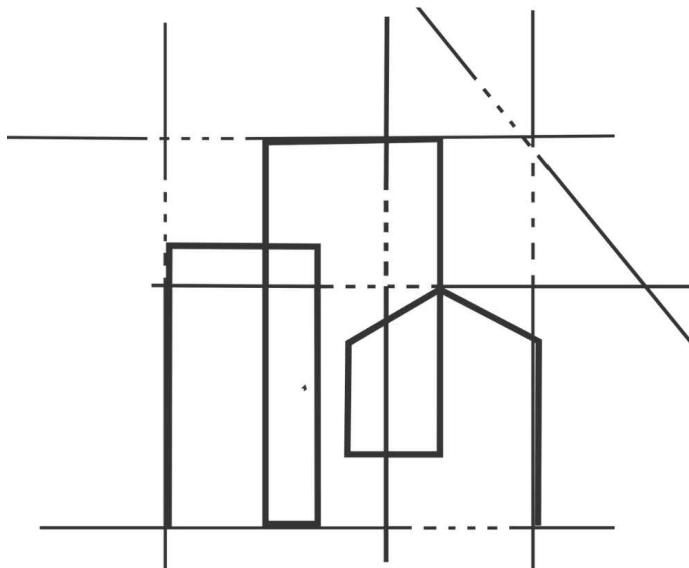


THE  
PLANNING  
STUDIO



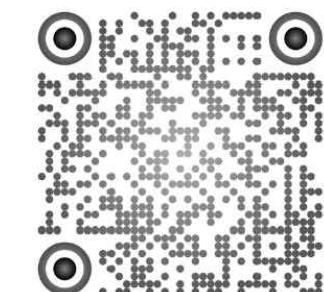
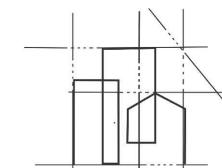
Architectural Design  
& Planning Services



SCAN ME  
S M L O N D O N C O N S T R U C T I O N

PROJECT

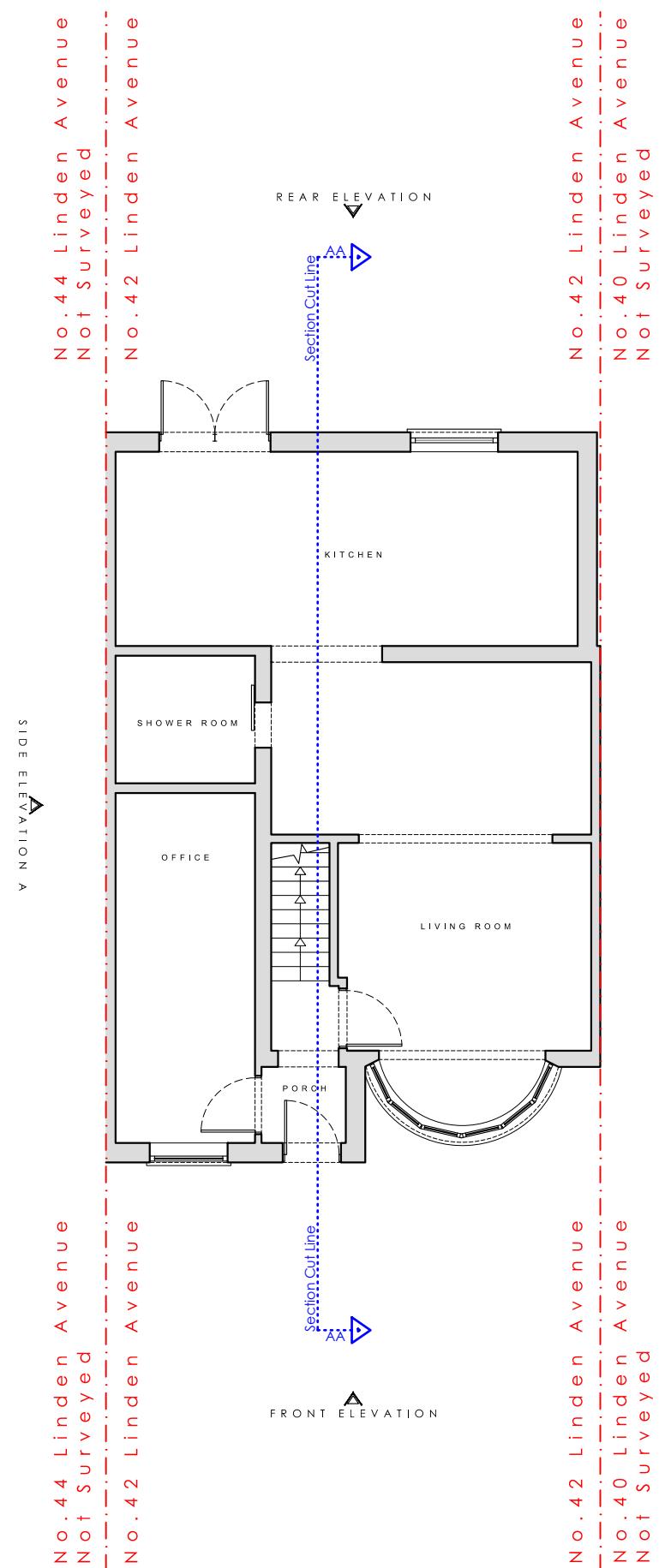
42 LINDEN AVENUE  
Loft Conversion



SCAN ME  
THE PLANNING STUDIO



KEY



STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: E1

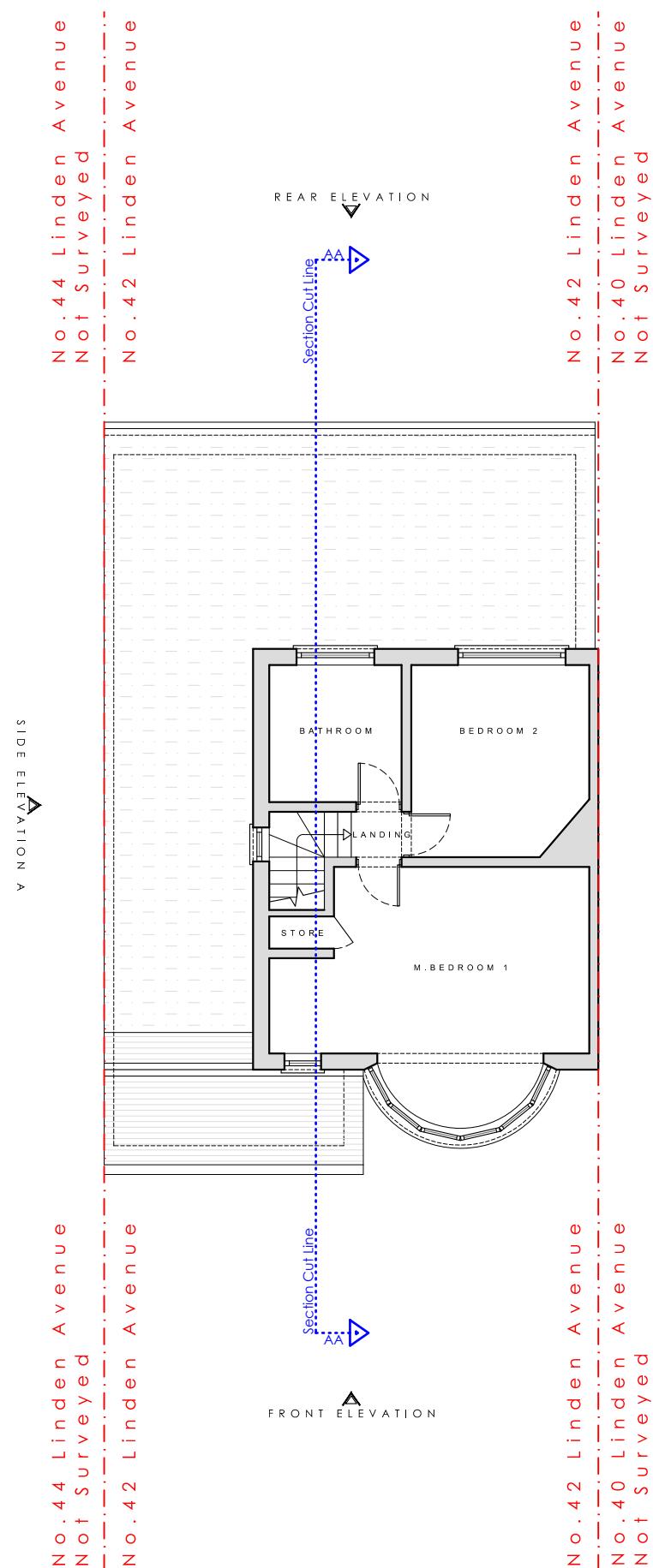
DRAWING TITLE : Existing Ground Floor Plan

DATE : 2025.08.28 PROJECT : 42 Linden Avenue, Loft Conv.

