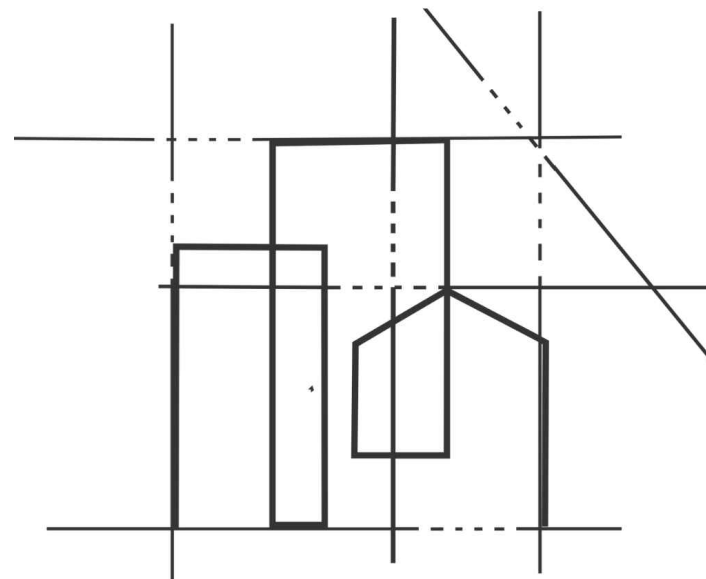


# THE PLANNING STUDIO



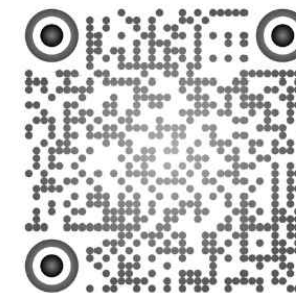
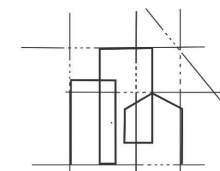
Architectural Design  
& Planning Services



SCAN ME  
SM LONDON CONSTRUCTION

P R O J E C T

4 2 L I N D E N A V E N U E  
L o f t C o n v e r s i o n

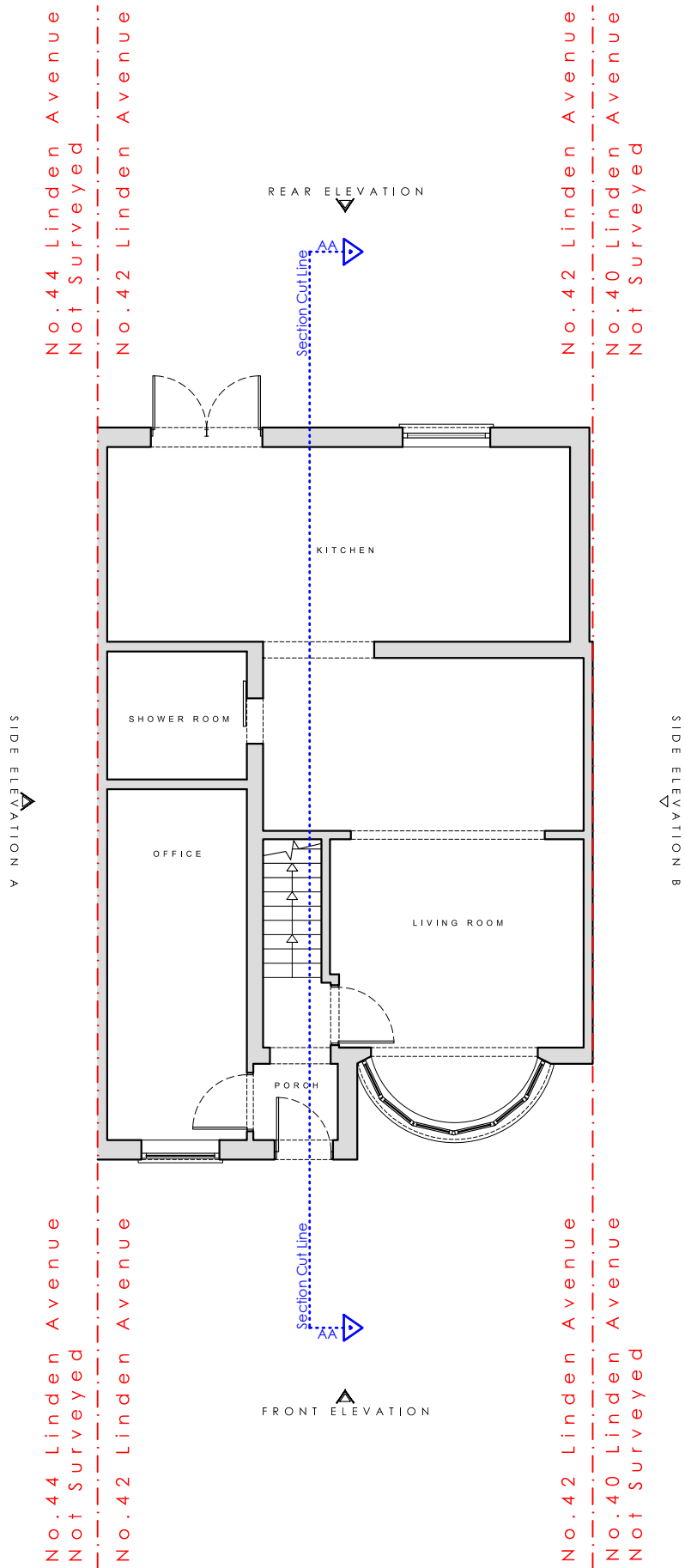
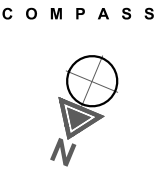


SCAN ME  
THE PLANNING STUDIO



K E Y

EXISTING  
CONSTRUCTION



STAGE No : 3

STAGE TITLE : Planning                      Rev:00

DRAWING SCALE: 1:100@A3      DRAWING Ref:E1                      DRAWING TITLE : Existing Ground Floor Plan

DATE : 2025.08.28                      PROJECT : 42 Linden Avenue ,Loft Conv.

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The Planning Studio | SM London Construction LTD

