, Grandprop Limited.

Your co-operation is sought in order to resolve this matter and should you have any queries then do not hesitate to contact me on the telephone number below.

Kind regards,

Daniel Lord BSc (Hons) MA
Principal Planning Enforcement Officer
Planning, Environment, Education and Community Services
London Borough of Hillingdon
Civic Centre (3N/02)
Uxbridge
UB8 1UW

T: 01895 558112

11. Email correspondences between Grandprop Limited and the Principal Planning Enforcement Officer.
(Initial notice dated 7 April 2022)

From: Daniel Lord <DLord@Hillingdon.Gov.UK>
Sent: 07 April 2022 14:05
To: Benjamin Cowen <BCowen@betterproperties.co.uk>
Subject: RE: 127-129 field End Road, Ruislip [ENF/156/22]

Dear Mr Cowen,

Images below at your request.

From: Benjamin Cowen <BCowen@betterproperties.co.uk>
Sent: 07 April 2022 13:48
To: Daniel Lord <DLord@Hillingdon.Gov.UK>
Subject: RE: 127-129 field End Road, Ruislip [ENF/156/22]

You don't often get email from bcowen@betterproperties.co.uk. [Learn why this is important](#)

Dear Daniel,

Thank you for your email. Could you send me a picture of the offending pipe? Thank you.

Kind regards,

Benjamin Cowen
DDI: 020 8442 5368



I look forward to hearing from you in due course.

Kind regards,

Daniel Lord BSc (Hons) MA
Principal Planning Enforcement Officer
Planning, Environment, Education and Community Services

12. Email correspondences between Grandprop
Limited and the Principal Planning Enforcement Officer.
(Dated 7 April 2022)

From: Benjamin Cowen <BCowen@betterproperties.co.uk>
Sent: 25 April 2022 12:25
To: Daniel Lord <DLord@Hillingdon.Gov.UK>
Subject: RE: 127-129 field End Road, Ruislip [ENF/156/22]

You don't often get email from bcowen@betterproperties.co.uk. [Learn why this is important](#)

Dear Daniel,

I refer to our email correspondence below. I have now had the opportunity to discuss this with the architect who has responded as follows:

"Regarding the gas and water pipework on the front facade, we sought comments from Hillingdon Planning Department regarding the acceptability of this external pipework at an early stage in the design process - please see the PDF of my email to Hillingdon Planning Department dated 30.01.17, attached.

We received an email in response from Richard Buxton, the Planning Information Officer at Hillingdon Council on 02.02.17 - please see the attached PDF. Richard Buxton noted that the property was not Listed or in a Conservation Area, and he believed that 'a scheme can be designed for the pipework to minimise its impact on the building and the street scene through some form of acceptable camouflaging/ducting etc'. Although the email included the standard note that 'these comments constitute Officer opinion only', the written advice was provided by the 'Planning Information Officer', and not, for instance, a junior case officer. It is also important to note that Richard Buxton did not advise that planning permission was required for the pipework".

I have attached the email from Richard Buxton.

Kind regards,

Benjamin Cowen
DDI: 020 8442 5368

13. Email correspondences between Grandprop Limited and the Principal Planning Enforcement Officer.
(Dated 24 April 2022)

From: Daniel Lord <DLord@Hillingdon.Gov.UK>
Sent: 25 April 2022 13:13
To: Benjamin Cowen <BCowen@betterproperties.co.uk>
Subject: RE: 127-129 field End Road, Ruislip [ENF/156/22]

Dear Benjamin,

Thank you for your email and attached.

I note that you have received general advice with regards to installation of pipework to the façade in general rather than formal consideration of a proposed scheme, which would only be provided by determination of a planning application.

In order to resolve this matter I would recommend that a respective planning application be submitted so that formal consideration can be made for the development as built.

<https://www.planningportal.co.uk/permission/responsibilities/planning-permission/retrospective-planning-permission>

Kind regards,

Daniel Lord BSc (Hons) MA
Principal Planning Enforcement Officer
Planning, Environment, Education and Community Services
London Borough of Hillingdon
Civic Centre (3N/02)
Uxbridge
UB8 1UW

T: 01895 558112

From: Benjamin Cowen <BCowen@betterproperties.co.uk>
Sent: 25 April 2022 13:20
To: Daniel Lord <DLord@Hillingdon.Gov.UK>
Subject: RE: 127-129 field End Road, Ruislip [ENF/156/22]

Hi Daniel –

Thank you for coming back to me so quickly.

The email from Richard Buxton is clear that planning permission was not required because if it was required he would have said so. This suggests to us that planning permission is not required for these works.

I really don't want to escalate this matter so could you let me have the appropriate legislation showing that planning permission is required for an external ducting and we will refer back to our architect. Thank you.

Kind regards,

Benjamin Cowen
DDI: 020 8442 5368

From: Daniel Lord <DLord@Hillingdon.Gov.UK>
Sent: 25 April 2022 13:52
To: Benjamin Cowen <BCowen@betterproperties.co.uk>
Subject: RE: 127-129 field End Road, Ruislip [ENF/156/22]

Dear Benjamin,

Thank you for seeking further clarification.

The question put by Stephen Rich was simply whether the proposal for external service pipework would be acceptable in planning terms, not whether planning permission is required.

Mr Buxton's advice is simply on this basis and in general. Further as you rightly point out, the comments made are Officer opinion only (rather than formal determination).

The Town and Country Planning Act 1990 is the relevant legislation. The two main considerations must be a) does the work constitute development, b) if so, are there any permitted development rights which remove the requirement for planning permission.

Changes and alterations to the front of premises constitute development. There are no permitted development right for such works to commercial developments or flat developments and as such planning permission is required.

I hope this information is helpful.

Kind regards,

Daniel Lord BSc (Hons) MA
Principal Planning Enforcement Officer
Planning, Environment, Education and Community Services
London Borough of Hillingdon
Civic Centre (3N/02)
Uxbridge
UB8 1UW

T: 01895 558112

14. Email correspondences between Grandprop Limited and the Principal Planning Enforcement Officer.
(Dated 24 April 2022)