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KEY



STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: E2

DRAWING TITLE : Existing First Floor Plan

DATE : 2025.08.28 PROJECT : 42 Linden Avenue, Loft Conv.

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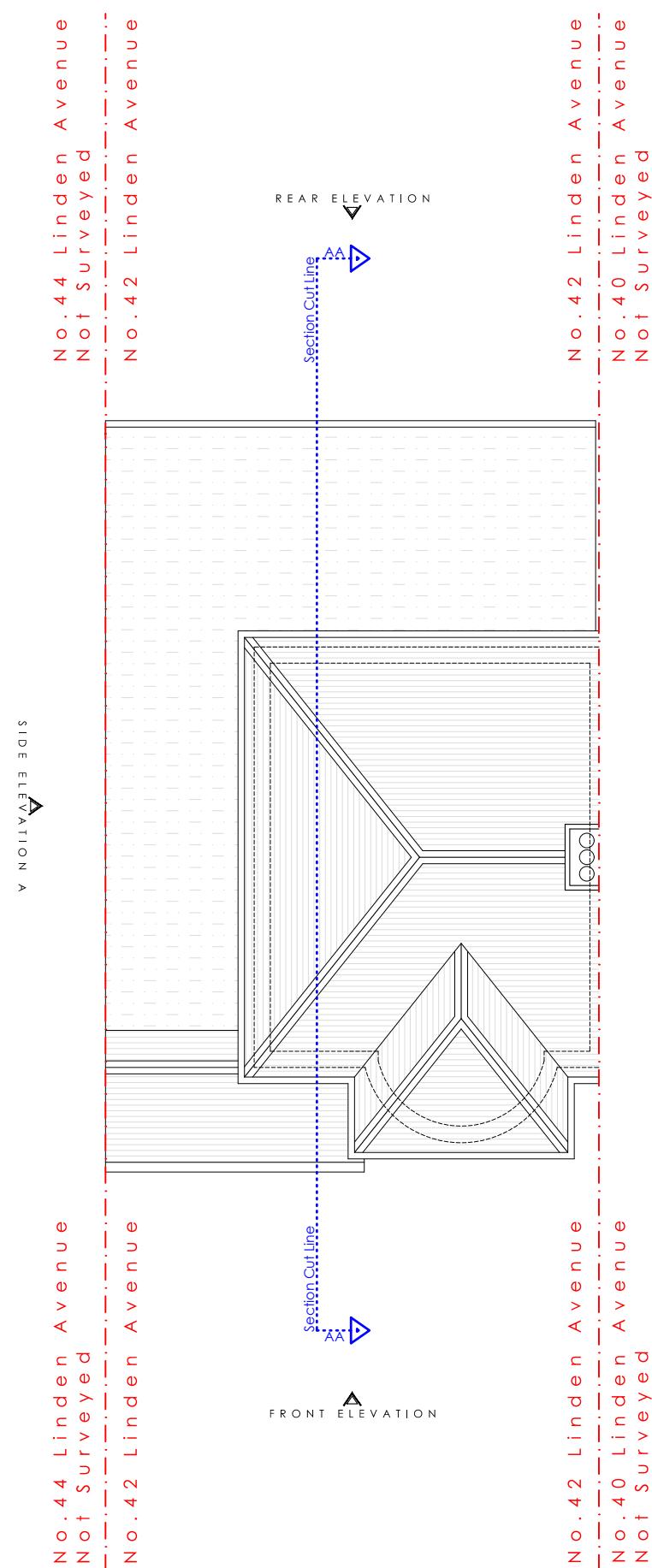
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COMPASS