Tel: 0208 226 5511

Mob: 07961 817 505

E-Mail: info@smlconstructionltd.com

Web: www.smlconstrcutionltd.com



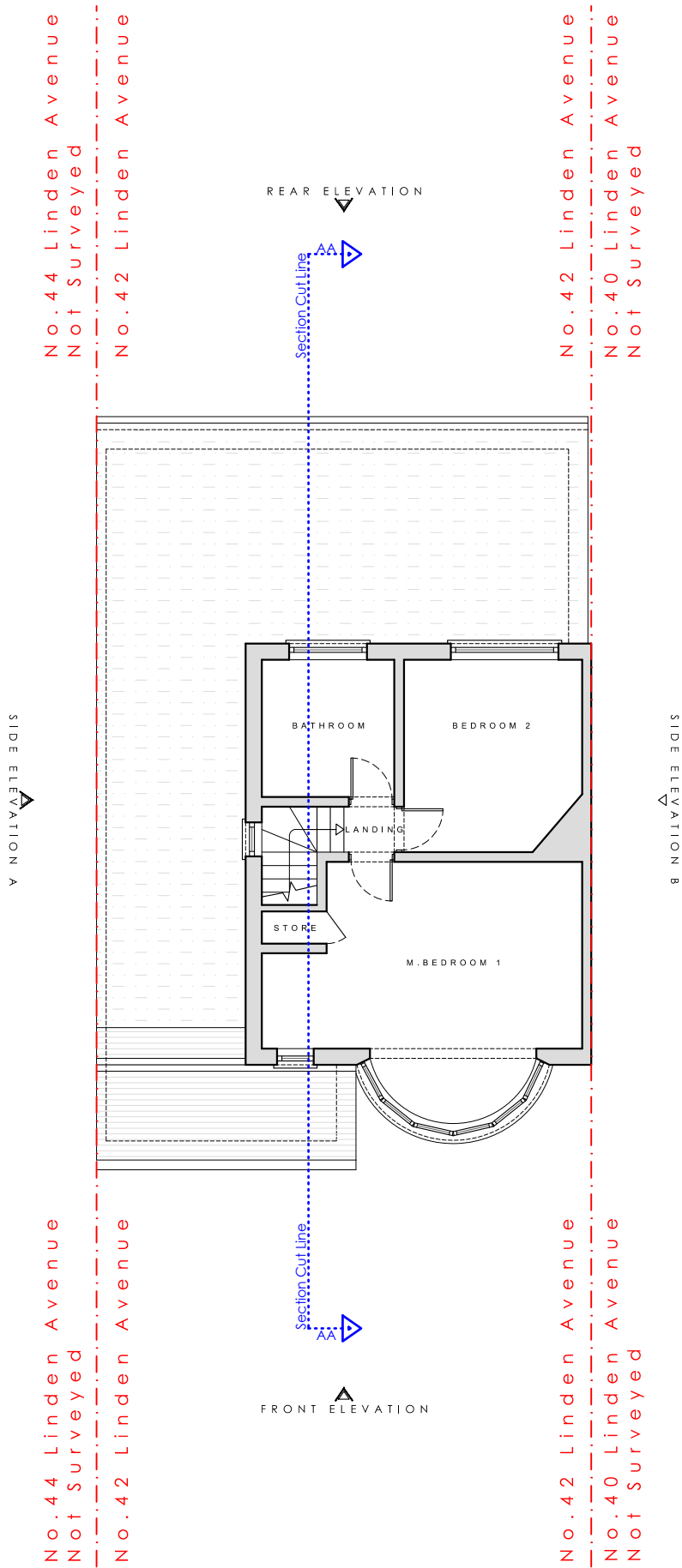
1 : 1 0 0   S C A L E   B A R



K E Y



C O M P A S S



STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100@A3

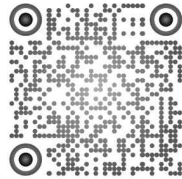
DRAWING Ref:E2

DRAWING TITLE : Existing First Floor Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue , Loft Conv .

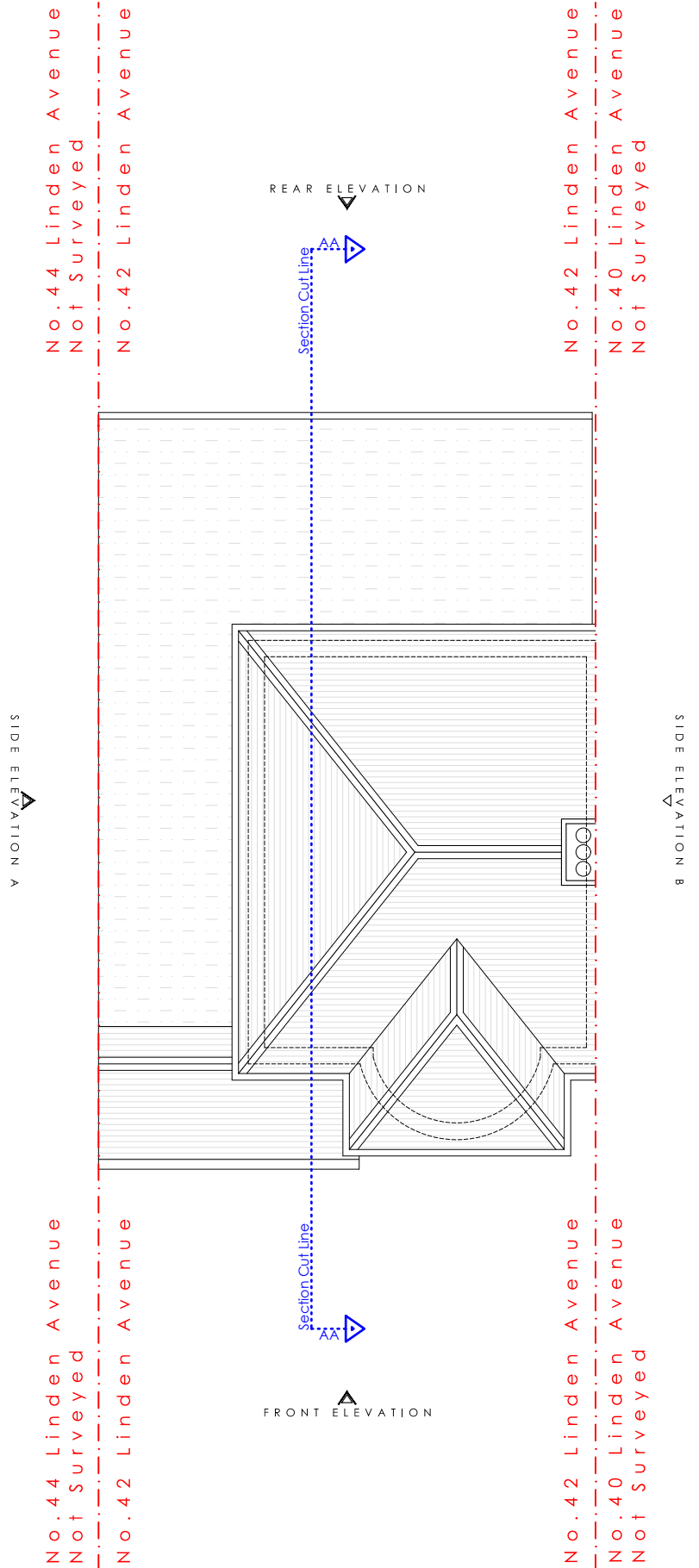
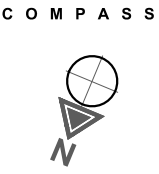
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K E Y

EXISTING  
CONSTRUCTION



STAGE No : 3

STAGE TITLE : Planning                      Rev:00

DRAWING SCALE: 1:100@A3      DRAWING Ref:E3                      DRAWING TITLE : Existing Roof Plan

DATE : 2025.08.28                      PROJECT : 42 Linden Avenue ,Loft Conv .

