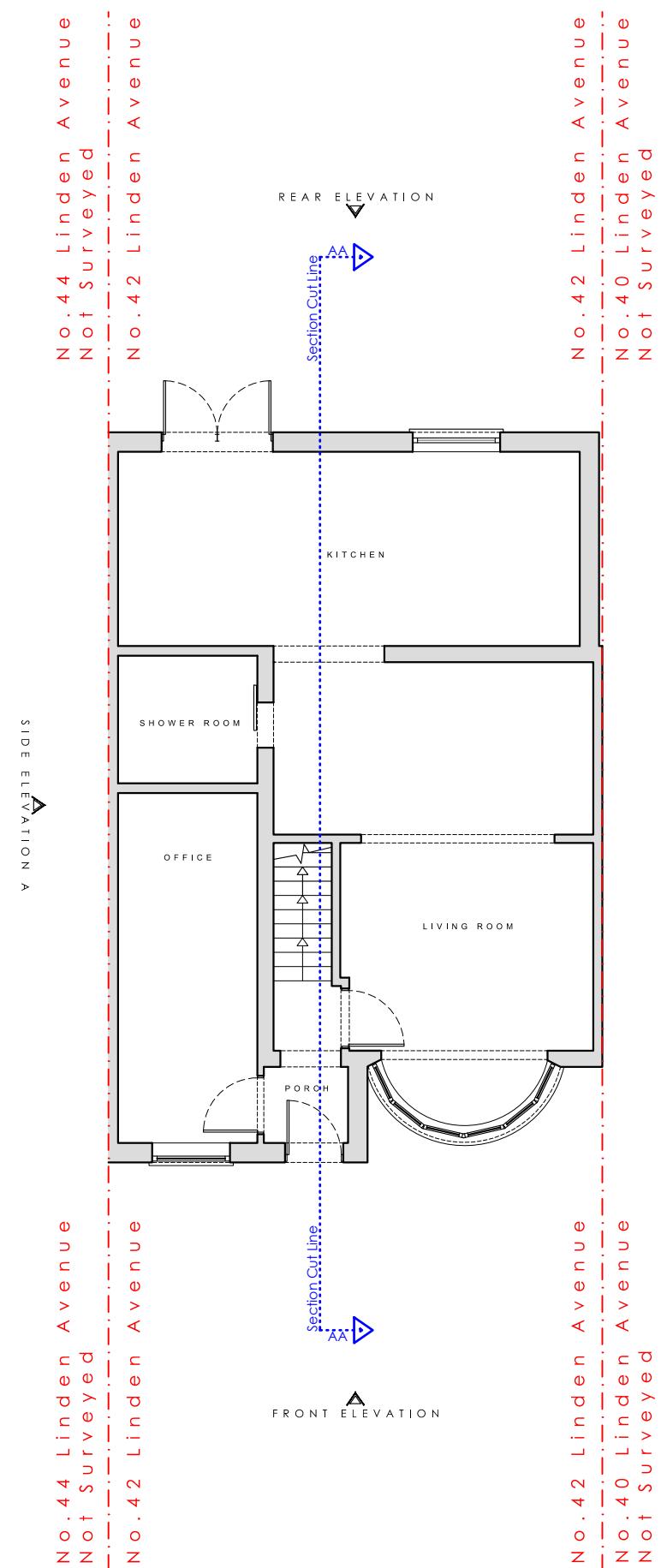




KEY



SIDE ELEVATION

FRONT ELEVATION

REAR ELEVATION

STAGE No : 3

STAGE TITLE : Planning

Rev: 03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: E1

DRAWING TITLE : Existing Ground Floor Plan

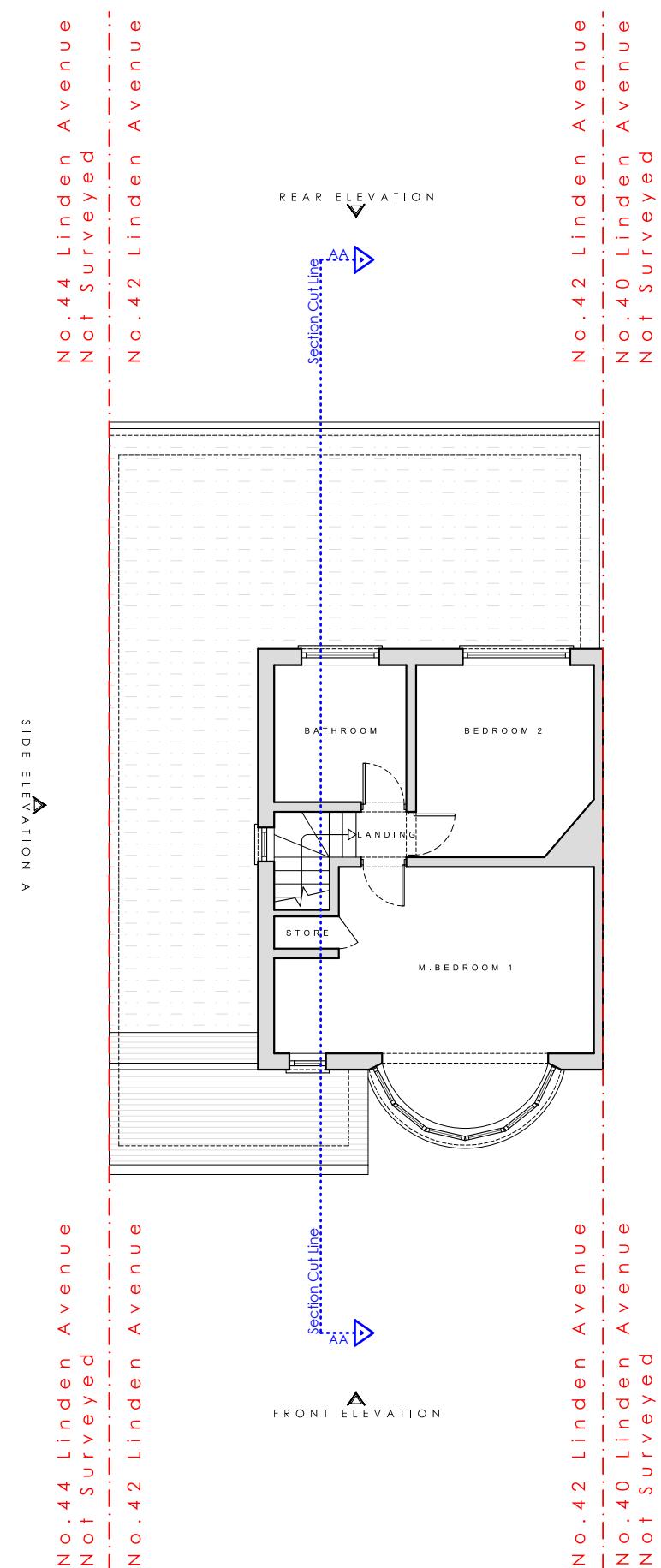
DATE : 2025.11.17 PROJECT : 42 Linden Avenue, Loft Conv.

