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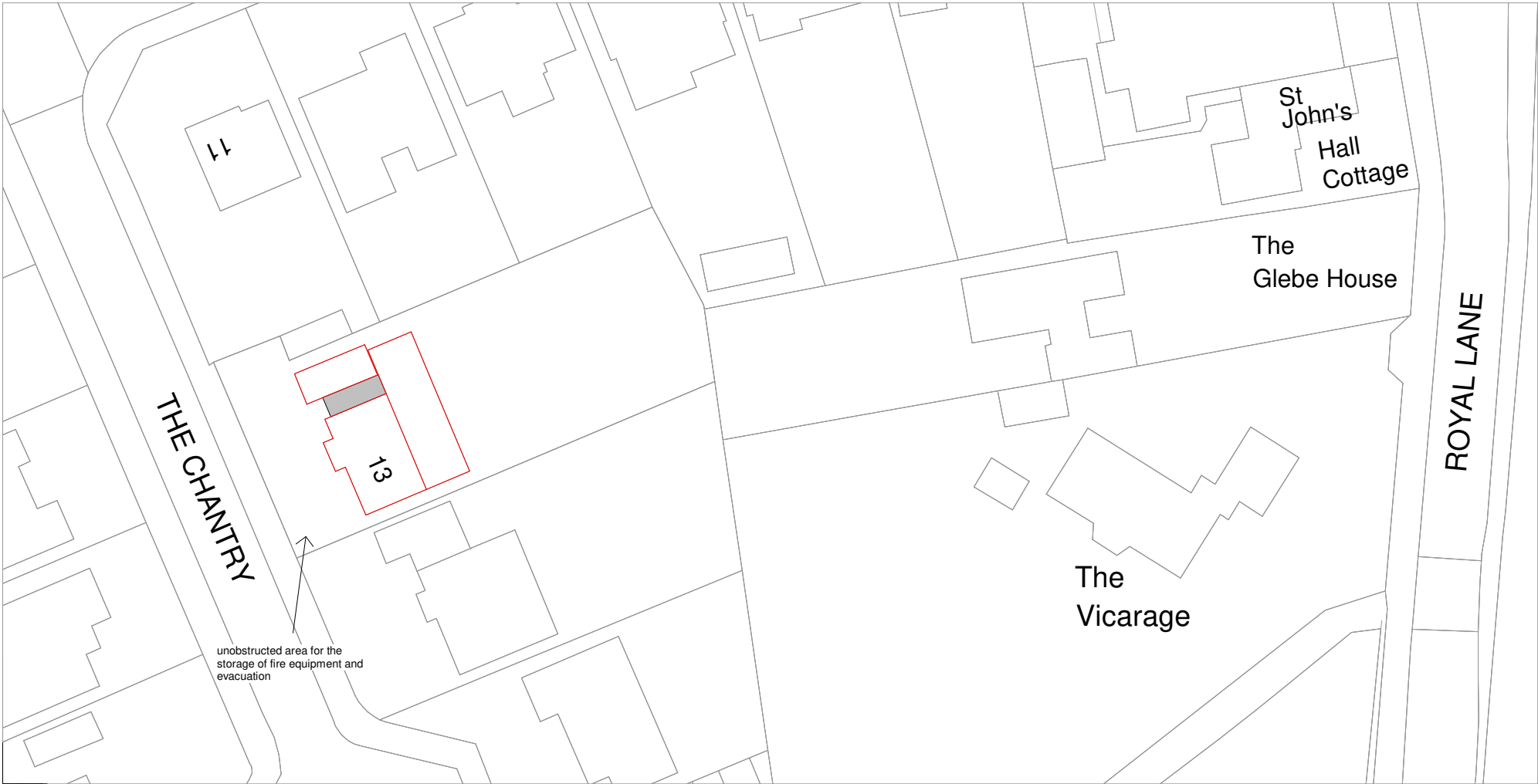


Metres

## Location map

1 : 1250

N



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Development  
Property boundary

