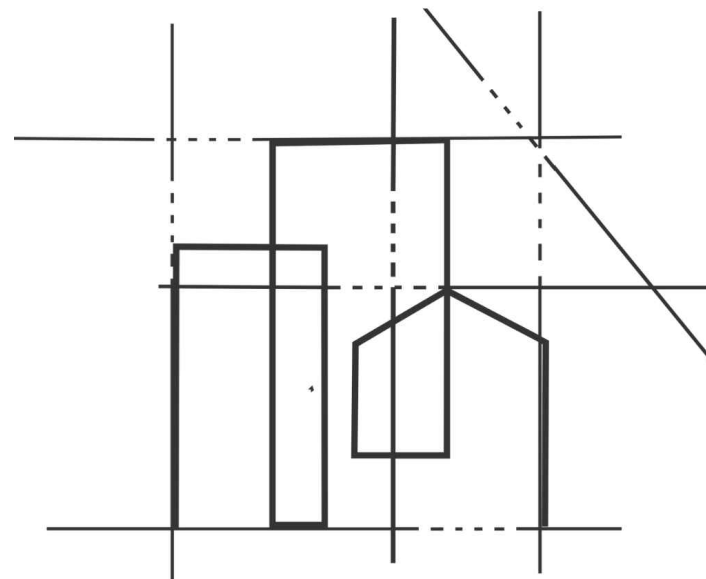


THE P L A N N I N G S T U D I O



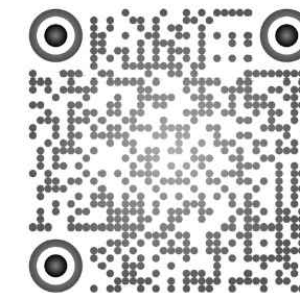
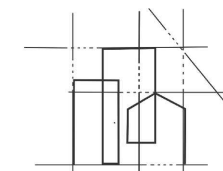
Architectural Design
& Planning Services



SCAN ME
S M L O N D O N C O N S T R U C T I O N

P R O J E C T

4 2 L I N D E N A V E N U E
L o f t C o n v e r s i o n



SCAN ME
T H E P L A N N I N G S T U D I O

Design & Access Statement

1. Introduction

This Design and Access Statement accompanies a **House Holders Planning Application** to the London Borough of Hillingdon for a loft conversion at 42 Linden Avenue. The proposal includes a **hip-to-gable roof extension**, a **rear dormer**, and a **ridge height increase** to create a usable loft space with adequate headroom. While the overall **dormer/roof volume complies with permitted development (PD) limits**, the **ridge height alteration requires planning permission**.

2. Site Context

42 Linden Avenue is a two-storey **semi-detached** home on a residential street characterised by interwar architecture. The area has seen several roof-level extensions and loft conversions, including ridge height increases and gable-end developments. The site is not located within a conservation area and is not subject to an Article 4 Direction.

3. Description of Proposal

The proposal includes:

- A **hip-to-gable roof extension** to replace the side hipped roof with a full gable.
- A **rear dormer**, set back from the eaves and ridge.
- A **modest increase in ridge height** is proposed in order to achieve the required 2.0m minimum headroom within the converted loft space. The roof pitch will be retained in line with the existing profile, ensuring the development remains consistent with the established streetscape and respectful of the character and scale of neighbouring dwellings.
- **Rooflights** on the front elevation.
- Materials to match existing roof tiles and fenestration.

4. Permitted Development and Planning Justification

Under **The Town and Country Planning (General Permitted Development) (England) Order 2015**, Schedule 2, Part 1, Class B:

- Semi-detached properties may extend their roofs up to **50m³**.
- This proposal has been **carefully designed to remain within that 50m³ threshold**, accounting for the hip-to-gable and dormer volumes combined.

5. Policy Compliance

5.1 Hillingdon Local Plan Part 2 (2020)

- **DMHD 1 - Alterations and Extensions to Residential Dwellings:**
The development is subordinate to the original dwelling, uses matching materials, and avoids harm to residential amenity.
- **DMHB 11 - Design of New Development:**
The proposal maintains the visual integrity of the building and responds positively to the surrounding context.

5.2 Residential Extensions SPD (2019)

The proposal:

- Places the dormer on the rear slope, where it is **not visible from the public realm**.
- **Sets back the dormer** from the ridge and eaves, consistent with SPD recommendations.
- Includes a **hip-to-gable** extension typical of other homes in the area.
- Raises the ridge height by a modest amount, following **precedent cases** and ensuring **functional head height**.

6. Area Precedents

The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (*Ref. 23965/APP/2013/346*).

No. 87 – Ridge increased by 250mm with dormer and gable (*Ref. 57345/APP/2017/3487*).

No. 19 – Ridge height increase granted on appeal (*Ref. 62245/APP/2017/1465*).

These precedents demonstrate an established planning acceptance for ridge alterations along Linden Avenue, supporting the principle of a rear dormer designed to achieve the required minimum head height.

7. Access and Parking

- No changes are proposed to site access or parking arrangements.

8. Materials and Appearance

- The extension will be finished with **materials matching the existing house**.
- The roof tiles, windows, and finishes will integrate seamlessly.
- The hip-to-gable and dormer are **proportional** and in keeping with others on the street.

9. Conclusion

The proposed development is:

- Modest in scale and volume (within 50m³ PD limit for semi-detached homes),
- Designed in line with Hillingdon's adopted policies and SPD guidance,
- Consistent with established precedent on Linden Avenue.

Although it could otherwise fall under permitted development, the **modest ridge height increase necessitates planning permission**. The proposal represents a carefully considered, policy-compliant enhancement to the dwelling.

STAGE No : 3			
STAGE TITLE : Planning		Rev:00	
DRAWING SCALE: @a3	DRAWING Ref:DA1	DRAWING TITLE : Design & Access Statement	
DATE : 2025.08.28	PROJECT : 42 Linden Avenue ,Loft Conv.		

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