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KEY



STAGE No : 3

STAGE TITLE : Planning

Rev: 03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: E2

DRAWING TITLE : Existing First Floor Plan

DATE : 2025.11.17 PROJECT : 42 Linden Avenue, Loft Conv.

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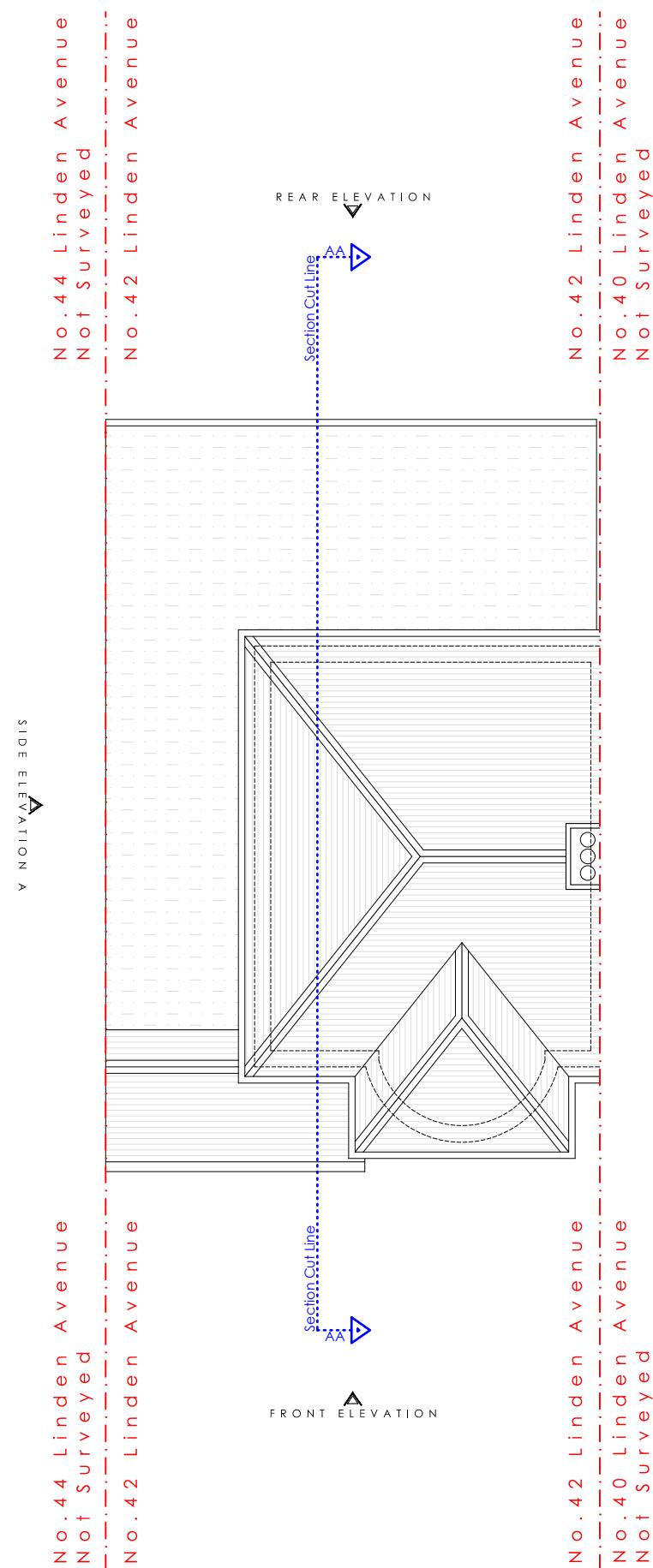
1 : 100 SCALE BAR