## Site Plan

1 : 500



Metres

N

### PROGRAMME:

### KEY:

	Neighbouring context	<b>RWP</b>	Rain Water Pipe
	Existing walls	<b>SVP</b>	Soil Vent Pipe
	Proposed walls		Boundary line
	Proposed rooflight		Existing removed
<b>MH</b>	Manhole		Existing beam
<b>B</b>	Boiler		1.9 m head height
<b>EM</b>	Electric Meter		1.5 m head hieght
<b>GM</b>	Gas Meter		Ridge line

### REVISION NOTES:

REV: | DATE: | DESCRIPTION:

### GENERAL NOTES:

1. All Dimensions are in millimetres unless otherwise stated
2. All work to be carried out in accordance with current building regulations and all relevant british standards/codes of practice.
3. The Contractor is responsible for the correct setting out of the works on site, all dimensions to be checked prior to fabrication of materials and commencement of works.
4. This Drawing is to be read in conjunction with all relevant drawings and specifications
5. Exact SVP and Boiler position to be determined onsite by contractor
6. A 'macerator toilet' would be required for a certain designs if the toilet location is away from existing SVP
7. Steels imbedded into ceiling may be charged additionally by your contractor
8. All proposed materials are to be similar in appearance to that of the existing house, unless otherwise stated.
9. Skylights must not protrude past the roof slope by more than 150mm
10. Glazing which exceeds 25% of the added floor area will result in extra charges for S.A.P Calculations
11. Windows on a side elevation at first floor level or above must be obscured glazing and non openable below 1.7m
12. Load-bearing partitions and/or posts are shown in a rough position. The exact position is to be confirmed by a structural engineer prior to construction.



