

Location map

1 : 1250

N



Site Plan

1 : 500

N

PROGRAMME:


KEY:

	Neighbouring context	<b>RWP</b>	Rain Water Pipe
	Existing walls	<b>SVP</b>	Soil Vent Pipe
	Proposed walls	Boundary line	Boundary line
	Proposed rooflight		Existing removed
<b>MH</b>	Manhole		Existing beam
<b>B</b>	Boiler		1.9 m head height
<b>EM</b>	Electric Meter		1.5 m head height
<b>GM</b>	Gas Meter		Ridge line

REVISION NOTES:

REV: | DATE: | DESCRIPTION:

GENERAL NOTES:

- All Dimensions are in millimetres unless otherwise stated
- All work to be carried out in accordance with current building regulations and all relevant british standards/codes of practice.
- The Contractor is responsible for the correct setting out of the works on site, all dimensions to be checked prior to fabrication of materials and commencement of works.
- This Drawing is to be read in conjunction with all relevant drawings and specifications
- Exact SVP and Boiler position to be determined onsite by contractor
- A 'macerator toilet' would be required for a certain designs if the toilet location is away from existing SVP
- Steels imbedded into ceiling may be charged additionally by your contractor
- All proposed materials are to be similar in appearance to that of the existing house, unless otherwise stated.
- Skylights must not protrude past the roof slope by more than 150mm
- Glazing which exceeds 25% of the added floor area will result in extra charges for S.A.P Calculations
- Windows on a side elevation at first floor level or above must be obscured glazing and non openable below 1.7m
- Load-bearing partitions and/or posts are shown in a rough position. The exact position is to be confirmed by a structural engineer prior to construction.



FREEDOM HOMES  
ARCHITECTS

Freedom Homes, Ealing Cross, 85 Uxbridge Rd, London W5 5BW

Rob Webster

CLIENT:

Rear and side Extension

PROJECT:

13 The Chantry  
Uxbridge  
UB8 3RA

PROJECT ADDRESS:

SITE PLAN\_LOCATION MAP

DRAWING TITLE:

LG FH

DRAWN BY:

CHECKED BY:

17/09/2024

Rev: R00

Rev. DATE:

DATE:

1:500

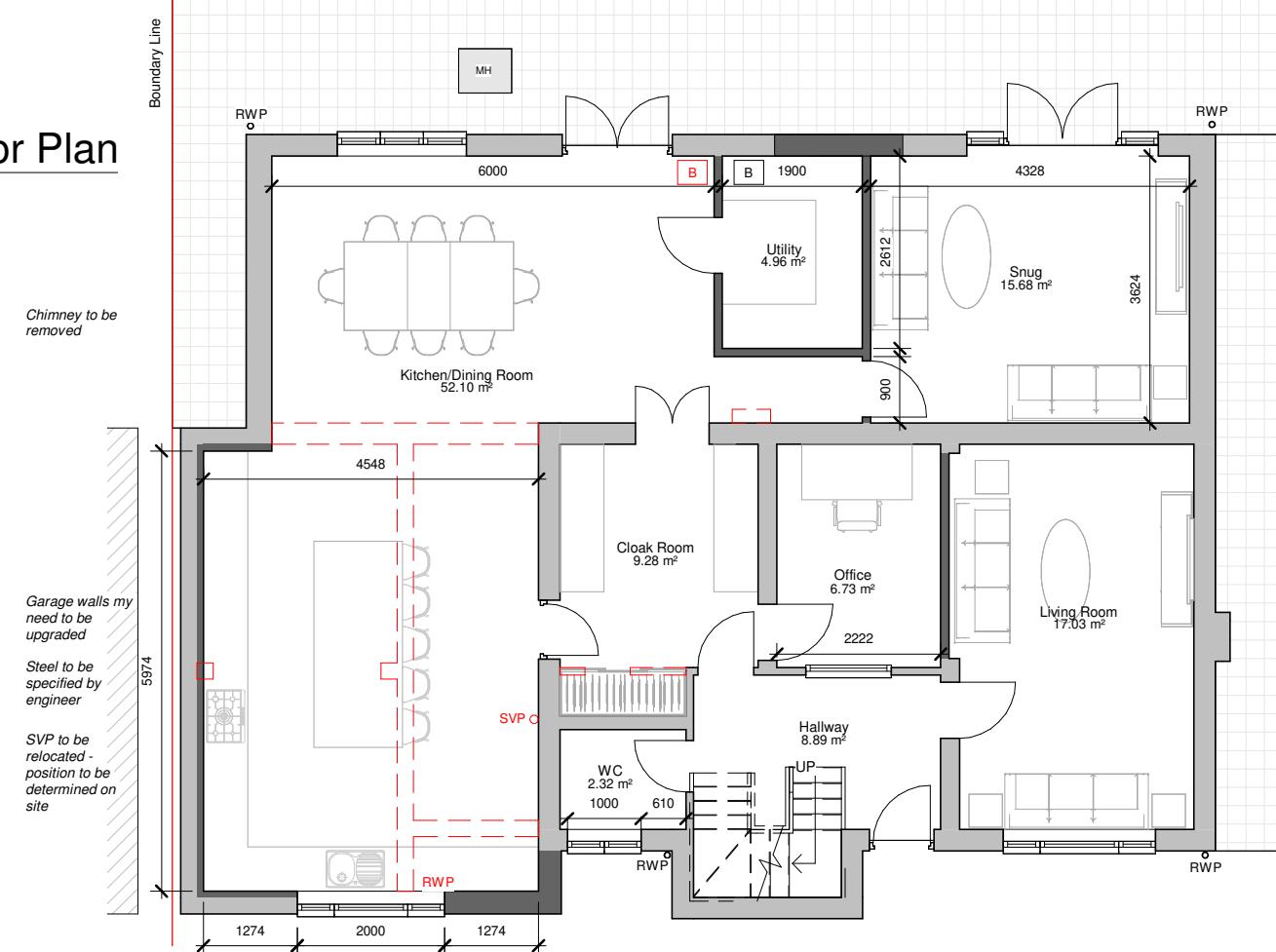
SCALE@A3:

DRAWING No:

TC-R00-PR-101

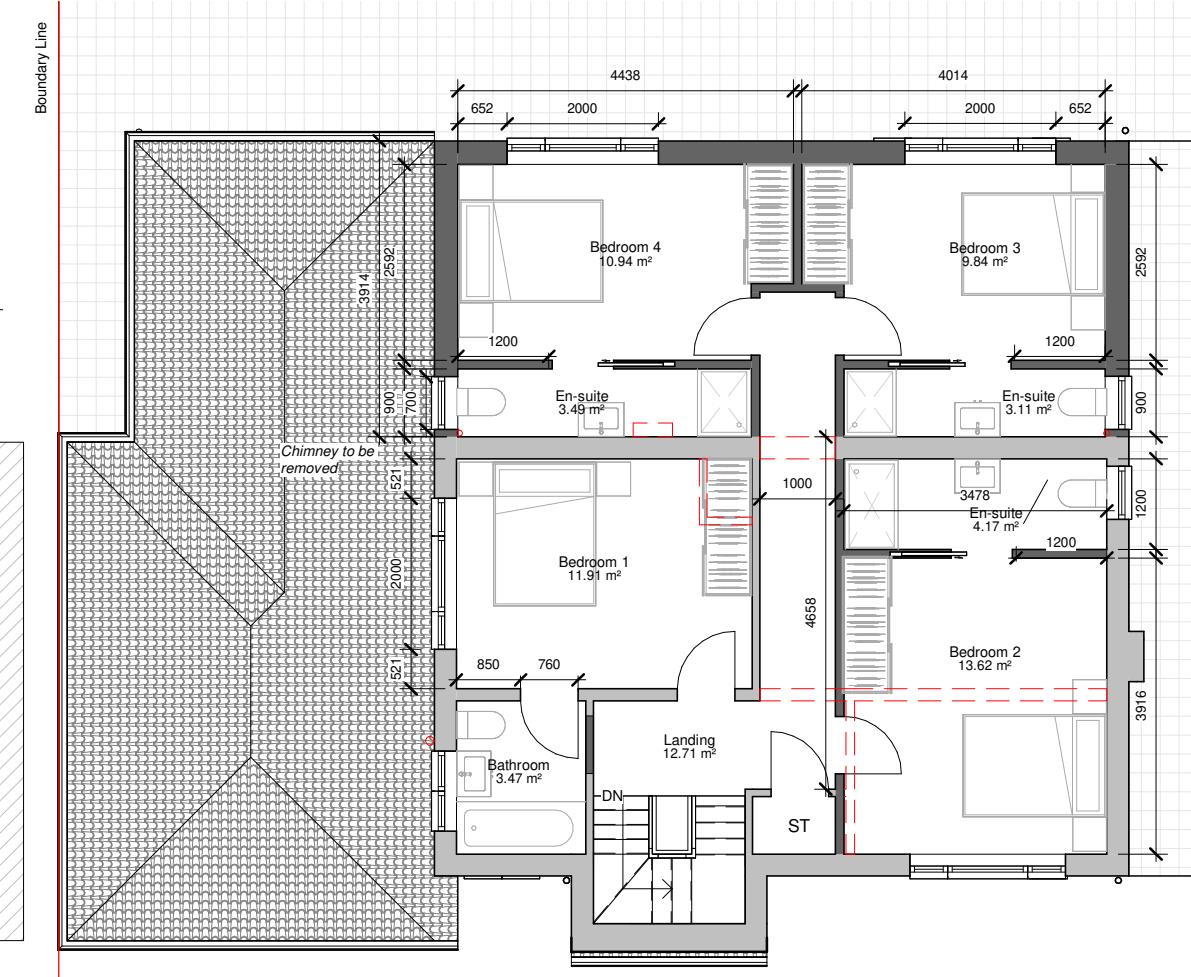
## Ground Floor Plan

1 : 100



## First Floor Plan

1 : 100



### PROGRAMME:

GIA:

Existing: 124.59 m²  
Additional: 80.35 m²

Total: 204.94 m²

### KEY:

	Neighbouring context		RWP Rain Water Pipe
	Existing walls		SVP Soil Vent Pipe
	Proposed walls		Boundary line
	Proposed rooflight		Existing removed
MH	Manhole		Existing beam
B	Boiler		1.9 m head height
EM	Electric Meter		1.5 m head height
GM	Gas Meter		Ridge line

### REVISION NOTES:

REV: | DATE: | DESCRIPTION:

### GENERAL NOTES:

- All Dimensions are in millimetres unless otherwise stated
- All work to be carried out in accordance with current building regulations and all relevant british standards/codes of practice.
- The Contractor is responsible for the correct setting out of the works on site, all dimensions to be checked prior to fabrication of materials and commencement of works.
- This Drawing is to be read in conjunction with all relevant drawings and specifications
- Exact SVP and Boiler position to be determined onsite by contractor
- A 'macerator toilet' would be required for a certain designs if the toilet location is away from existing SVP
- Steels imbedded into ceiling may be charged additionally by your contractor
- All proposed materials are to be similar in appearance to that of the existing house, unless otherwise stated.
- Skylights must not protrude past the roof slope by more than 150mm
- Glazing which exceeds 25% of the added floor area will result in extra charges for S.A.P Calculations
- Windows on a side elevation at first floor level or above must be obscured glazing and non openable below 1.7m
- Load-bearing partitions and/or posts are shown in a rough position. The exact position is to be confirmed by a structural engineer prior to construction.