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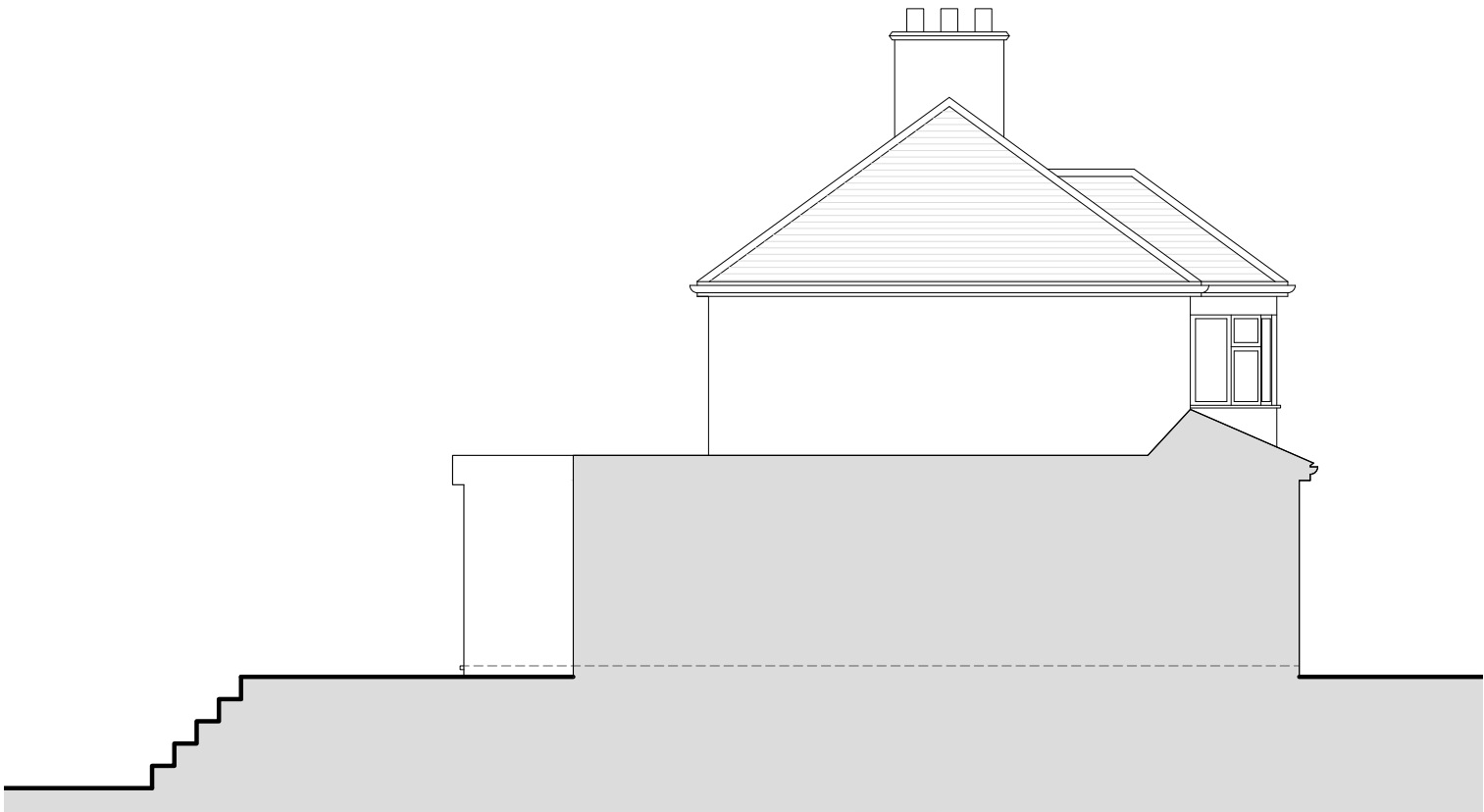




1 : 1 0 0   S C A L E   B A R



Existing Front Elevation



Existing Side A Elevation

STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100@A3

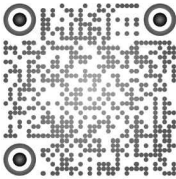
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DRAWING TITLE : Existing Elevations 1

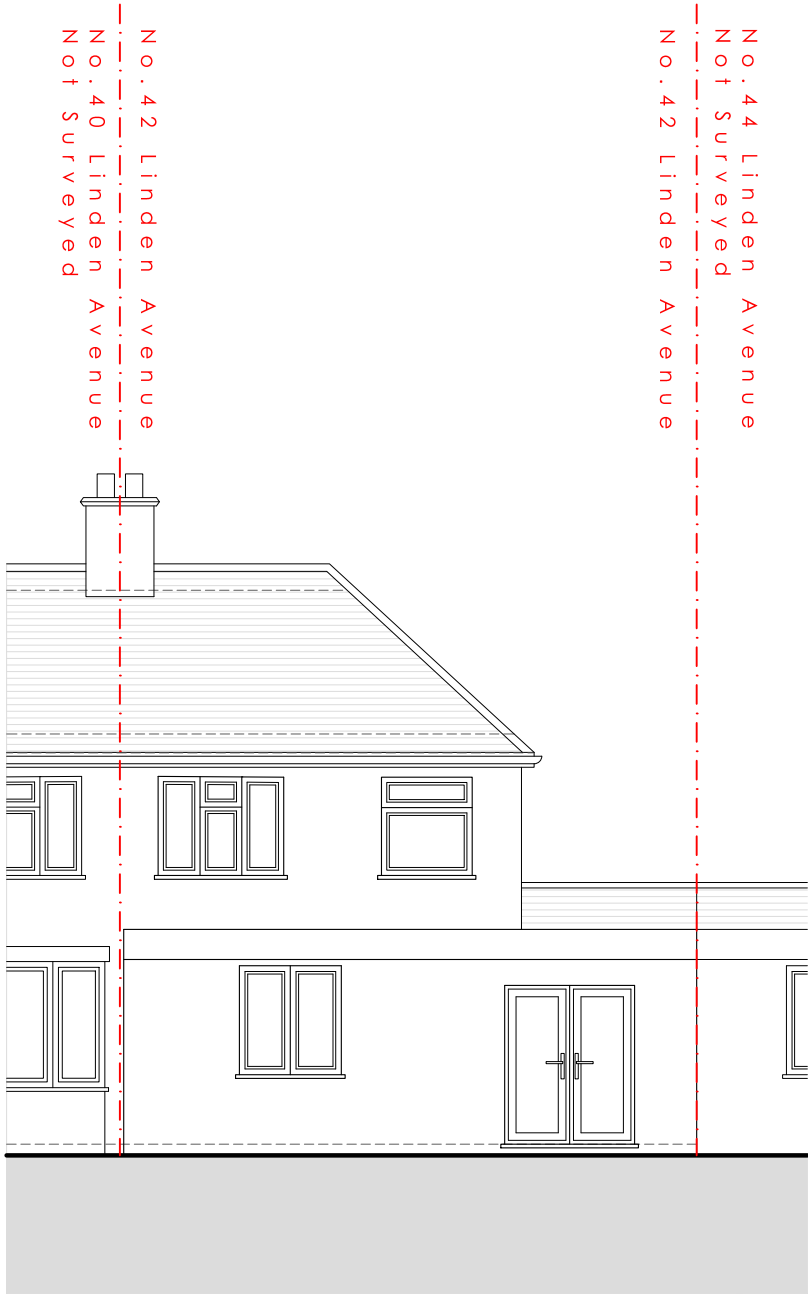
DATE : 2025.08.28

PROJECT : 42 Linden Avenue , Loft Conv .