KEY



STAGE No : 3

STAGE TITLE : Planning

Rev: 00

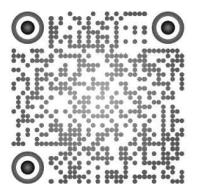
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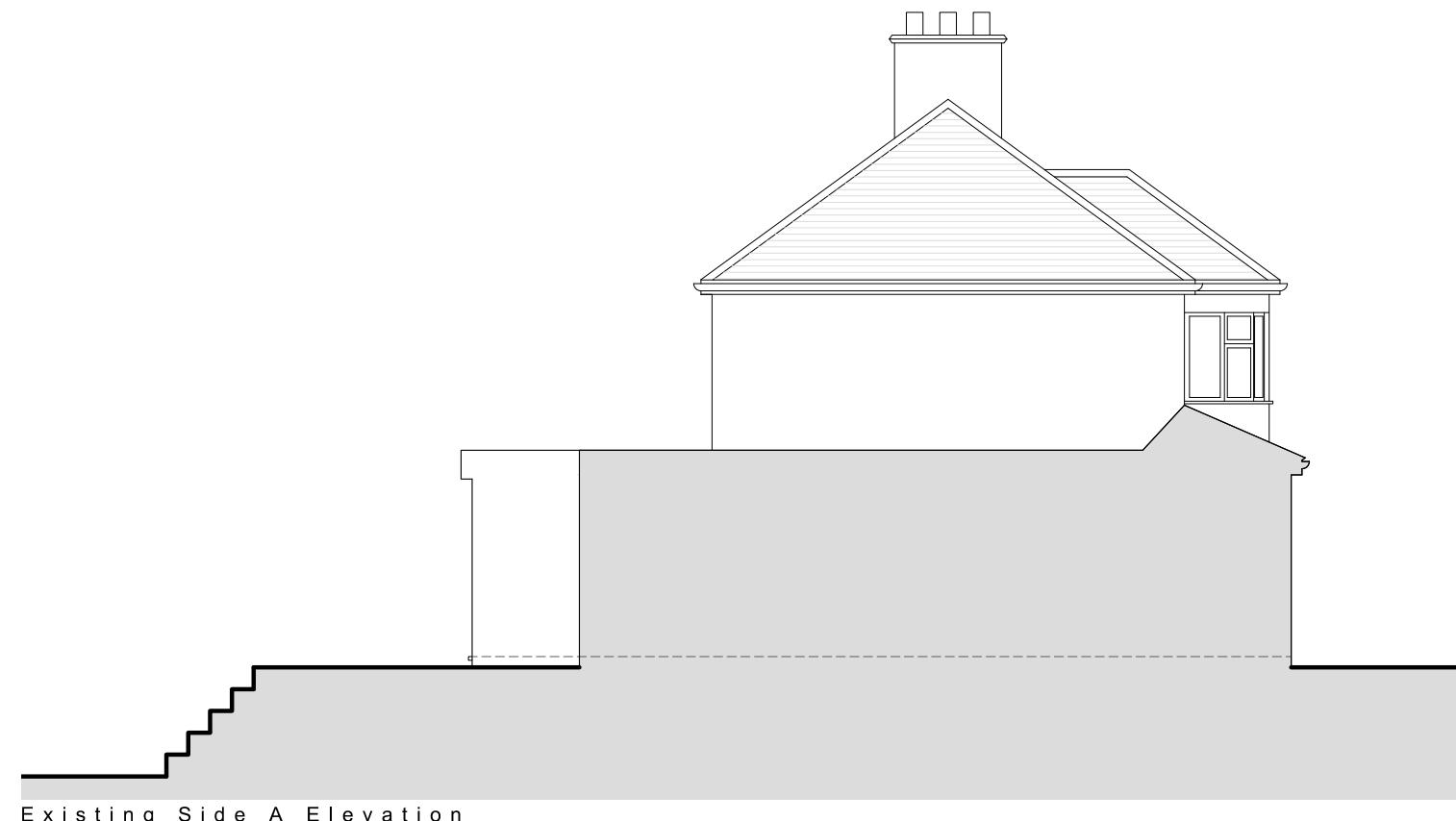
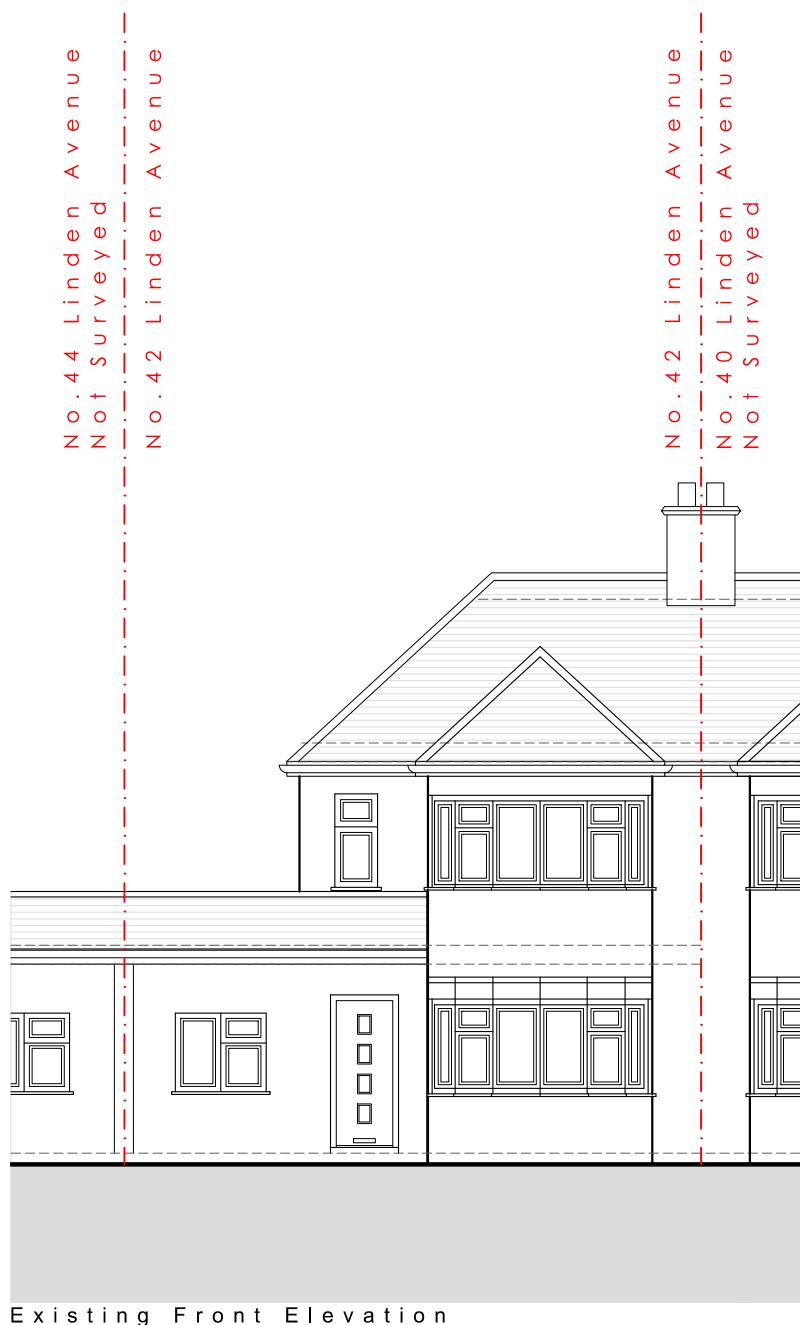
DRAWING TITLE : Existing Roof Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100 @ A3