FREEDOM HOMES  
ARCHITECTS

Freedom Homes. Ealing Cross, 85 Uxbridge Rd, London W5 5BW

Rob Webster

### CLIENT:

Rear and side Extension

### PROJECT:

13 The Chantry  
Uxbridge  
UB8 3RA

### PROJECT ADDRESS:

SITE PLAN\_ LOCATION MAP

### DRAWING TITLE:

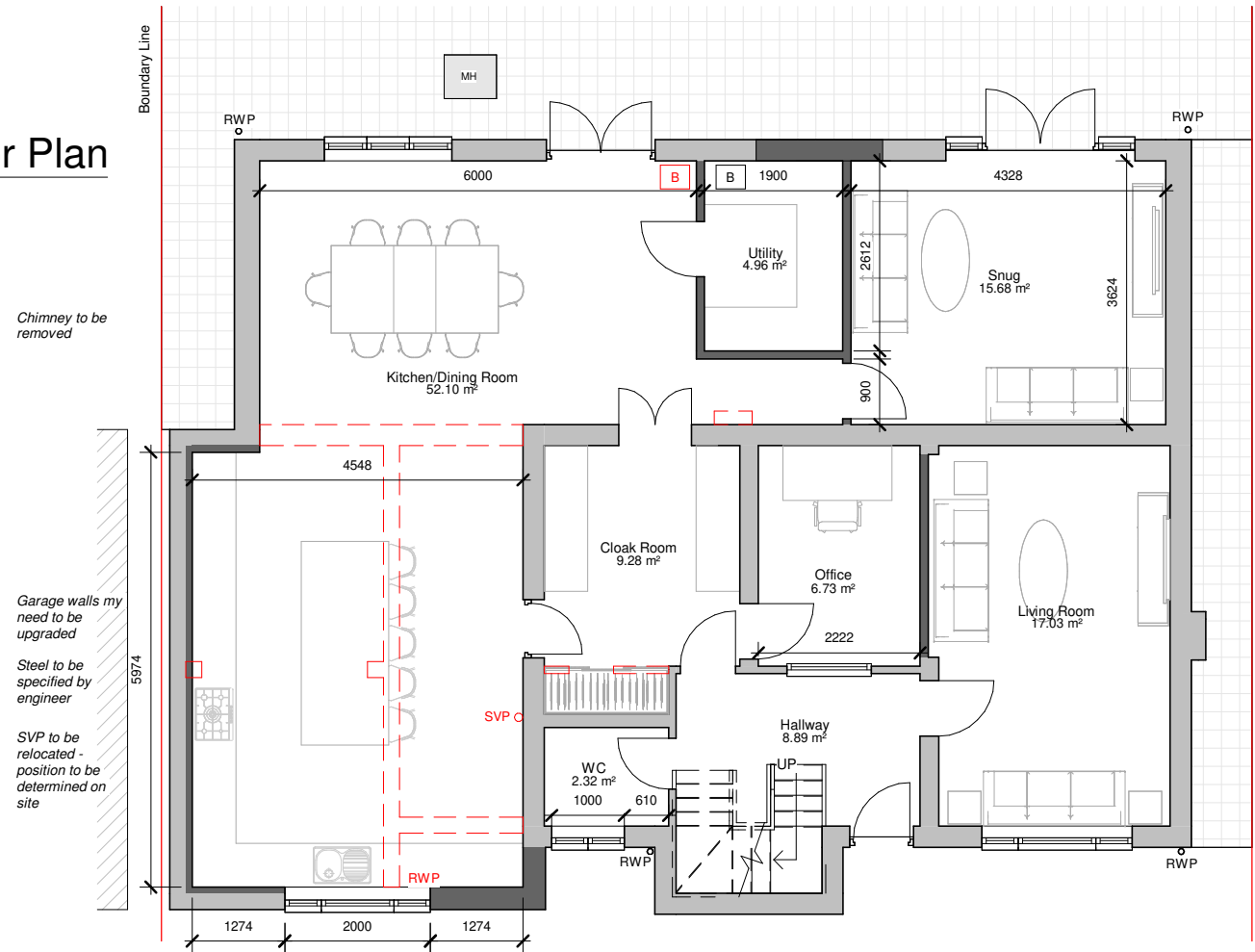
DRAWN BY: LG | CHECKED BY: FH

DATE: 17/09/2024 | Rev: R00 | Rev. DATE:

SCALE@A3: 1:500 | DRAWING No: TC-R00-PR-101

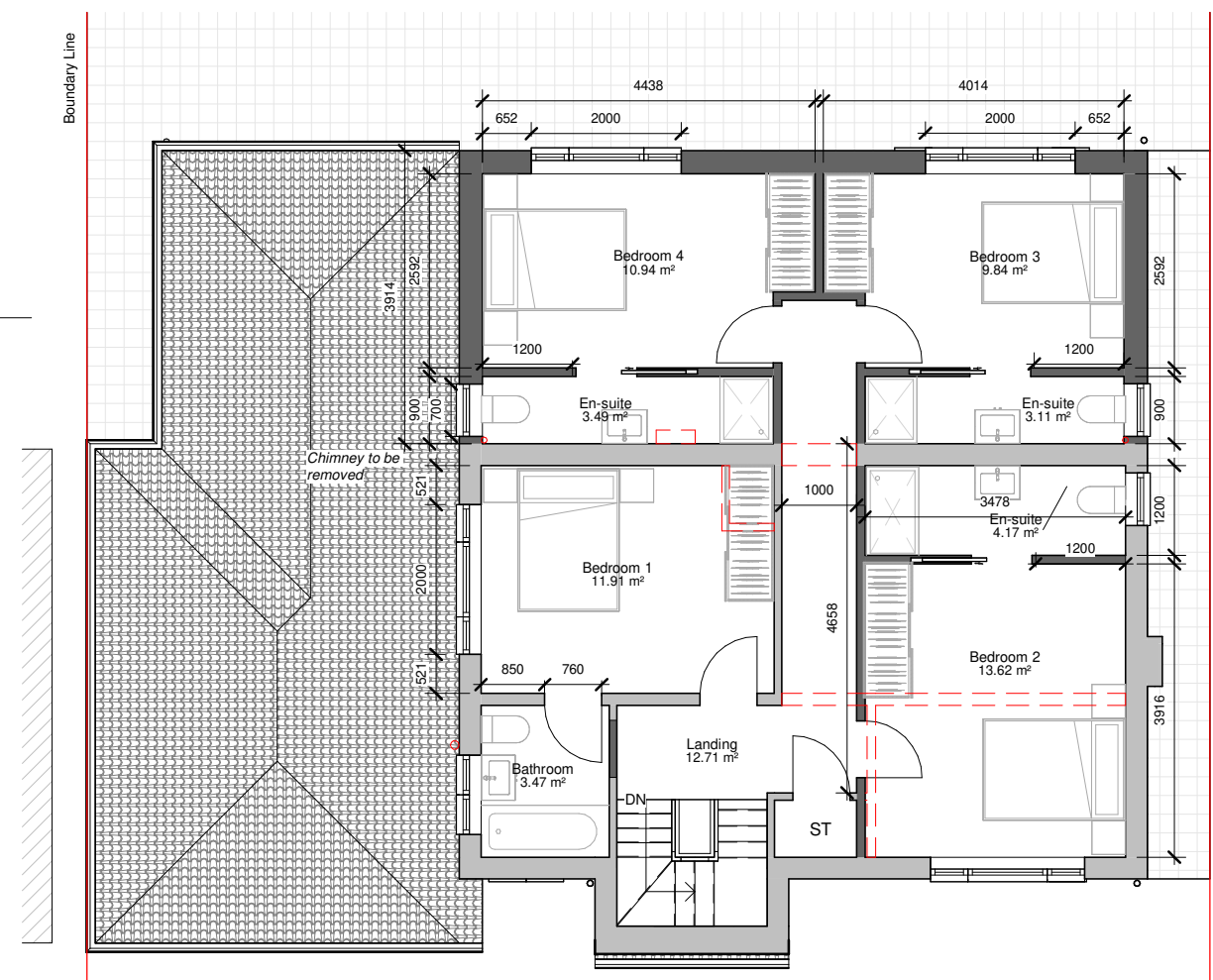
Ground Floor Plan

1 : 100



First Floor Plan

1 : 100



PROGRAMME:

GIA:  
Existing: 124.59 m<sup>2</sup>  
Additional: 80.35 m<sup>2</sup>  
**Total: 204.94 m<sup>2</sup>**

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Uxbridge  
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PROJECT ADDRESS:

PROPOSED FLOOR PLANS

DRAWING TITLE:

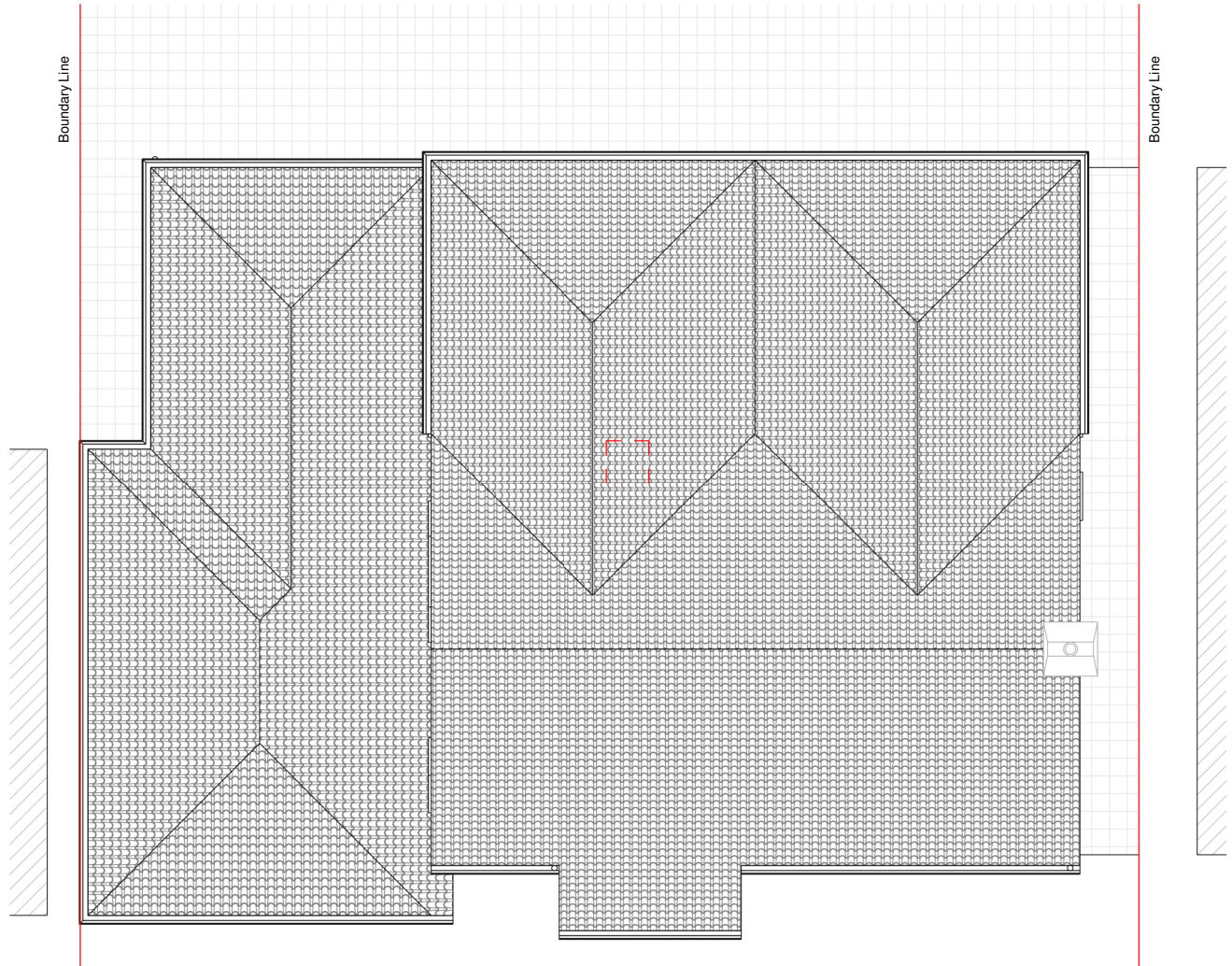
LG	FH
<b>DRAWN BY:</b>	<b>CHECKED BY:</b>

17/09/2024	Rev: R00	Rev. DATE:
<b>DATE:</b>		

1:100	<b>DRAWING No:</b> TC-R00-PR-102
<b>SCALE@A3:</b>	

# Roof Plan

1 : 100



## PROGRAMME:

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## PROJECT ADDRESS:

PROPOSED FLOOR PLANS

## DRAWING TITLE:

LG		FH	
DRAWN BY:		CHECKED BY:	
17/09/2024		Rev: R00	Rev. DATE:
DATE:			
SCALE@A3: 1:100		DRAWING No: TC-R00-PR-103	



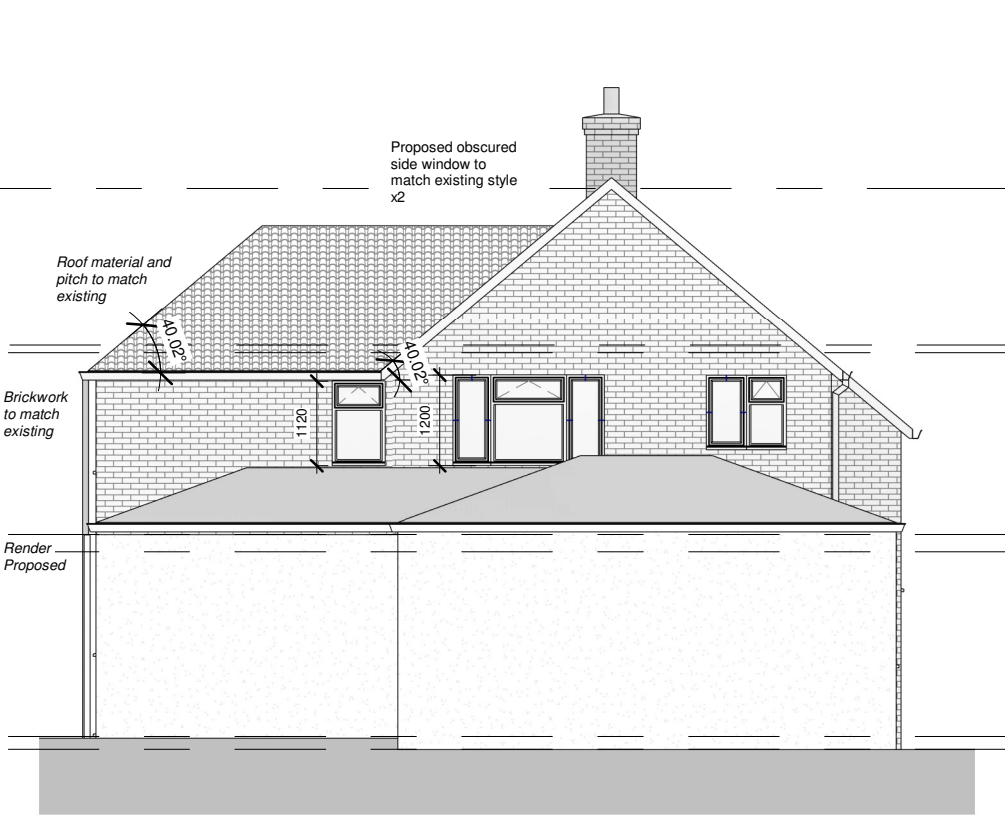
Front elevation

1 : 100



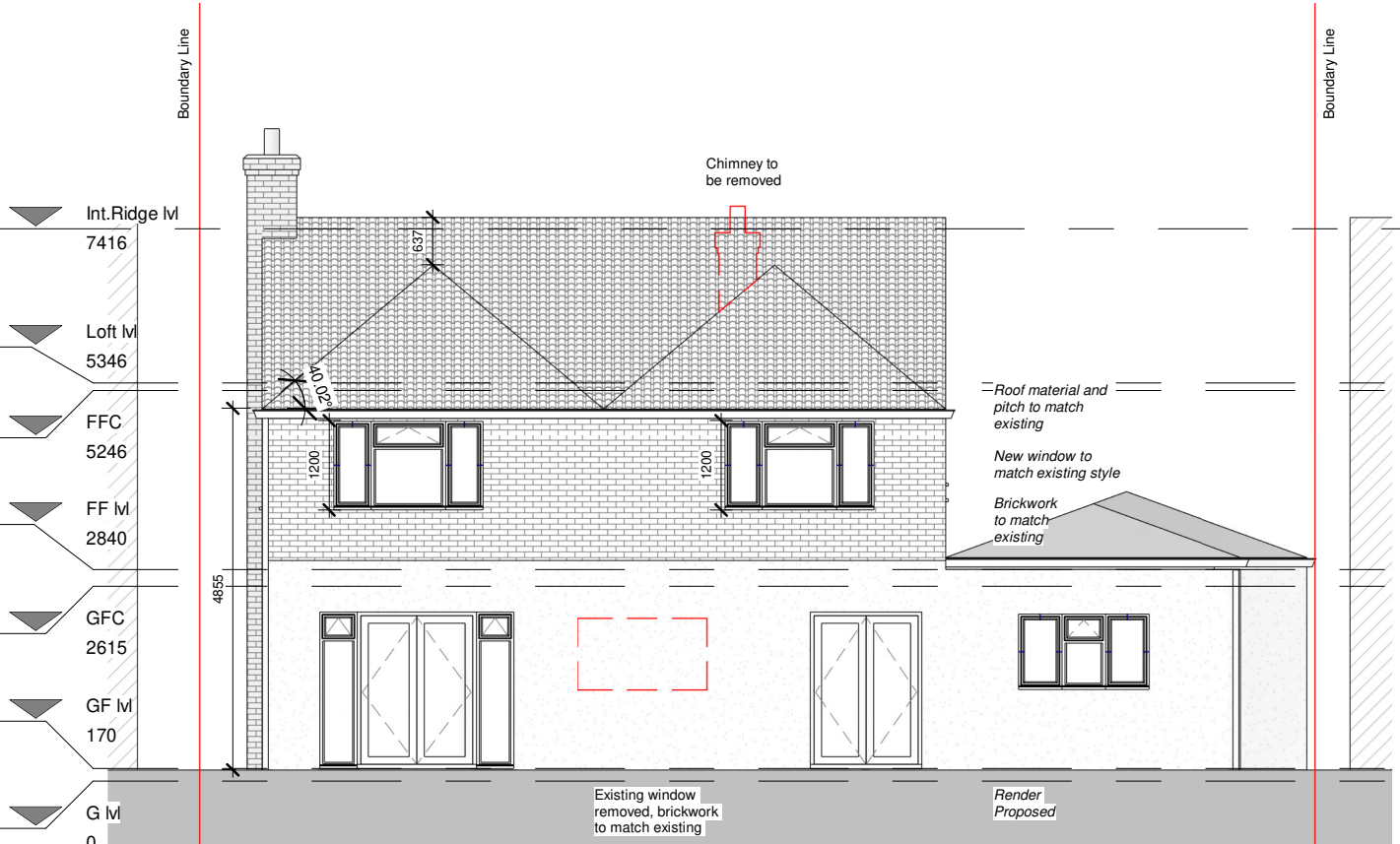
Left elevation

1 : 100



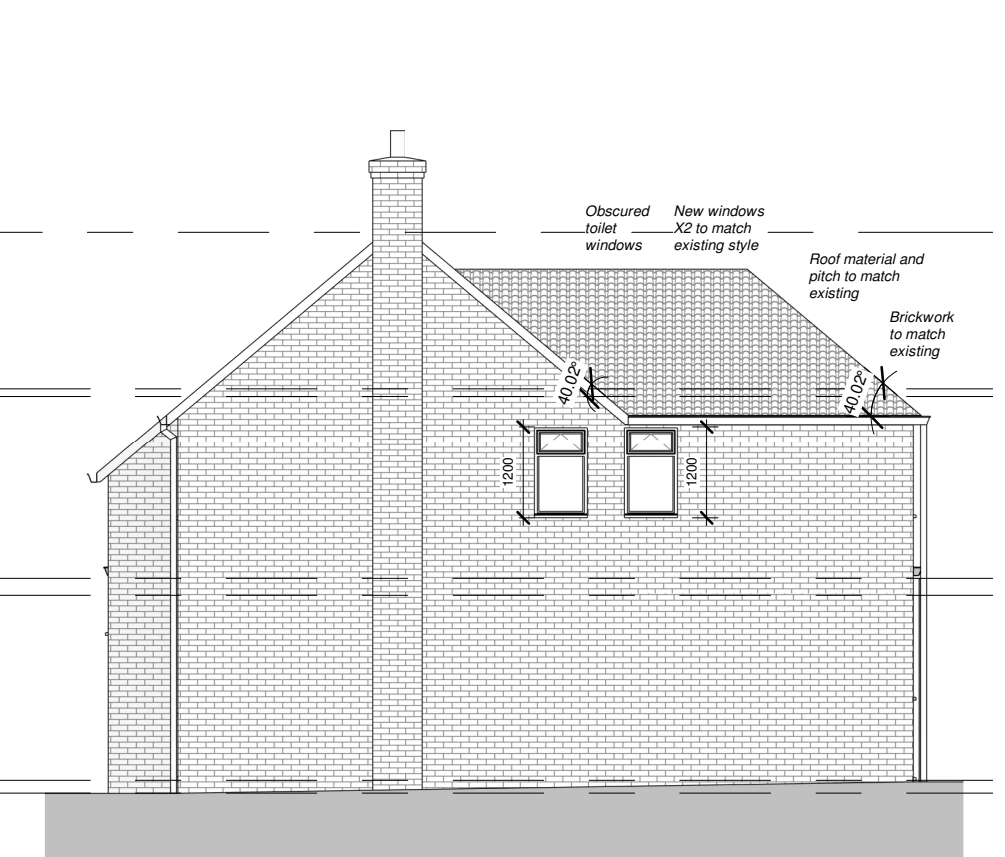