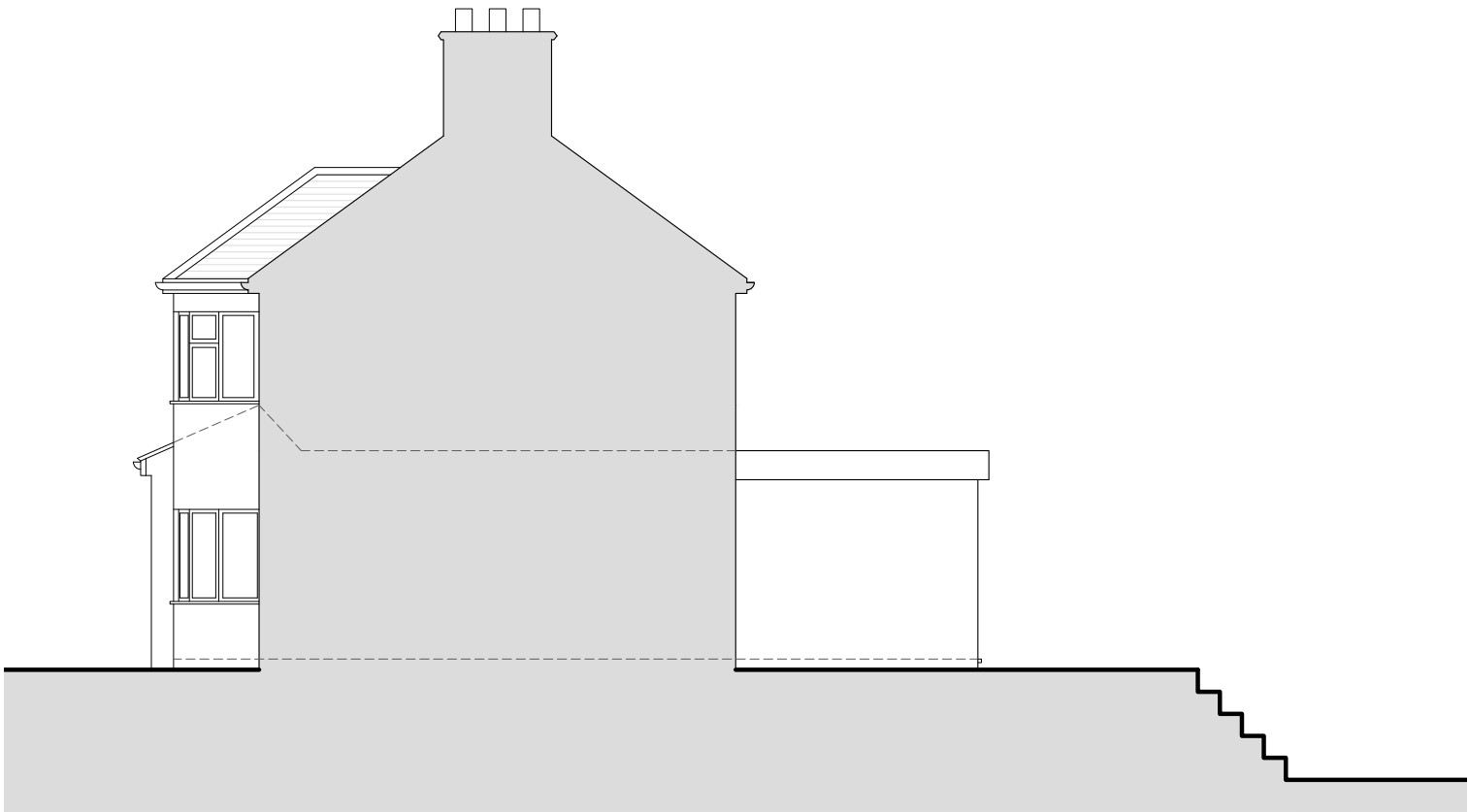
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1 : 1 0 0   S C A L E   B A R



Existing Rear Elevation



Existing Side B Elevation

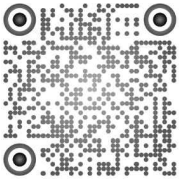
**STAGE No : 3**

**STAGE TITLE : Planning**                      **Rev:00**

**DRAWING SCALE: 1:100 @ A3**      **DRAWING Ref:EE2**                      **DRAWING TITLE : Existing Elevations 2**

**DATE : 2025.08.28**                      **PROJECT : 42 Linden Avenue, Loft Conv.**

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1 : 1 0 0   S C A L E   B A R



K E Y



STAGE No : 3

STAGE TITLE : Planning                      Rev:00

DRAWING SCALE: 1:100@A3      DRAWING Ref:ES1                      DRAWING TITLE : Existing Section 1

DATE : 2 0 2 5 . 0 8 . 2 8                      PROJECT : 4 2   L i n d e n   A v e n u e , L o f t   C o n v .

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**K E Y**

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

**Calculation for roof volume**  
Hip to gable with rear dormer

**V1 - Rear Dormer**  
 $((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9\text{m}^3$

**V2 - Hip to Gable**  
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

**V1 + V2 = 18.9 + 7.6 = 26.5m<sup>3</sup>**

**26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer**



- No. KEY:
1. New wall construction to match Existing.
  2. New uPVC/Aluminium window system to match existing.
  3. New uPVC/Aluminium Juliet balcony system to match existing.
  4. New hip to gable roof with matching roof tiles.
  5. New pitch roof with gutter sytem to match existing style.
  6. New obscure glass uPVC/Aluminium window system to match existing.
  7. New roof lights.
  8. New dormer flat roof.
  9. New hip to gable wall to match existing.
  10. Proposed wall to be in situ with boundary line.