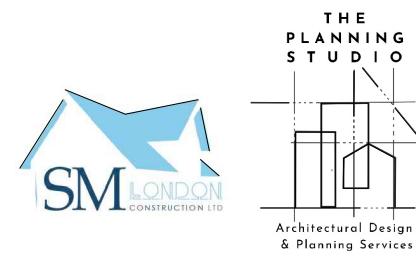
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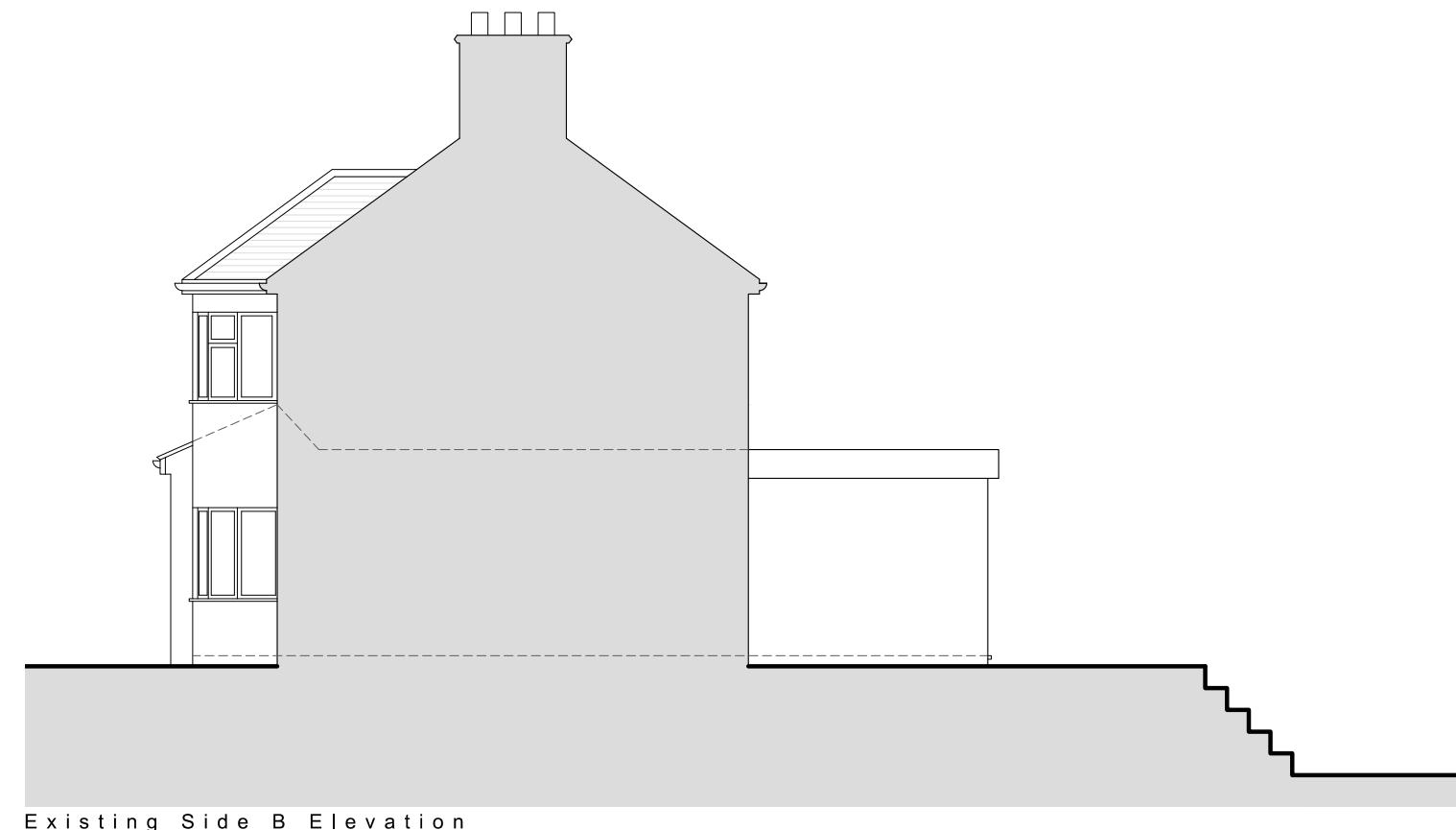
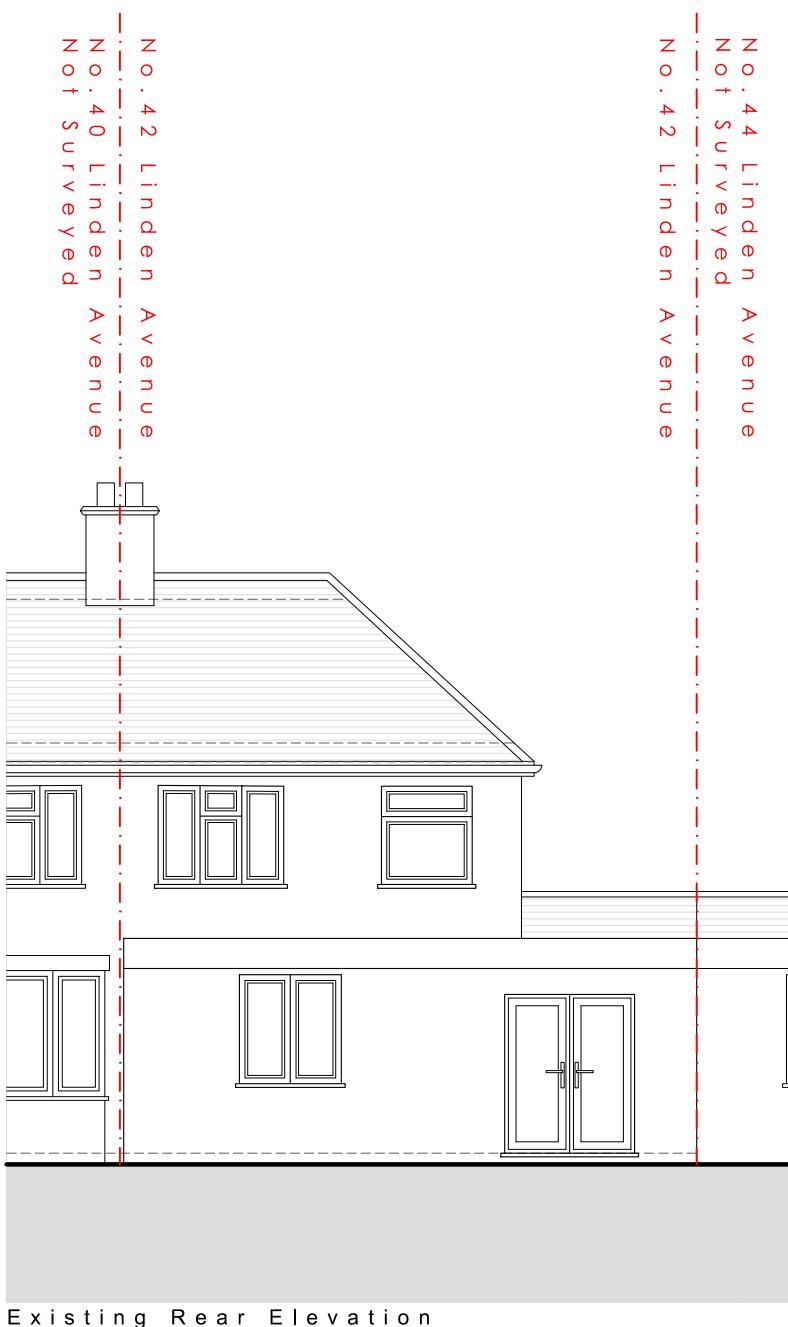
DRAWING TITLE : Existing Elevations 1

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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STAGE No : 3

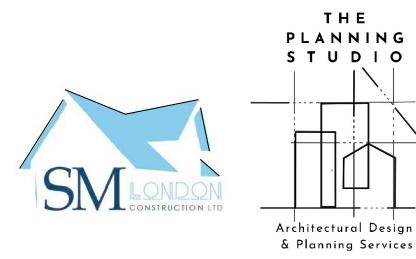
STAGE TITLE : Planning Rev:00

DRAWING SCALE: 1:100 @ A3 DRAWING Ref:EE2

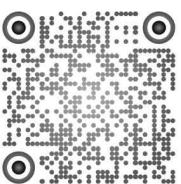
DRAWING TITLE : Existing Elevations 2

DATE : 2025.08.28 PROJECT : 42 Linden Avenue, Loft Conv.

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Architectural Design &amp; Planning Services



1 : 100 SCALE BAR



KEY



STAGE No : 3

STAGE TITLE : Planning

Rev: 00

DRAWING SCALE: 1:100 @ A3

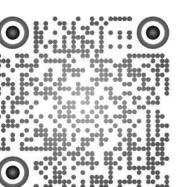
DRAWING Ref: E S 1

DRAWING TITLE : Existing Section 1

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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## KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

## Calculation for roof volume

Hip to gable with rear dormer

## V1 - Rear Dormer

$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9m^3$$

## V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 26.5m^3$$

26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer

STAGE No : 3

STAGE TITLE : Planning

Rev:00

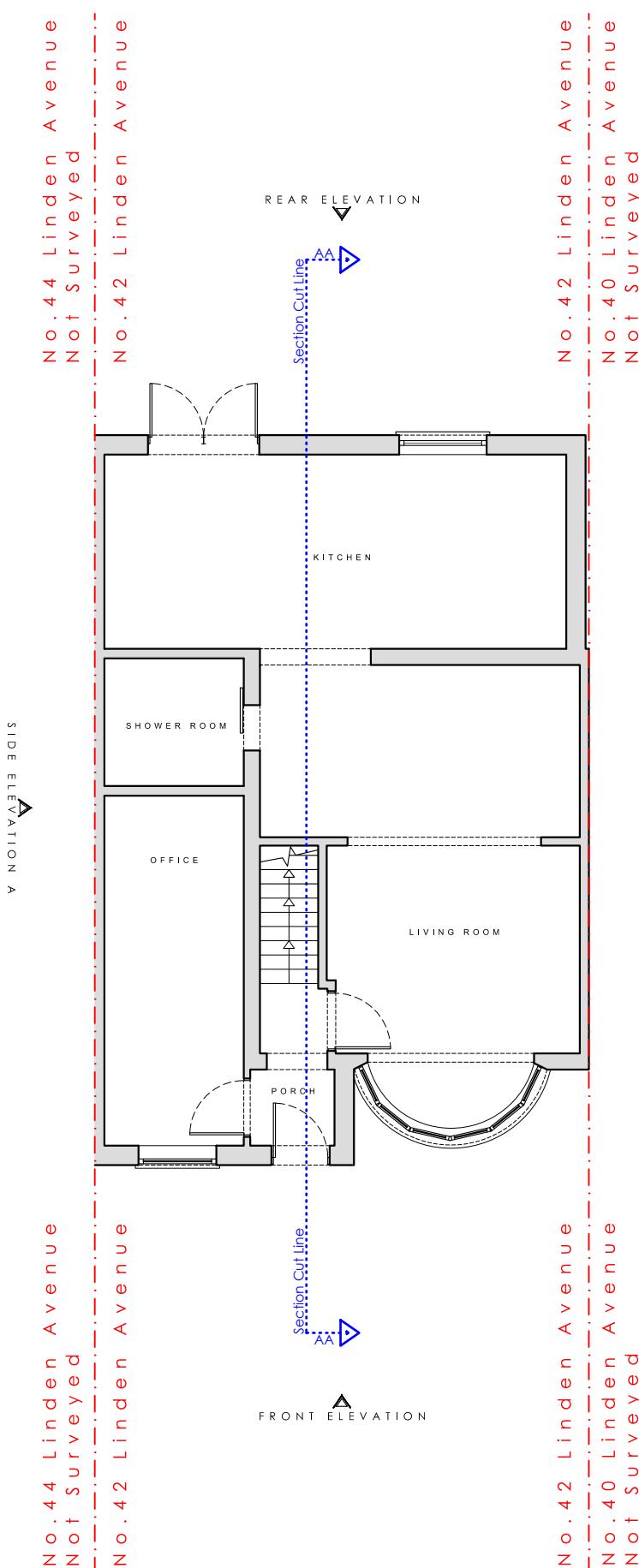
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DRAWING TITLE : Proposed Ground Floor Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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## No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.





## KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

DEMOLITION

BOUNDARY LINE

SECTION CUT LINE

## Calculation for roof volume

Hip to gable with rear dormer

## V1 - Rear Dormer

$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9m^3$$

## V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 26.5m^3$$

**26.5m<sup>3</sup> < 50m<sup>3</sup>** volume for rear dormer

STAGE No : 3

STAGE TITLE : Planning

Rev:00

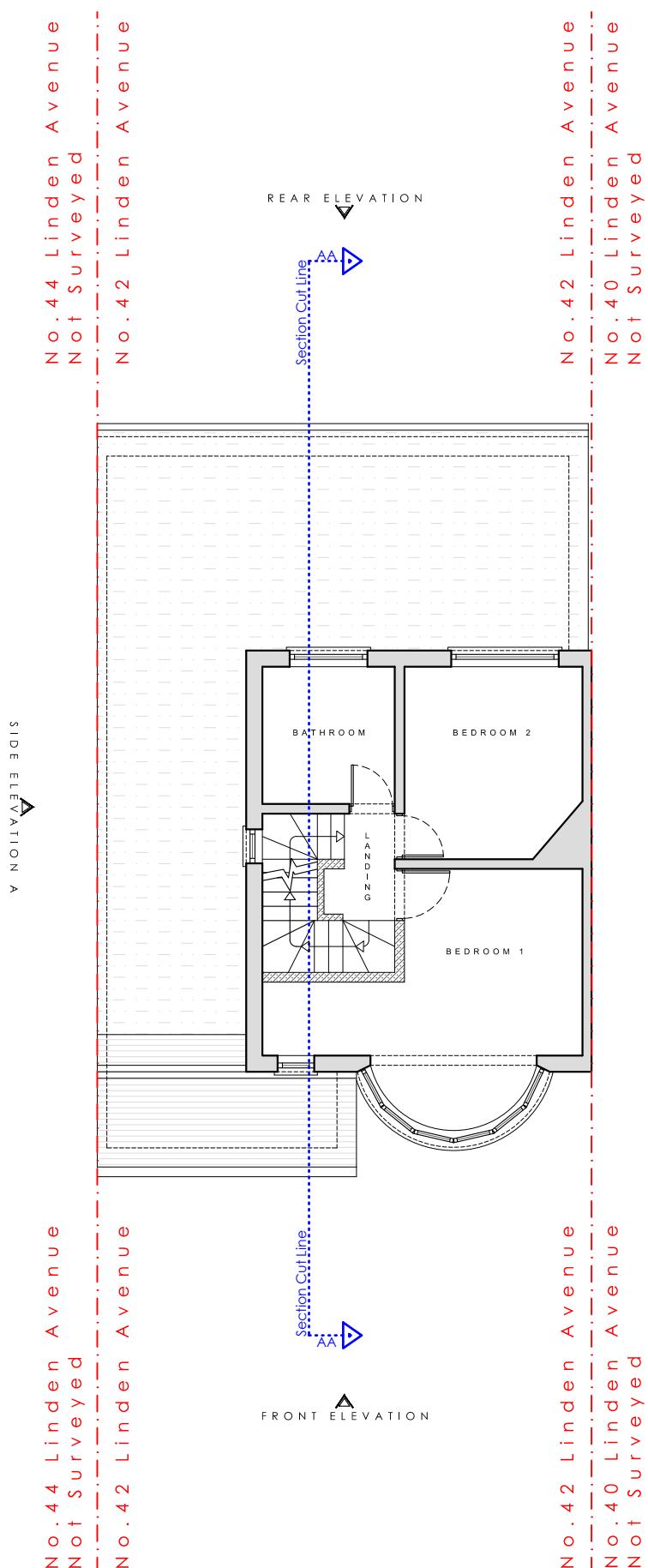
DRAWING SCALE: 1:100 @ A3 DRAWING Ref: P2

DRAWING TITLE : Proposed First Floor Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.





## KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA: 14.1m<sup>2</sup>

## Calculation for roof volume

Hip to gable with rear dormer

## V1 - Rear Dormer

$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9m^3$$

## V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 26.5m^3$$

26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer

STAGE No : 3

STAGE TITLE : Planning

Rev: 00

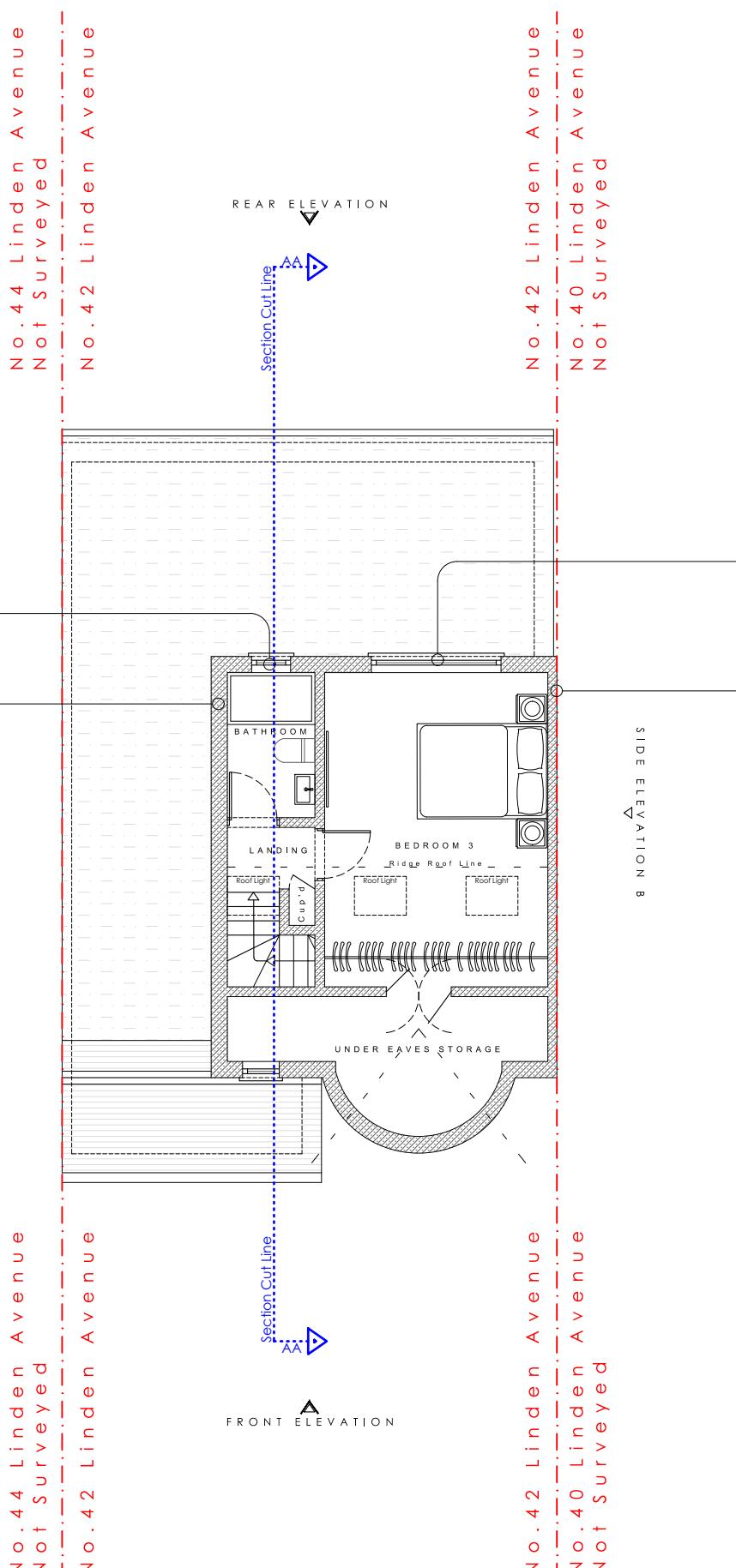
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DRAWING TITLE : Proposed Second Floor Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.





## KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA: 14.1m<sup>2</sup>

## Calculation for roof volume

Hip to gable with rear dormer

## V1 - Rear Dormer

$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9m^3$$

## V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 26.5m^3$$

26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer

STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100 @ A3

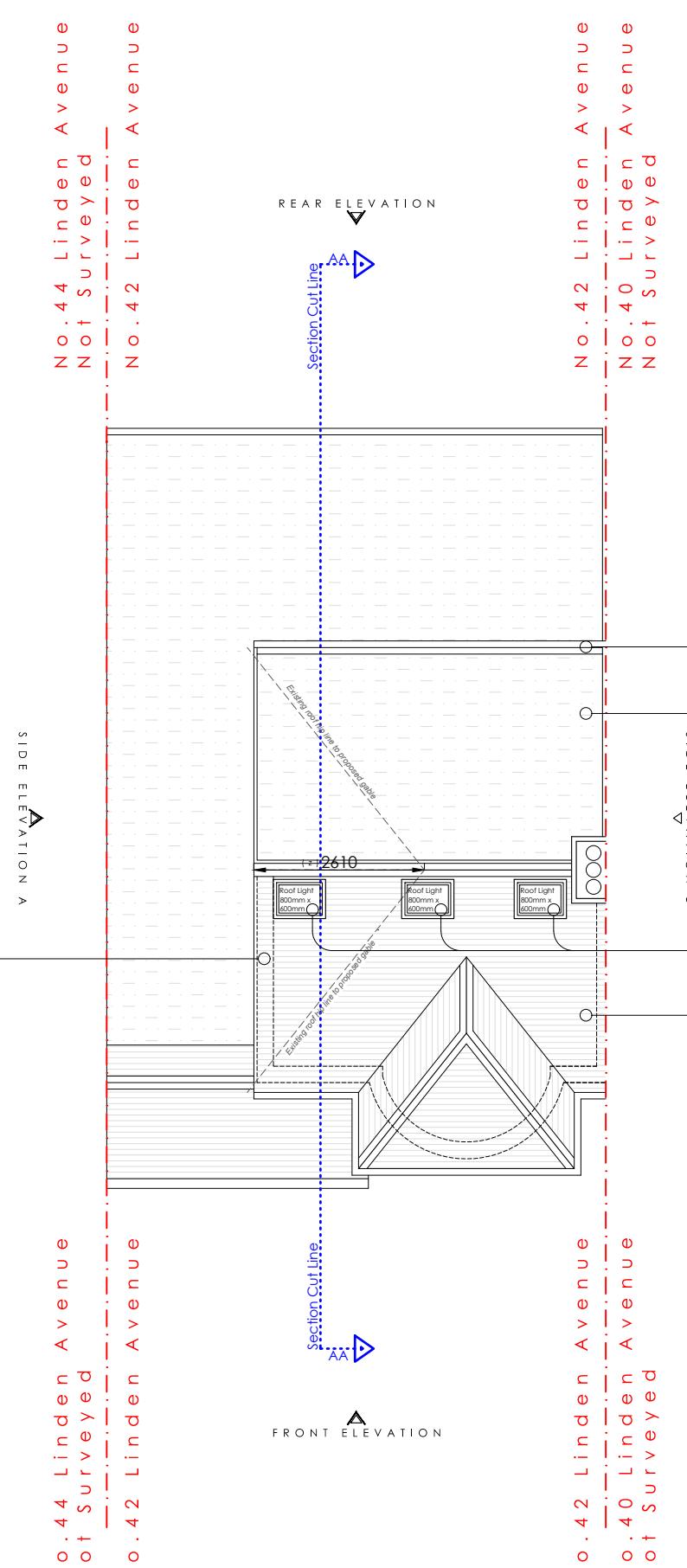
DRAWING Ref: P4

DRAWING TITLE : Proposed Roof Plan

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.



INTERNAL GROSS AREA: 14.1 m<sup>2</sup>

## No. KEY:

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3. New uPVC / Aluminium Juliet balcony system to match existing.
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8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed wall to be in situ with boundary line.



Proposed Front Elevation

## Area Precedents

The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (Ref. 23965/APP/2013/346).

No. 87 – Ridge increased by 250mm with dormer and gable (Ref. 57345/APP/2017/3487).

No. 19 – Ridge height increase granted on appeal (Ref. 62245/APP/2017/1465).

**Calculation for roof volume**  
Hip to gable with rear dormer

## V1 - Rear Dormer

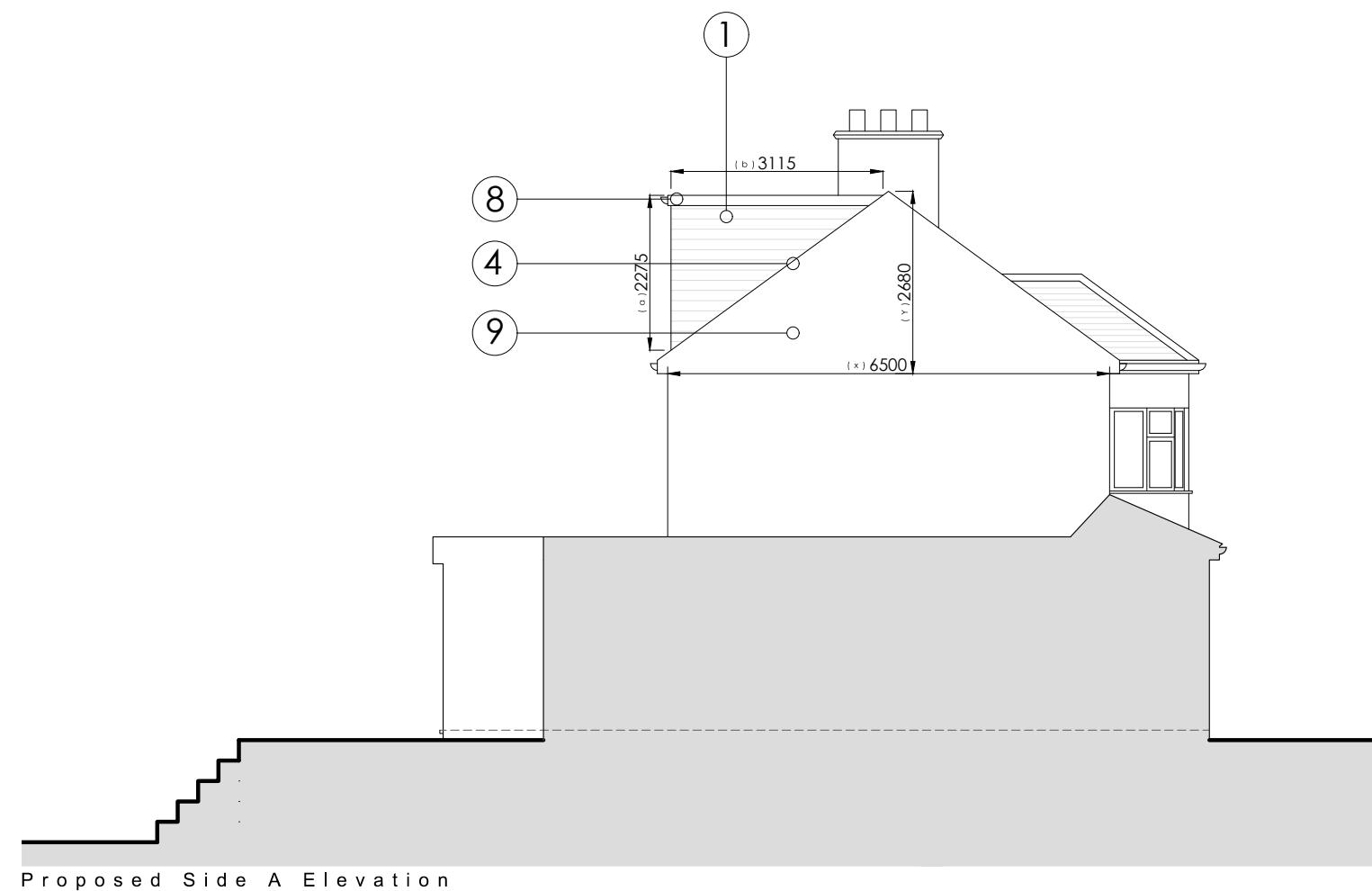
$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9 \text{m}^3$$