Rear elevation

1 : 100



Right elevation

1 : 100



PROGRAMME:

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PROJECT ADDRESS:

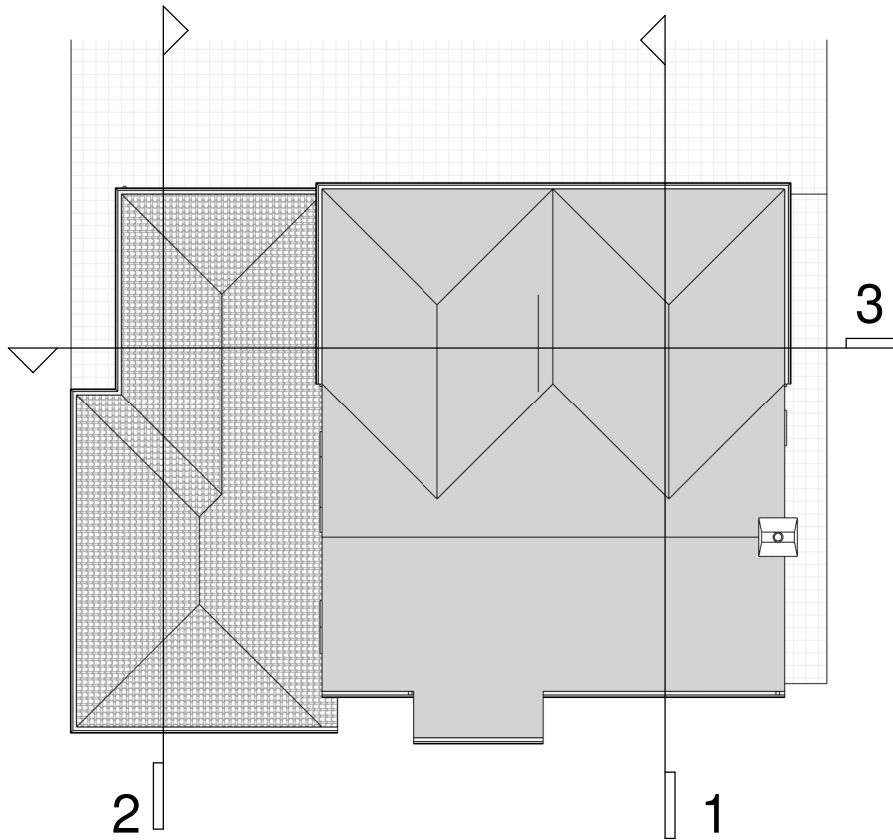
PROPOSED ELEVATIONS

DRAWING TITLE:

<b>DRAWN BY:</b>	LG	<b>CHECKED BY:</b>	FH
<b>DATE:</b>	17/09/2024	<b>Rev:</b>	R00
<b>SCALE@A3:</b>	1:100	<b>Rev. DATE:</b>	
<b>DRAWING No:</b>	TC-R00-PR-104		

Section 1

1 : 100



Section 2

1 : 100



Section 3

1 : 100



PROGRAMME:

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PROJECT ADDRESS:

PROPOSED SECTIONS

DRAWING TITLE:

LG	FH
<b>DRAWN BY:</b>	<b>CHECKED BY:</b>
17/09/2024	Rev: R00
<b>DATE:</b>	<b>Rev. DATE:</b>
SCALE@A3: 1:100	<b>DRAWING No:</b> TC-R00-PR-105