**STAGE No : 3**

**STAGE TITLE : Planning**

**DRAWING SCALE: 1:100@A3**

**DATE : 2025.08.28**

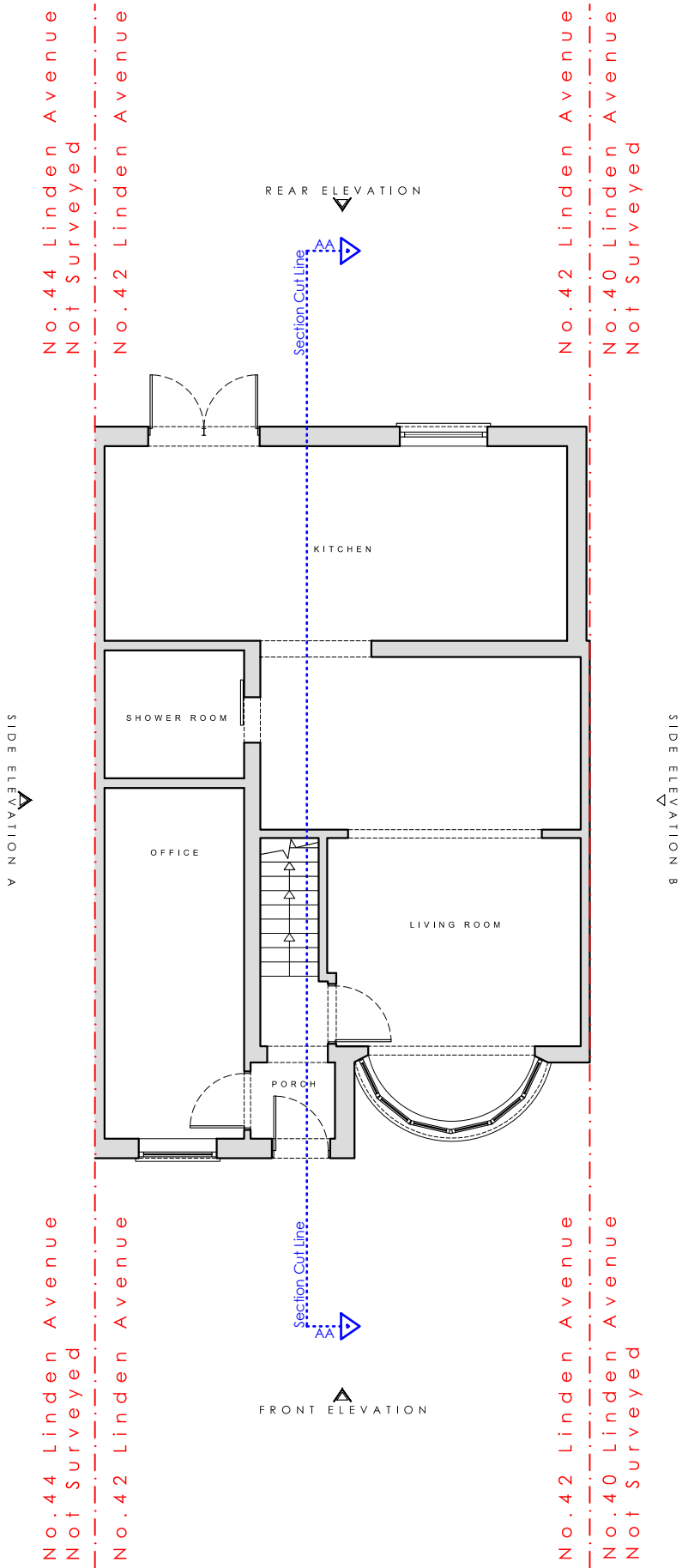
**Rev:00**

**DRAWING Ref:P1**

**DRAWING TITLE : Proposed Ground Floor Plan**

**PROJECT : 42 Linden Avenue ,Loft Conv.**

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**THE PLANNING STUDIO**

Architectural Design & Planning Services



- K E Y**
- EXISTING CONSTRUCTION
  - PROPOSED CONSTRUCTION
  - DEMOLITION
  - BOUNDARY LINE
  - SECTION CUT LINE

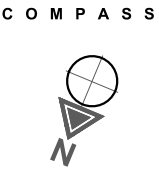
**Calculation for roof volume**  
Hip to gable with rear dormer

**V1 - Rear Dormer**  
 $((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9m^3$

**V2 - Hip to Gable**  
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$

**V1 + V2 = 18.9 + 7.6 = 26.5m<sup>3</sup>**

**26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer**



- No. KEY:
- New wall construction to match Existing.
  - New uPVC/Aluminium window system to match existing.
  - New uPVC/Aluminium Juliet balcony system to match existing.
  - New hip to gable roof with matching roof tiles.
  - New pitch roof with gutter sytem to match existing style.
  - New obscure glass uPVC/Aluminium window system to match existing.
  - New roof lights.
  - New dormer flat roof.
  - New hip to gable wall to match existing.
  - Proposed wall to be in situ with boundary line.

**STAGE No : 3**  
**STAGE TITLE : Planning**      **Rev:00**  
**DRAWING SCALE: 1:100@A3**      **DRAWING Ref:P2**      **DRAWING TITLE : Proposed First Floor Plan**  
**DATE : 2025.08.28**      **PROJECT : 42 Linden Avenue, Loft Conv.**

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1 : 1 0 0   S C A L E   B A R



K E Y

EXISTING  
CONSTRUCTION

PROPOSED  
CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA: 14.1m<sup>2</sup>

Calculation for roof volume

Hip to gable with rear dormer

V1 - Rear Dormer

$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9\text{m}^3$

V2 - Hip to Gable

$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

$V1 + V2 = 18.9 + 7.6 = 26.5\text{m}^3$

$26.5\text{m}^3 < 50\text{m}^3$  volume for rear dormer

STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100@A3

DRAWING Ref:P3

DRAWING TITLE : Proposed Second Floor Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

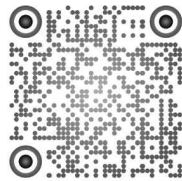
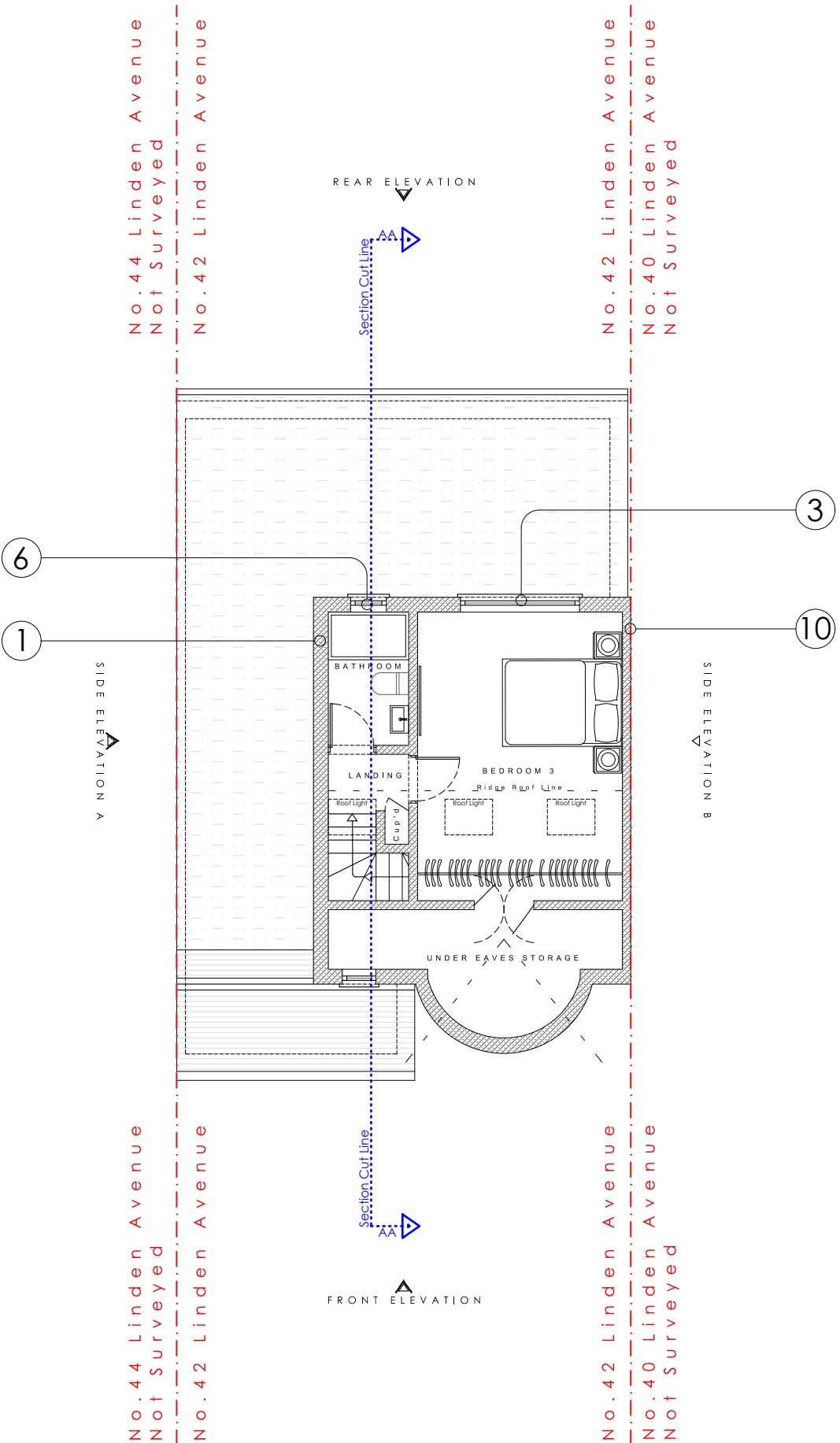
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C O M P A S S



No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter sytem to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.