## V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6 \text{m}^3$$

$$V1 + V2 = 18.9 + 7.6 = 26.5 \text{m}^3$$

**26.5m<sup>3</sup>** < 50m<sup>3</sup> volume for rear dormer



Proposed Side A Elevation

STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100 @ A3

DRAWING Ref: P E1

DRAWING TITLE : Proposed Elevations 1

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

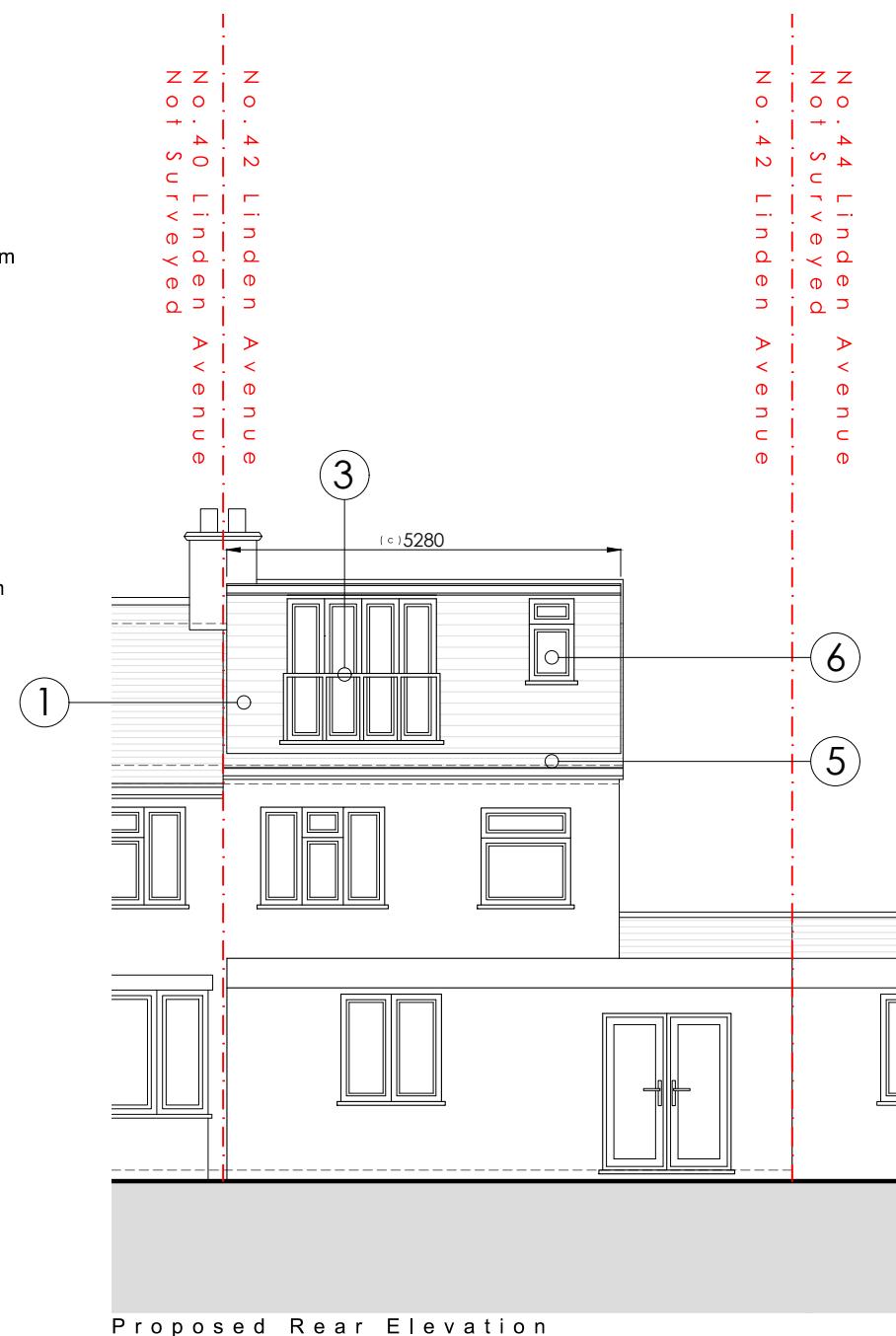
**Notes:** These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



INTERNAL GROSS AREA: 14.1 m<sup>2</sup>

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## Area Precedents

The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (Ref. 23965/APP/2013/346).

No. 87 – Ridge increased by 250mm with dormer and gable (Ref. 57345/APP/2017/3487).

No. 19 – Ridge height increase granted on appeal (Ref. 62245/APP/2017/1465).