COMPASS



KEY



STAGE No : 3

STAGE TITLE : Planning

Rev: 03

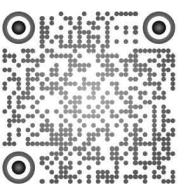
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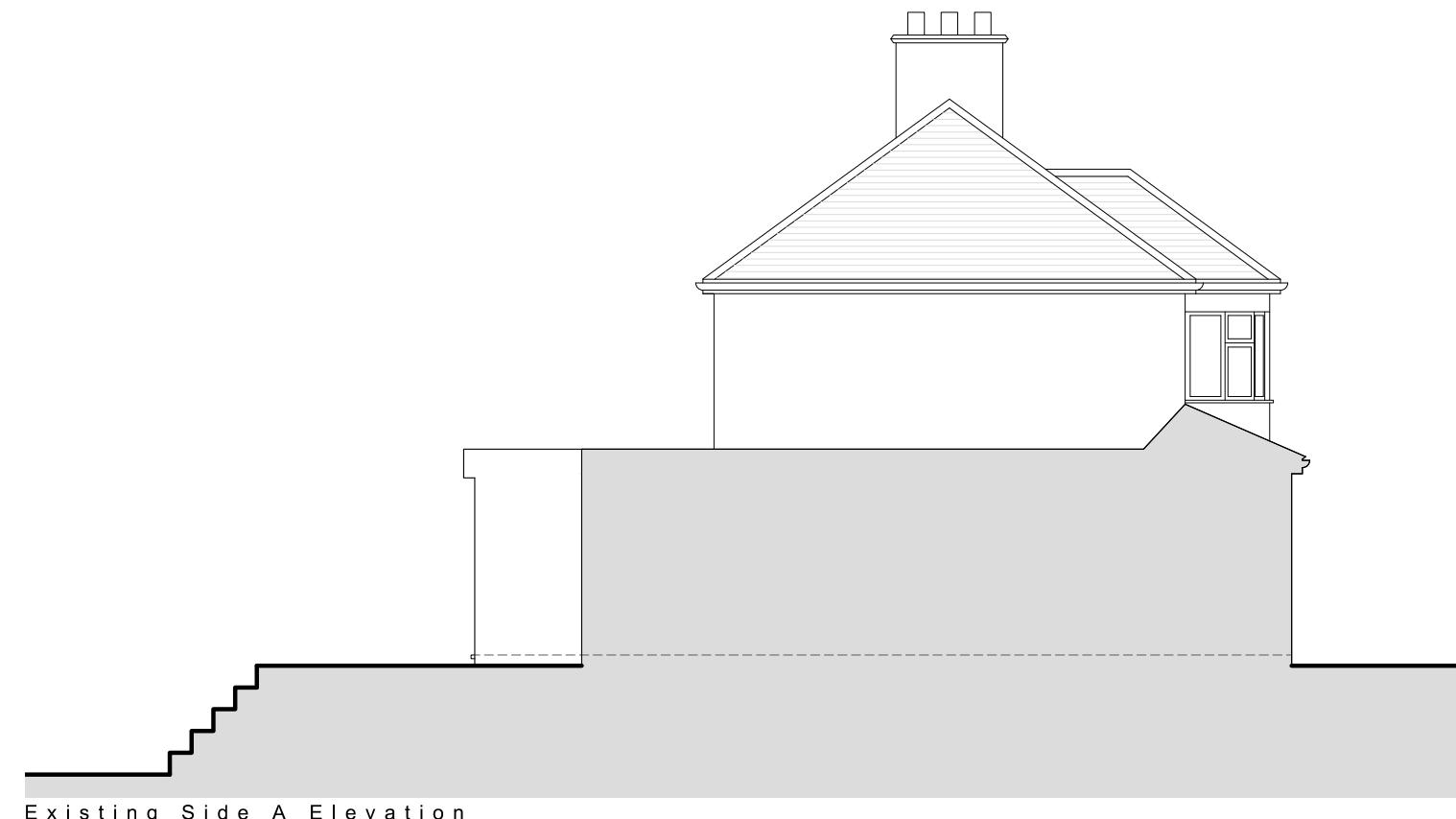
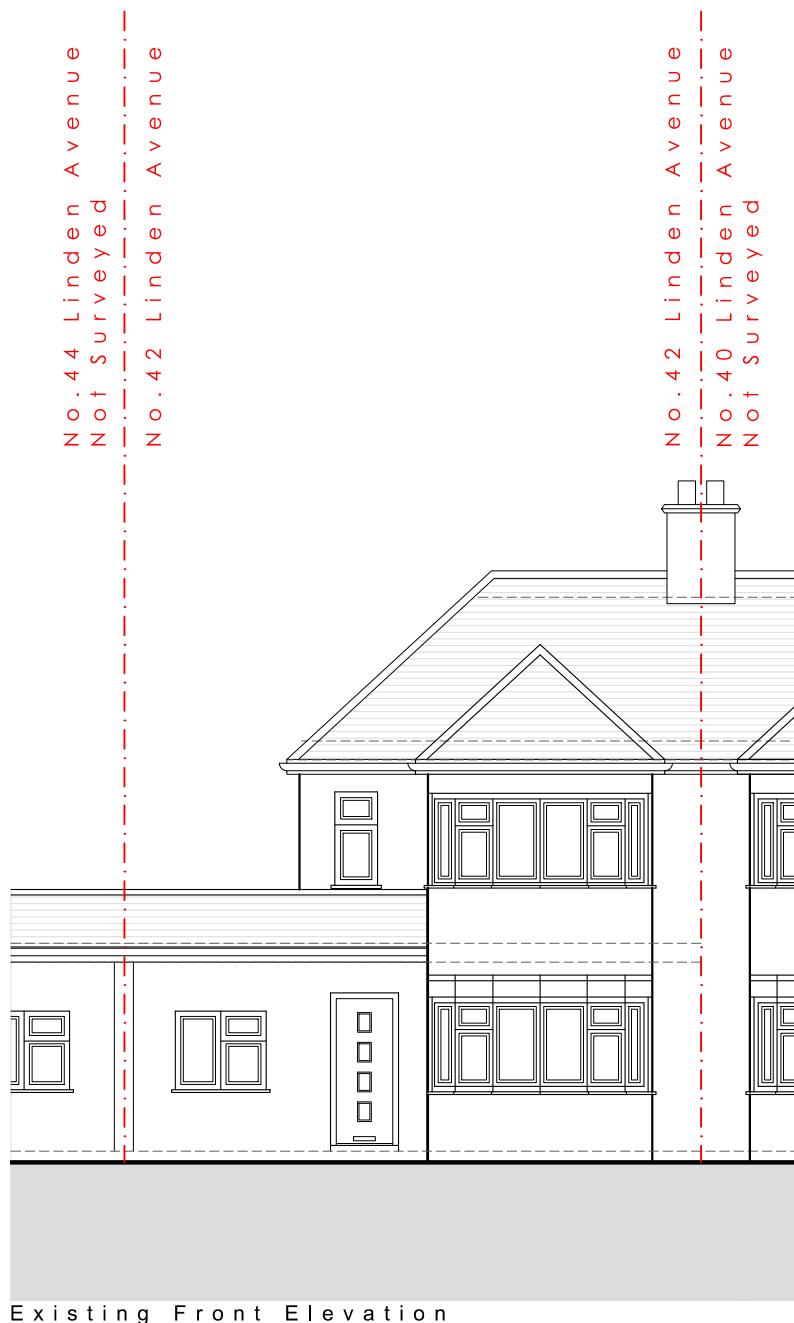
DRAWING TITLE : Existing Roof Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