EXISTING  
CONSTRUCTION



PROPOSED  
CONSTRUCTION



BOUNDARY LINE

 SECTION CUT LINE

Hip to gable with rear dormer

$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9\text{m}^3$$
$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$$

**26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer**

**Rev: 00**

**D R A W I N G   R e f : P 4**

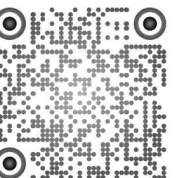
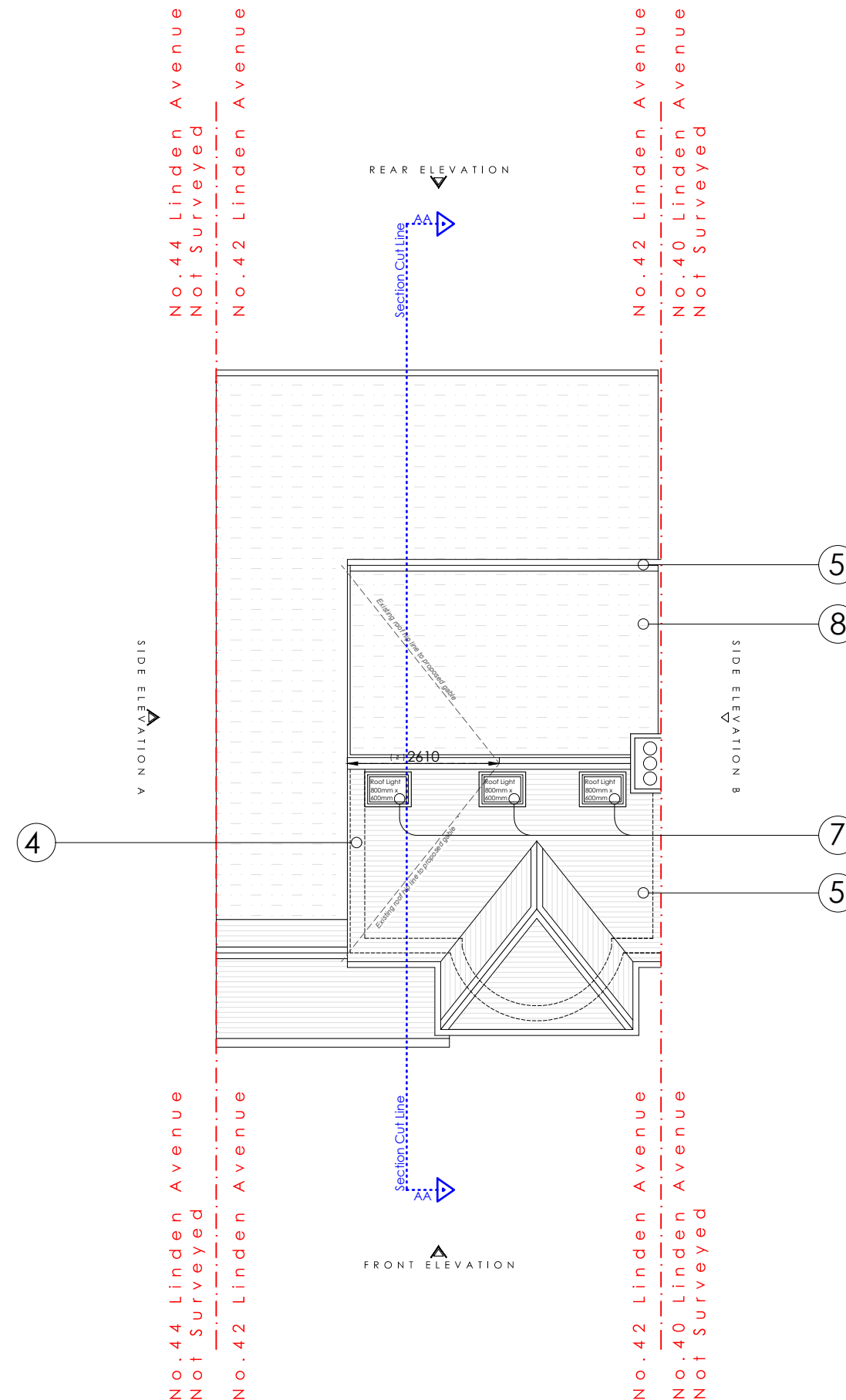
**DRAWING TITLE :** Proposed Roof Plan

**P R O J E C T : 4 2   L i n d e n   A v e n u e , L o f t   C o n v .**

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**Web:** [www.smlconstructionltd.com](http://www.smlconstructionltd.com)

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.







INTERNAL GROSS AREA: 14.1m<sup>2</sup>

- No. KEY:
- 1. New wall construction to match Existing.
  - 2. New uPVC/Aluminium window system to match existing.
  - 3. New uPVC/Aluminium Juliet balcony system to match existing.
  - 4. New hip to gable roof with matching roof tiles.
  - 5. New pitch roof with gutter sytem to match existing style.
  - 6. New obscure glass uPVC/Aluminium window system to match existing.
  - 7. New roof lights.
  - 8. New dormer flat roof.
  - 9. New hip to gable wall to match existing.
  - 10. Proposed wall to be in situ with boundary line.



Proposed Front Elevation

**Area Precedents**

The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (Ref. 23965/APP/2013/346).

No. 87 – Ridge increased by 250mm with dormer and gable (Ref. 57345/APP/2017/3487).

No. 19 – Ridge height increase granted on appeal (Ref. 62245/APP/2017/1465).

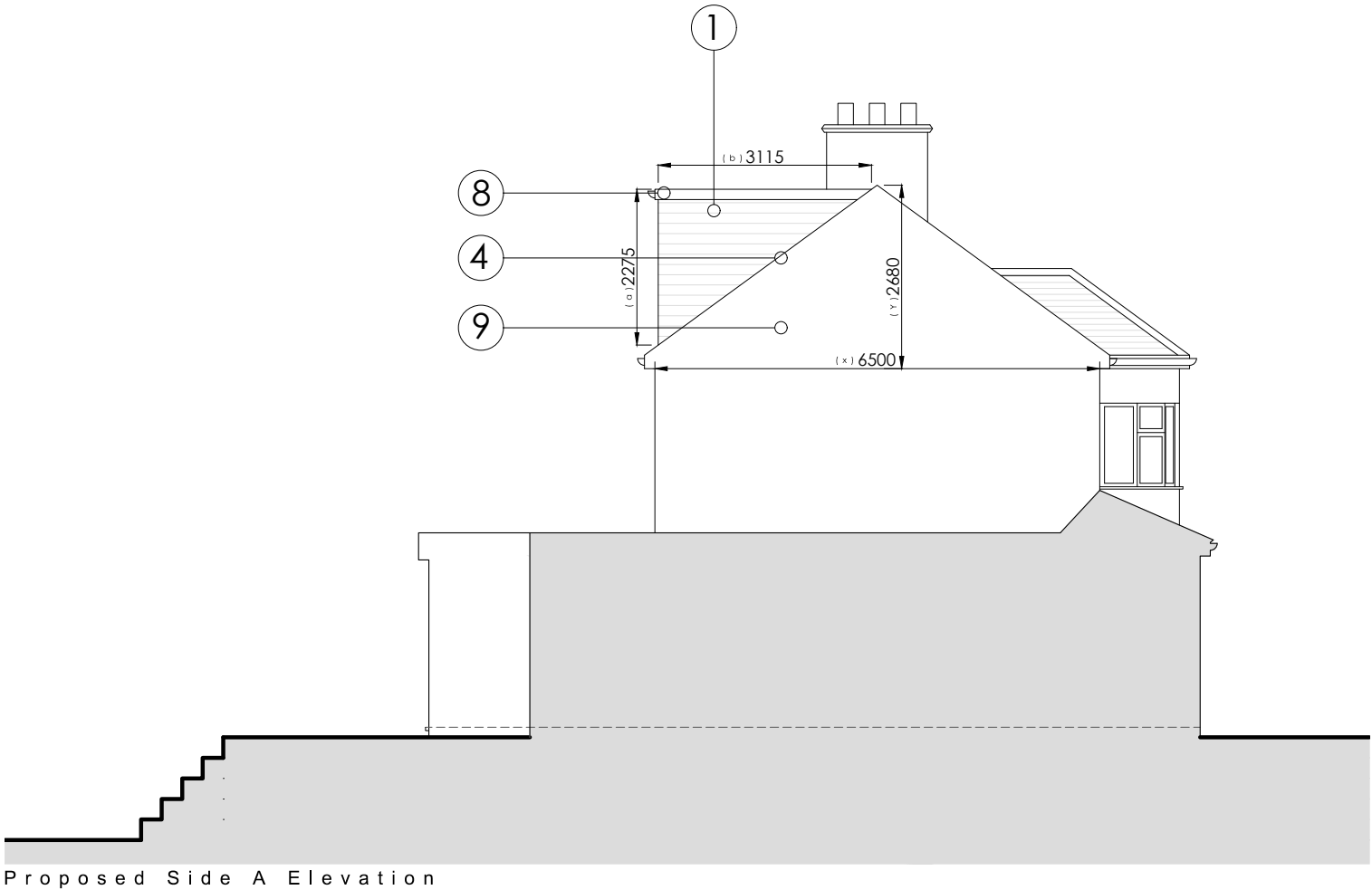
**Calculation for roof volume**  
Hip to gable with rear dormer