## Calculation for roof volume

Hip to gable with rear dormer

## V1 - Rear Dormer

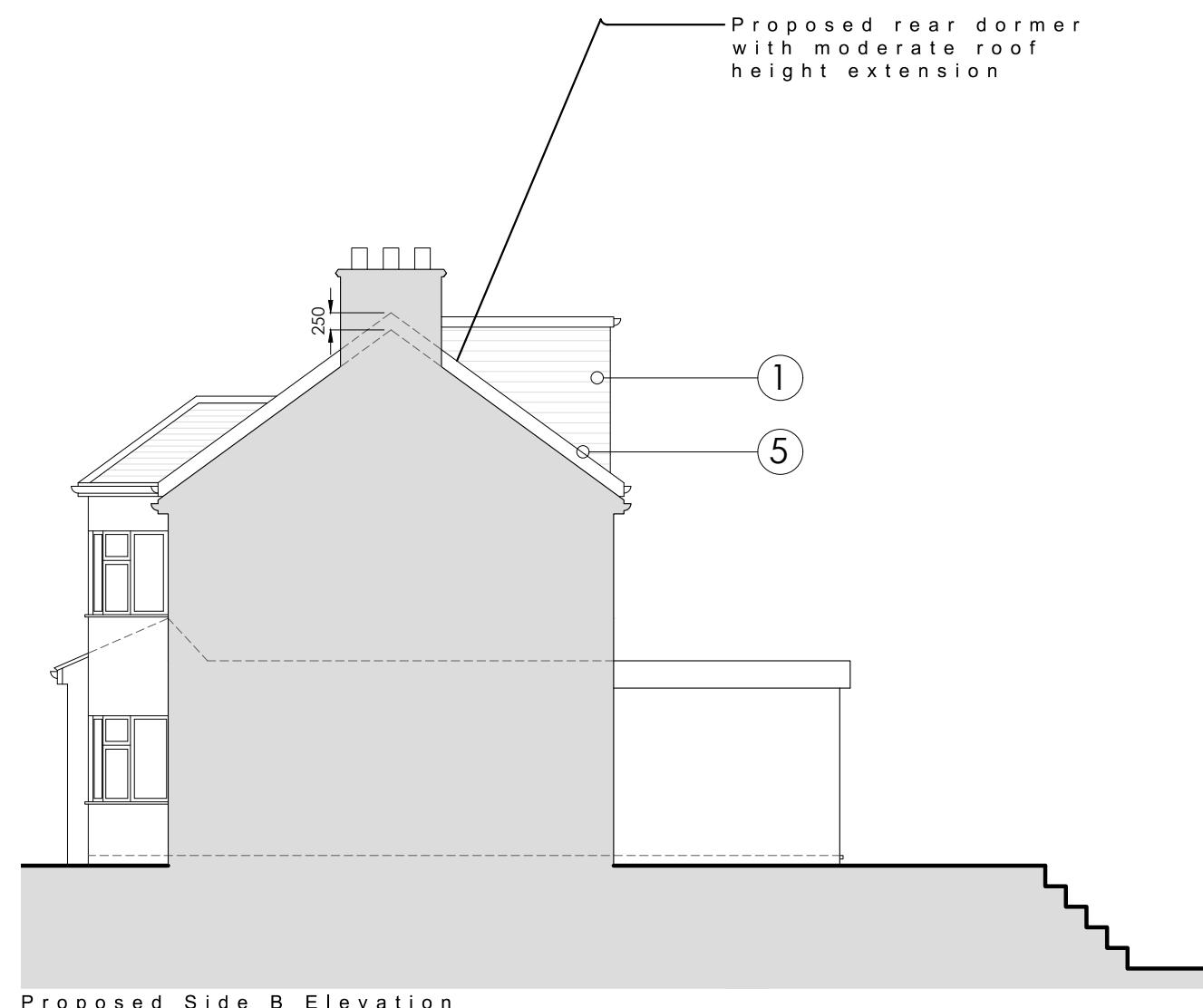
$$((a)2.3 \times (b)3.1 \times (c)5.3) / 2 = 18.9 \text{m}^3$$

## V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6 \text{m}^3$$

$$V1 + V2 = 18.9 + 7.6 = 26.5 \text{m}^3$$

26.5m<sup>3</sup> < 50m<sup>3</sup> volume for rear dormer



STAGE No : 3

STAGE TITLE : Planning

Rev:00

DRAWING SCALE: 1:100 @ A3

DRAWING Ref: P E 2

DRAWING TITLE : Proposed Elevations 2

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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1 : 100 SCALE BAR



KEY



EXISTING CONSTRUCTION



PROPOSED CONSTRUCTION

INTERNAL GROSS AREA: 14.1 m<sup>2</sup>

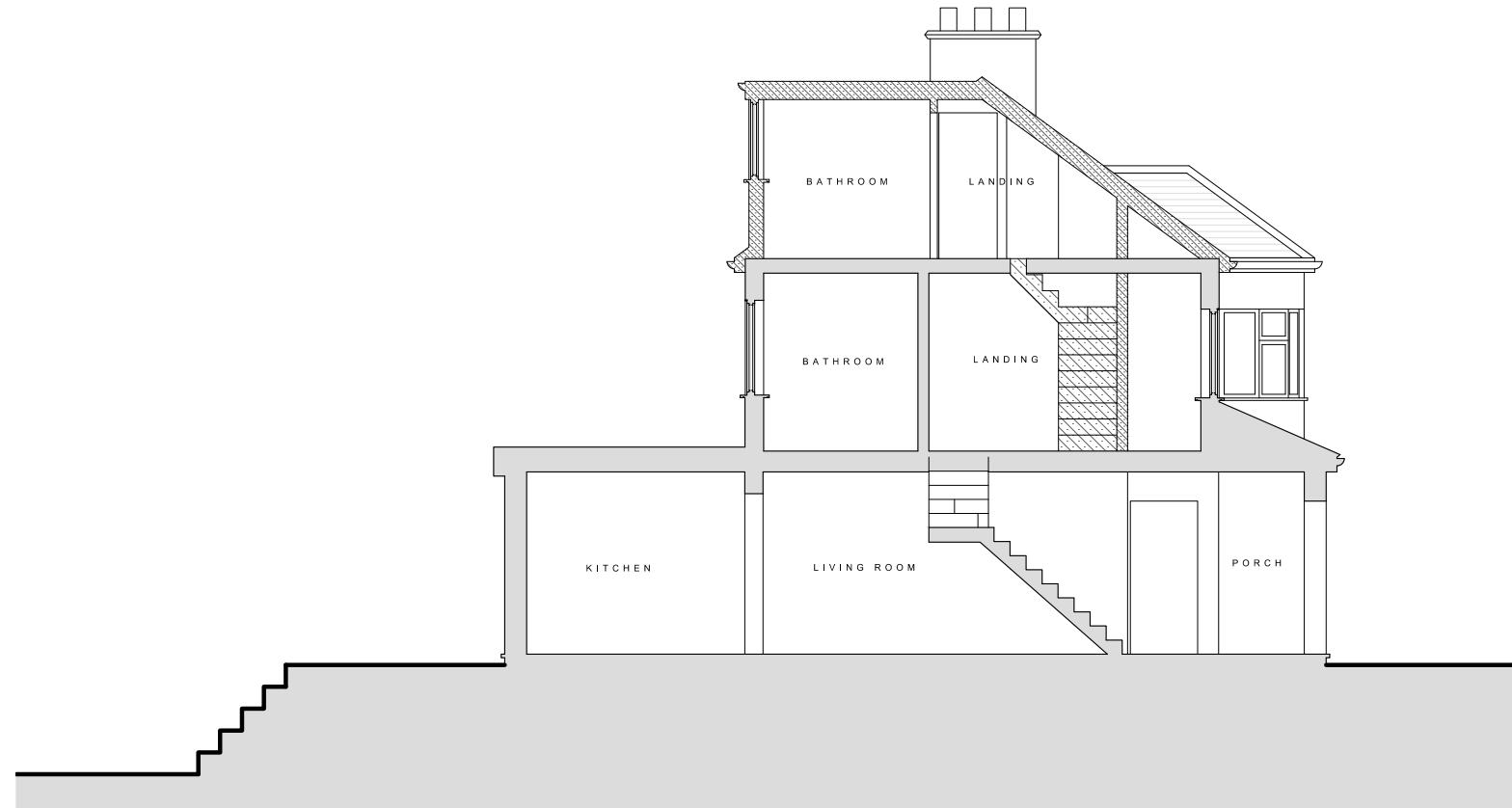
#### Area Precedents

The following examples on Linden Avenue illustrate similar roof extensions where ridge height increases were approved:

No. 76 – Loft conversion with ridge raised to achieve 2m ceiling height with ridge increase in height (Ref. 23965/APP/2013/346).

No. 87 – Ridge increased by 250mm with dormer and gable (Ref. 57345/APP/2017/3487).

No. 19 – Ridge height increase granted on appeal (Ref. 62245/APP/2017/1465).



STAGE No : 3

STAGE TITLE : Planning

Rev: 00

DRAWING SCALE: 1:100 @ A3

DRAWING Ref: PS1

DRAWING TITLE : Proposed Section 1

DATE : 2025.08.28

PROJECT : 42 Linden Avenue, Loft Conv.

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