FREEDOM HOMES  
ARCHITECTS

Freedom Homes, Ealing Cross, 85 Uxbridge Rd, London W5 5BW

Rob Webster

CLIENT: \_\_\_\_\_

PROJECT: \_\_\_\_\_

Rear and side Extension  
13 The Chantry  
Uxbridge  
UB8 3RA

PROJECT ADDRESS: \_\_\_\_\_

PROPOSED FLOOR PLANS

DRAWING TITLE: \_\_\_\_\_

LG FH

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

17/09/2024 Rev: R00 Rev. DATE: \_\_\_\_\_

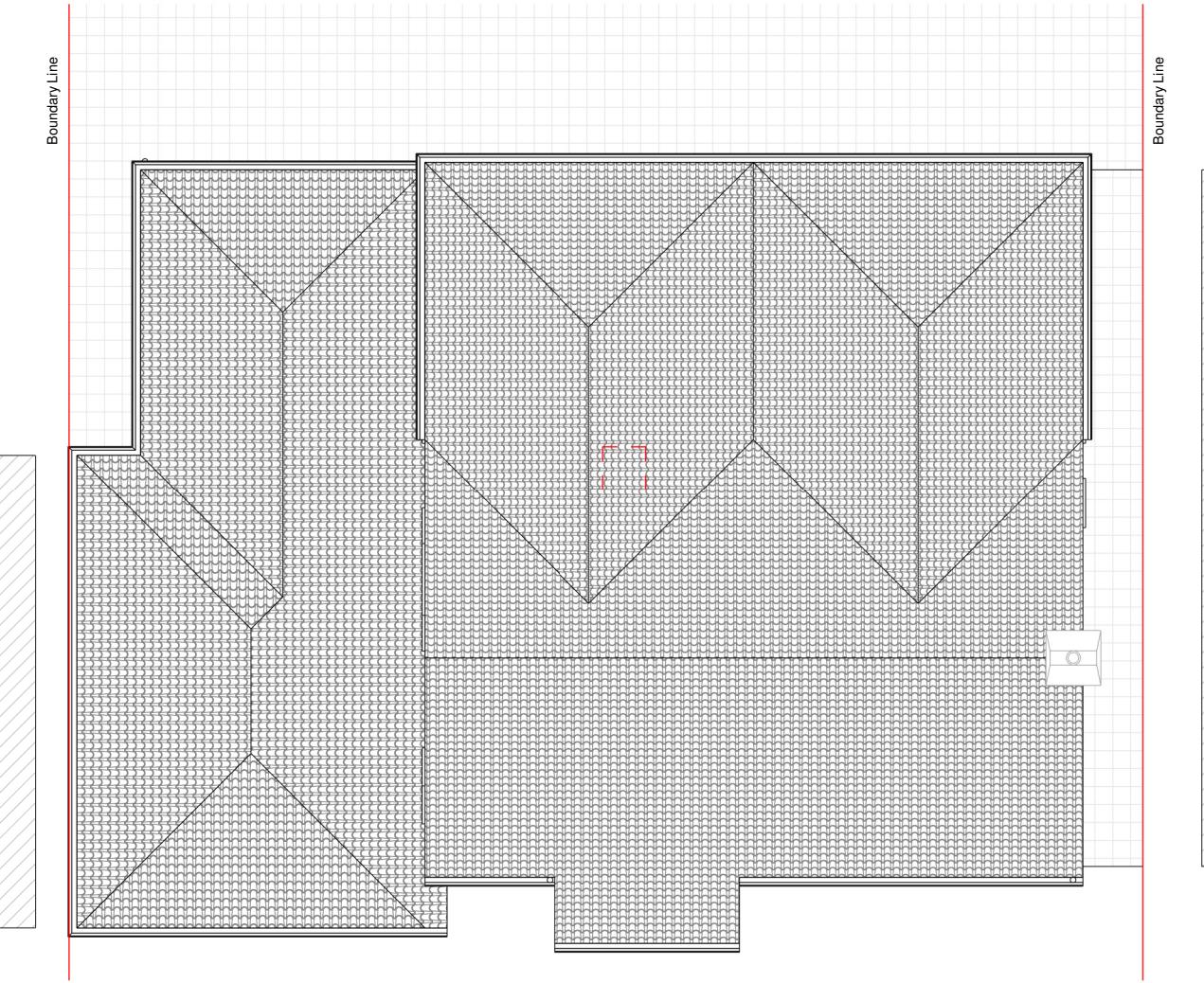
DATE: \_\_\_\_\_

1:100 DRAWING No: \_\_\_\_\_

SCALE@A3: \_\_\_\_\_ TC-R00-PR-102

## Roof Plan

1 : 100



PROGRAMME:

KEY:

	Neighbouring context	<b>RWP</b>	Rain Water Pipe
	Existing walls	<b>SVP</b>	Soil Vent Pipe
	Proposed walls		Boundary line
	Proposed rooflight		Existing removed
<b>MH</b>	Manhole		Existing beam
<b>B</b>	Boiler		1.9 m head height
<b>EM</b>	Electric Meter		1.5 m head height
<b>GM</b>	Gas Meter		Ridge line

REVISION NOTES:

REV: | DATE: | DESCRIPTION:

GENERAL NOTES:

- All Dimensions are in millimetres unless otherwise stated
- All work to be carried out in accordance with current building regulations and all relevant british standards/codes of practice.
- The Contractor is responsible for the correct setting out of the works on site, all dimensions to be checked prior to fabrication of materials and commencement of works.
- This Drawing is to be read in conjunction with all relevant drawings and specifications
- Exact SVP and Boiler position to be determined onsite by contractor
- A 'macerator toilet' would be required for a certain designs if the toilet location is away from existing SVP
- Steels imbedded into ceiling may be charged additionally by your contractor
- All proposed materials are to be similar in appearance to that of the existing house, unless otherwise stated.
- Skylights must not protrude past the roof slope by more than 150mm
- Glazing which exceeds 25% of the added floor area will result in extra charges for S.A.P Calculations
- Windows on a side elevation at first floor level or above must be obscured glazing and non openable below 1.7m
- Load-bearing partitions and/or posts are shown in a rough position. The exact position is to be confirmed by a structural engineer prior to construction.



FREEDOM HOMES  
ARCHITECTS

Freedom Homes. Ealing Cross, 85 Uxbridge Rd, London W5 5BW

Rob Webster

CLIENT:

Rear and side Extension

PROJECT:

13 The Chantry  
Uxbridge  
UB8 3RA

PROJECT ADDRESS:

PROPOSED FLOOR PLANS

DRAWING TITLE:

LG | FH

DRAWN BY:

CHECKED BY:

17/09/2024

Rev: R00

Rev. DATE:

DATE: 17/09/2024 | Rev: R00 | Rev. DATE: 17/09/2024

SCALE@A3: 1:100 | DRAWING No: TC-R00-PR-103

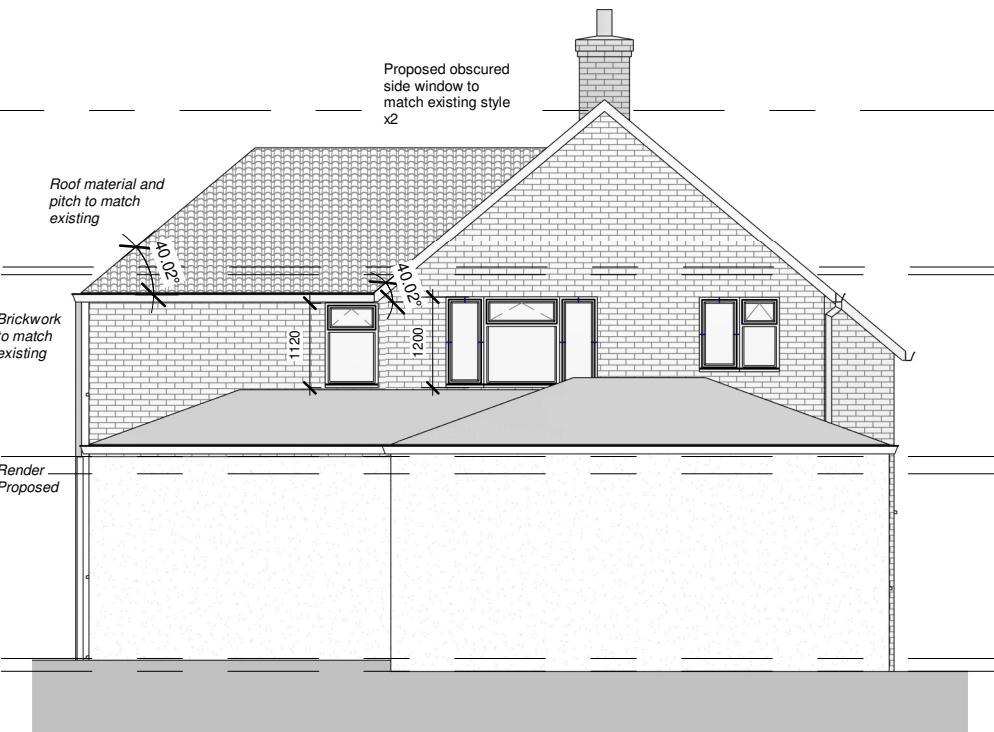
## Front elevation

1 : 100



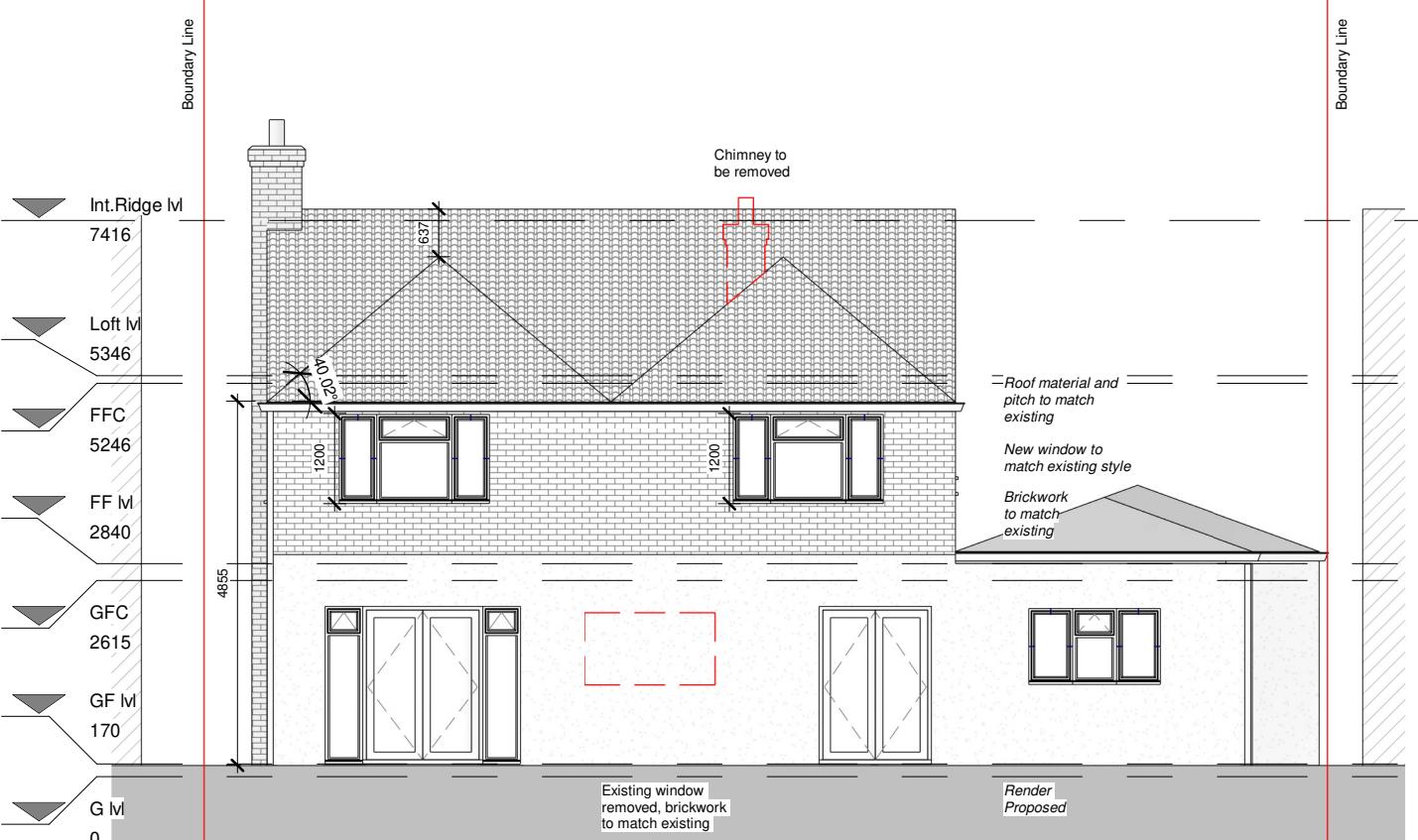
## Left elevation

1 : 100



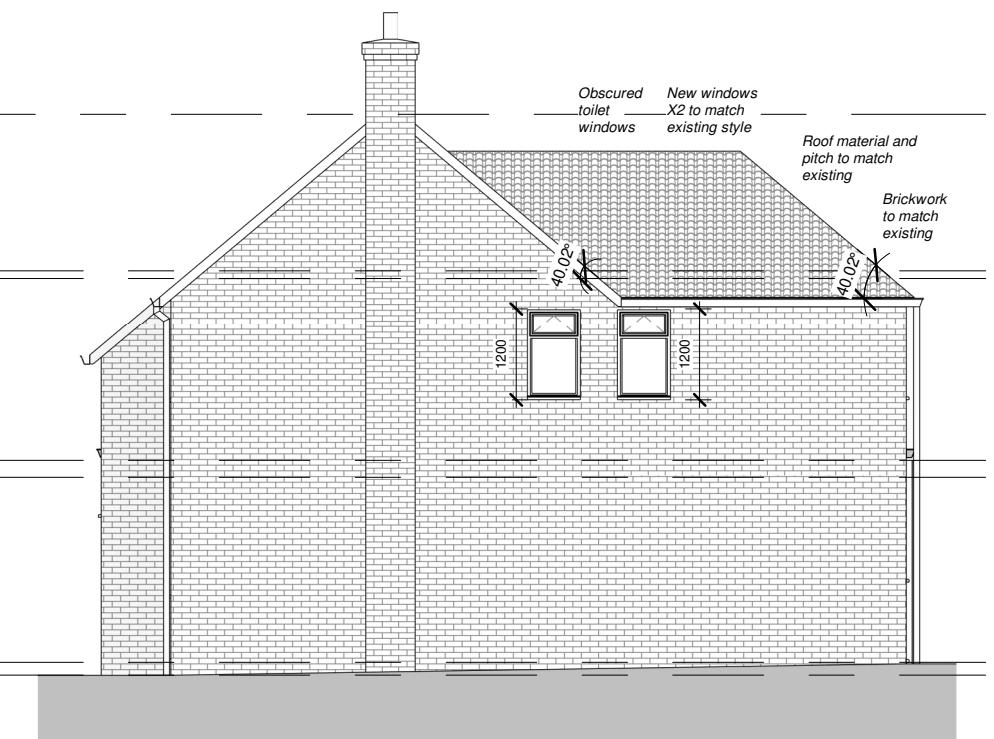
## Rear elevation

1 : 100



## Right elevation

1 : 100



PROGRAMME:

KEY:

	Neighbouring context	<b>RWP</b>	Rain Water Pipe
	Existing walls	<b>SVP</b>	Soil Vent Pipe
	Proposed walls	<b>Boundary line</b>	Boundary line
	Proposed rooflight	<b>Existing removed</b>	Existing removed
<b>MH</b>	Manhole	<b>Existing beam</b>	Existing beam
<b>B</b>	Boiler	<b>1.9 m head height</b>	1.9 m head height
<b>EM</b>	Electric Meter	<b>1.5 m head height</b>	1.5 m head height
<b>GM</b>	Gas Meter	<b>Ridge line</b>	Ridge line

REVISION NOTES:

REV: | DATE: | DESCRIPTION:

GENERAL NOTES:

- All Dimensions are in millimetres unless otherwise stated
- All work to be carried out in accordance with current building regulations and all relevant british standards/codes of practice.
- The Contractor is responsible for the correct setting out of the works on site, all dimensions to be checked prior to fabrication of materials and commencement of works.
- This Drawing is to be read in conjunction with all relevant drawings and specifications
- Exact SVP and Boiler position to be determined onsite by contractor
- A 'macerator toilet' would be required for a certain designs if the toilet location is away from existing SVP
- Steels imbedded into ceiling may be charged additionally by your contractor
- All proposed materials are to be similar in appearance to that of the existing house, unless otherwise stated.
- Skylights must not protrude past the roof slope by more than 150mm
- Glazing which exceeds 25% of the added floor area will result in extra charges for S.A.P Calculations
- Windows on a side elevation at first floor level or above must be obscured glazing and non openable below 1.7m
- Load-bearing partitions and/or posts are shown in a rough position. The exact position is to be confirmed by a structural engineer prior to construction.



FREEDOM HOMES  
ARCHITECTS

Freedom Homes, Ealing Cross, 85 Uxbridge Rd, London W5 5BW

Rob Webster

CLIENT:

Rear and side Extension

PROJECT:

13 The Chantry  
Uxbridge  
UB8 3RA

PROJECT ADDRESS:

PROPOSED ELEVATIONS

DRAWING TITLE:

LG FH

DRAWN BY:

CHECKED BY:

17/09/2024

Rev: R00

Rev. DATE:

DATE:

1:100

DRAWING No:

SCALE@A3: 1:100

TC-R00-PR-104

## Section 1

1 : 100



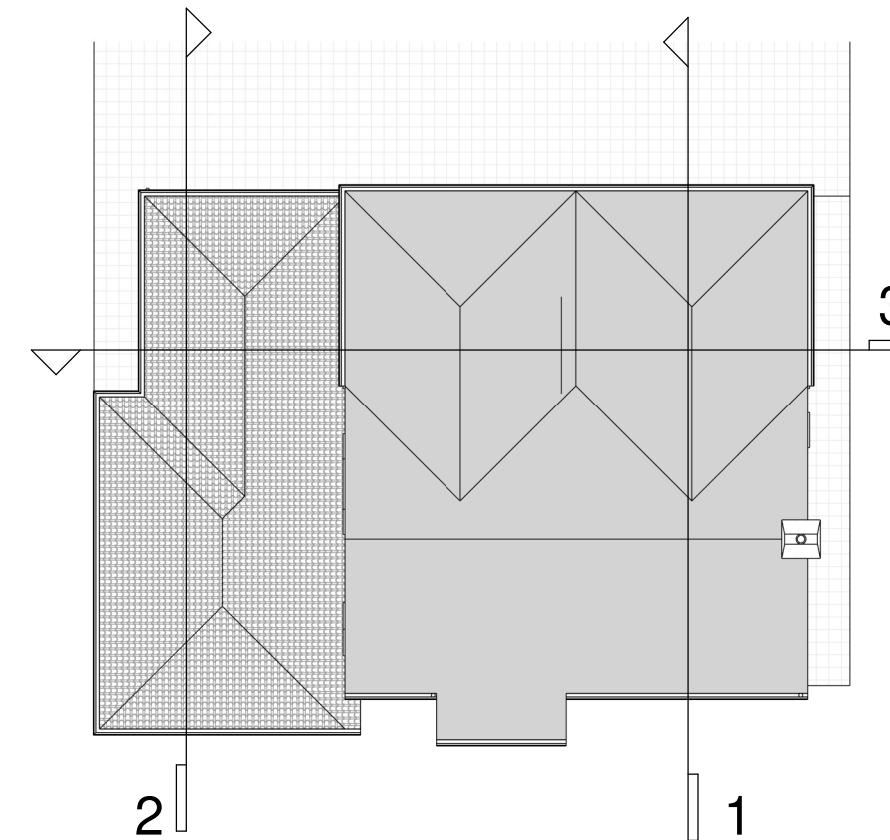
## Section 2

1 : 100



## Section 3

1 : 100



PROGRAMME:

KEY:

	Neighbouring context	<b>RWP</b>	Rain Water Pipe
	Existing walls	<b>SVP</b>	Soil Vent Pipe
	Proposed walls		Boundary line
	Proposed rooflight		Existing removed
<b>MH</b>	Manhole		Existing beam
<b>B</b>	Boiler		1.9 m head height
<b>EM</b>	Electric Meter		1.5 m head height
<b>GM</b>	Gas Meter		Ridge line

REVISION NOTES:

REV: | DATE: | DESCRIPTION:

GENERAL NOTES:

- All Dimensions are in millimetres unless otherwise stated
- All work to be carried out in accordance with current building regulations and all relevant british standards/codes of practice.
- The Contractor is responsible for the correct setting out of the works on site, all dimensions to be checked prior to fabrication of materials and commencement of works.
- This Drawing is to be read in conjunction with all relevant drawings and specifications
- Exact SVP and Boiler position to be determined onsite by contractor
- A 'macerator toilet' would be required for a certain designs if the toilet location is away from existing SVP
- Steels imbedded into ceiling may be charged additionally by your contractor
- All proposed materials are to be similar in appearance to that of the existing house, unless otherwise stated.
- Skylights must not protrude past the roof slope by more than 150mm
- Glazing which exceeds 25% of the added floor area will result in extra charges for S.A.P Calculations
- Windows on a side elevation at first floor level or above must be obscured glazing and non openable below 1.7m
- Load-bearing partitions and/or posts are shown in a rough position. The exact position is to be confirmed by a structural engineer prior to construction.



FREEDOM HOMES  
ARCHITECTS

Freedom Homes, Ealing Cross, 85 Uxbridge Rd, London W5 5BW

Rob Webster

Rear and side Extension

CLIENT:

13 The Chantry  
Uxbridge  
UB8 3RA

PROJECT ADDRESS:

PROPOSED SECTIONS

DRAWING TITLE:

LG FH

DRAWN BY:

CHECKED BY:

17/09/2024 Rev: R00 Rev. DATE:

DATE:

1:100 DRAWING No:

SCALE@A3: 1:100 DRAWING No: TC-R00-PR-105