**V1 - Rear Dormer**  
 $((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9\text{m}^3$

**V2 - Hip to Gable**  
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

**V1 + V2 = 18.9 + 7.6 = 26.5m<sup>3</sup>**

**26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer**



Proposed Side A Elevation

**STAGE No : 3**

**STAGE TITLE : Planning**      **Rev:00**

**DRAWING SCALE: 1:100@A3**      **DRAWING Ref:PE1**      **DRAWING TITLE : Proposed Elevations 1**

**DATE : 2025.08.28**      **PROJECT : 42 Linden Avenue, Loft Conv.**

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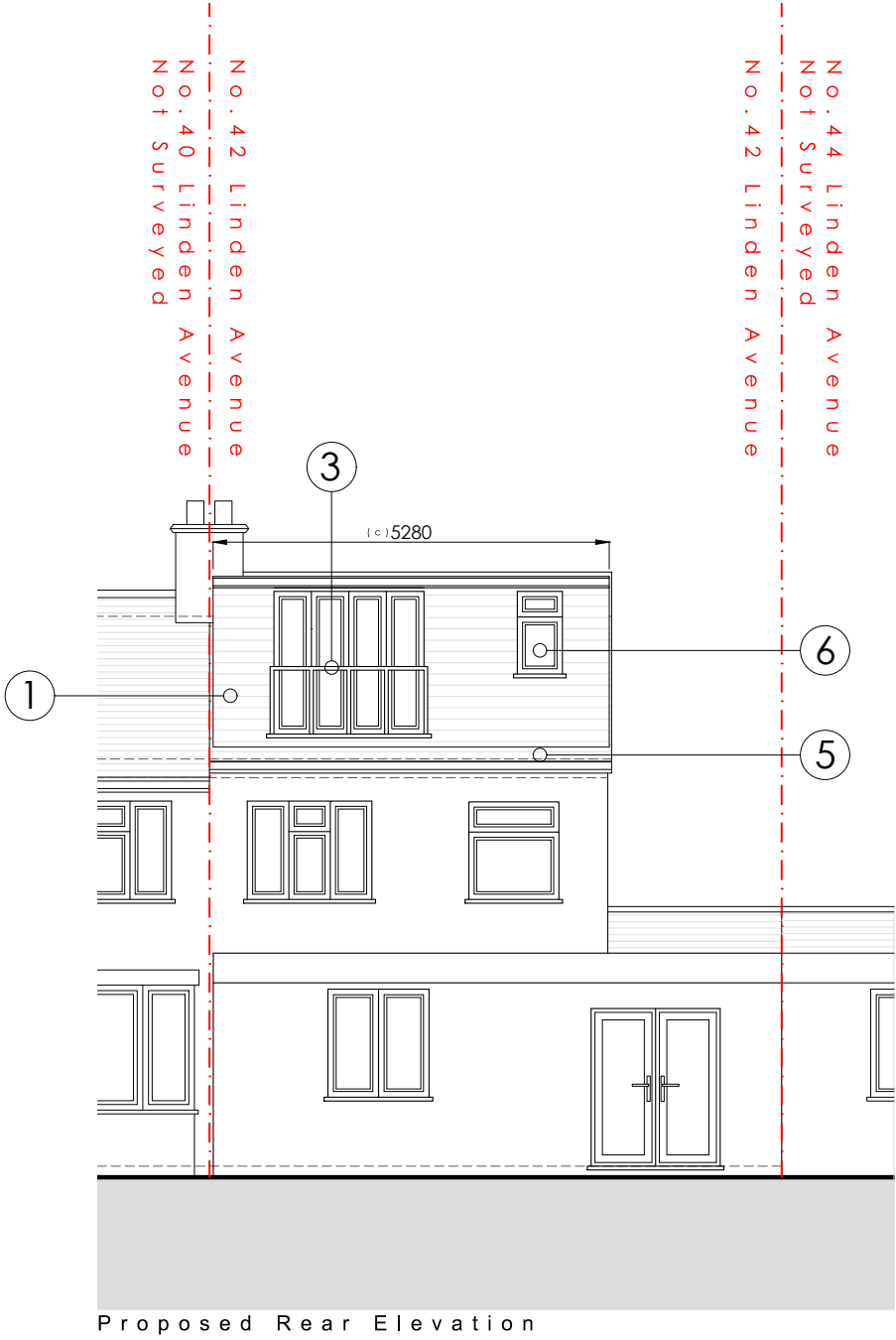
1 : 1 0 0   S C A L E   B A R



INTERNAL GROSS AREA: 14.1m<sup>2</sup>

No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter sytem to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.



Area Precedents

The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (Ref. 23965/APP/2013/346).

No. 87 – Ridge increased by 250mm with dormer and gable (Ref. 57345/APP/2017/3487).

No. 19 – Ridge height increase granted on appeal (Ref. 62245/APP/2017/1465).

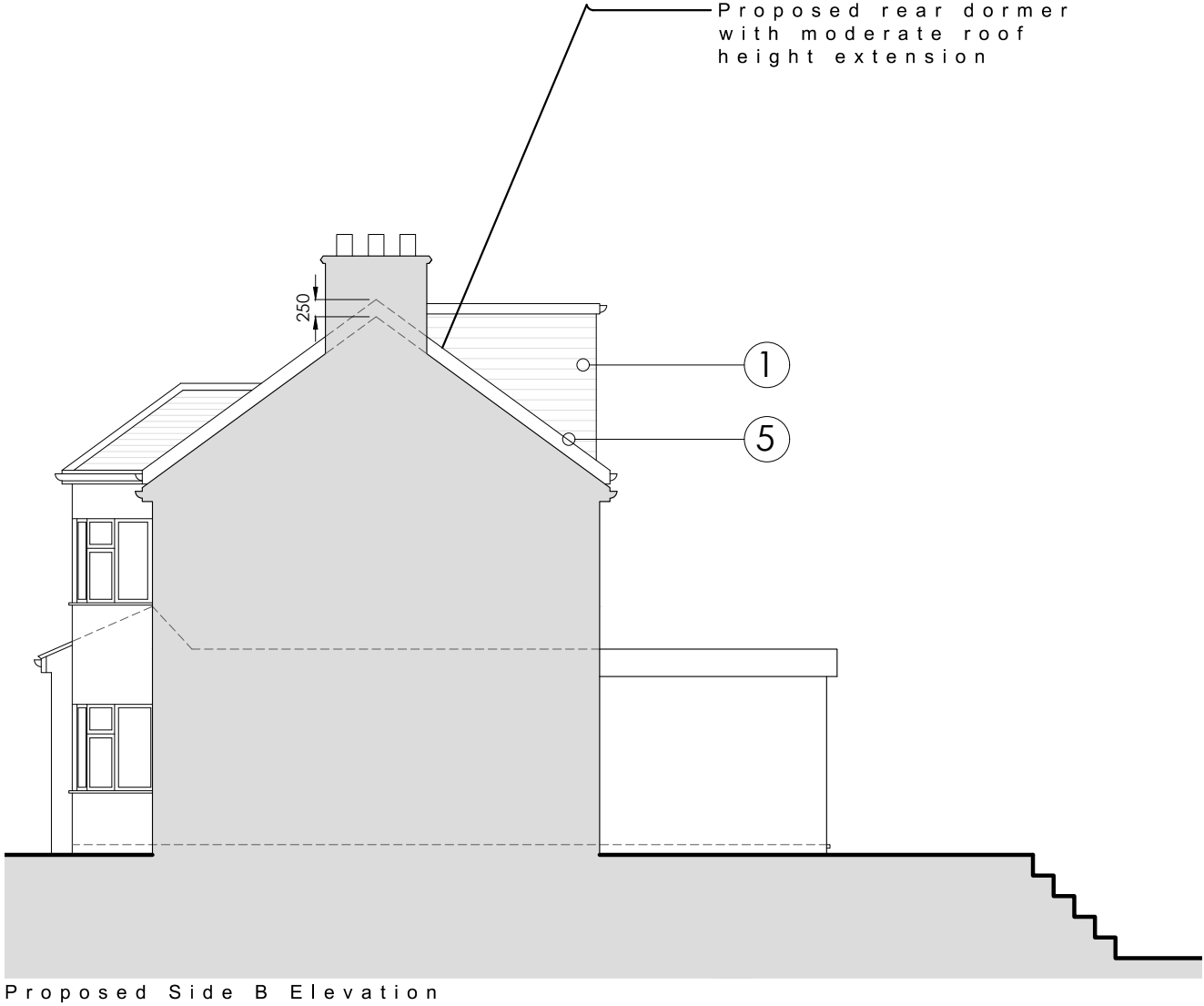
Calculation for roof volume  
Hip to gable with rear dormer

**V1 - Rear Dormer**  
 $((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9\text{m}^3$

**V2 - Hip to Gable**  
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

**V1 + V2 = 18.9 + 7.6 = 26.5m<sup>3</sup>**

**26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer**



STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100@A3

DRAWING Ref:PE2

DRAWING TITLE : Proposed Elevations 2

DATE : 2025.08.28


PROJECT : 42 Linden Avenue, Loft Conv.


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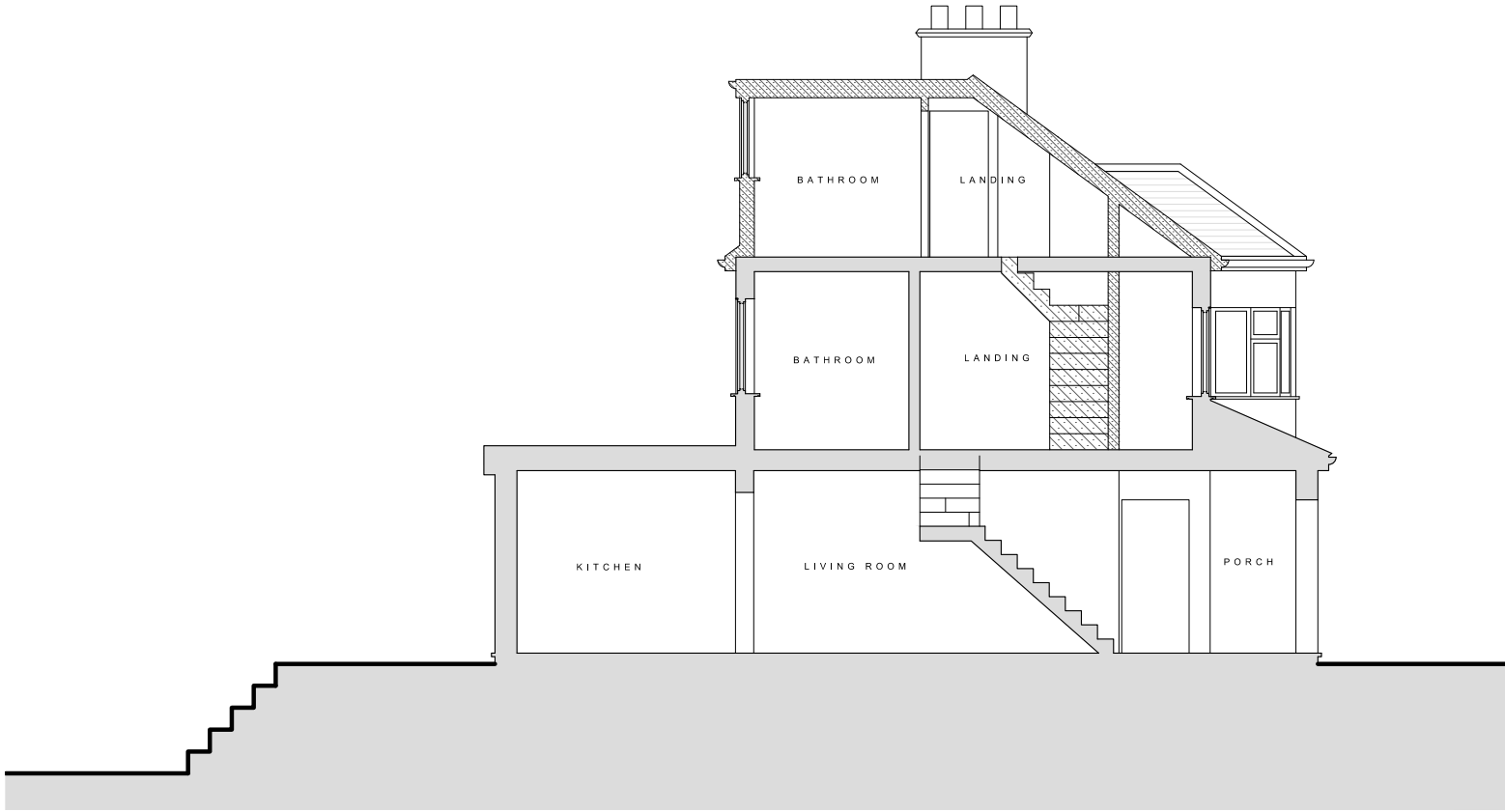


**K E Y**

 EXISTING  
CONSTRUCTION

 PROPOSED  
CONSTRUCTION

INTERNAL GROSS AREA: 14.1m<sup>2</sup>



**Area Precedents**  
*The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:*

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (Ref. 23965/APP/2013/346).

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STAGE No : 3

STAGE TITLE : Planning

DRAWING SCALE: 1:100@A3

DATE : 2025.08.28

Rev:00

DRAWING Ref:PS1

PROJECT: 42 Linden Avenue, Loft Conv.

DRAWING TITLE : Proposed Section 1

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