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STAGE No : 3

STAGE TITLE : Planning

Rev: 03

DRAWING SCALE: 1:100 @ A3

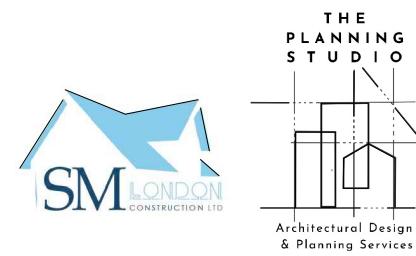
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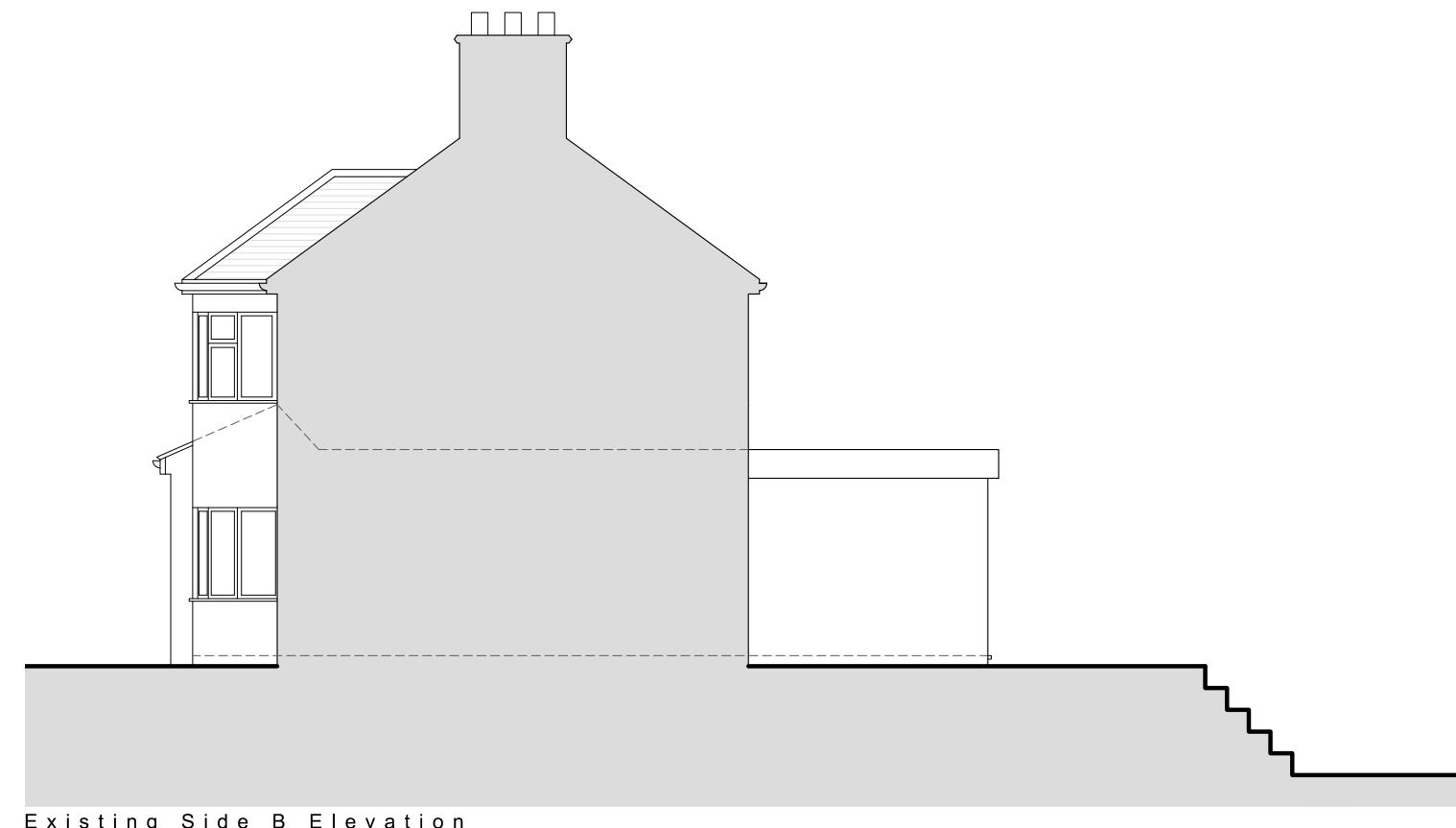
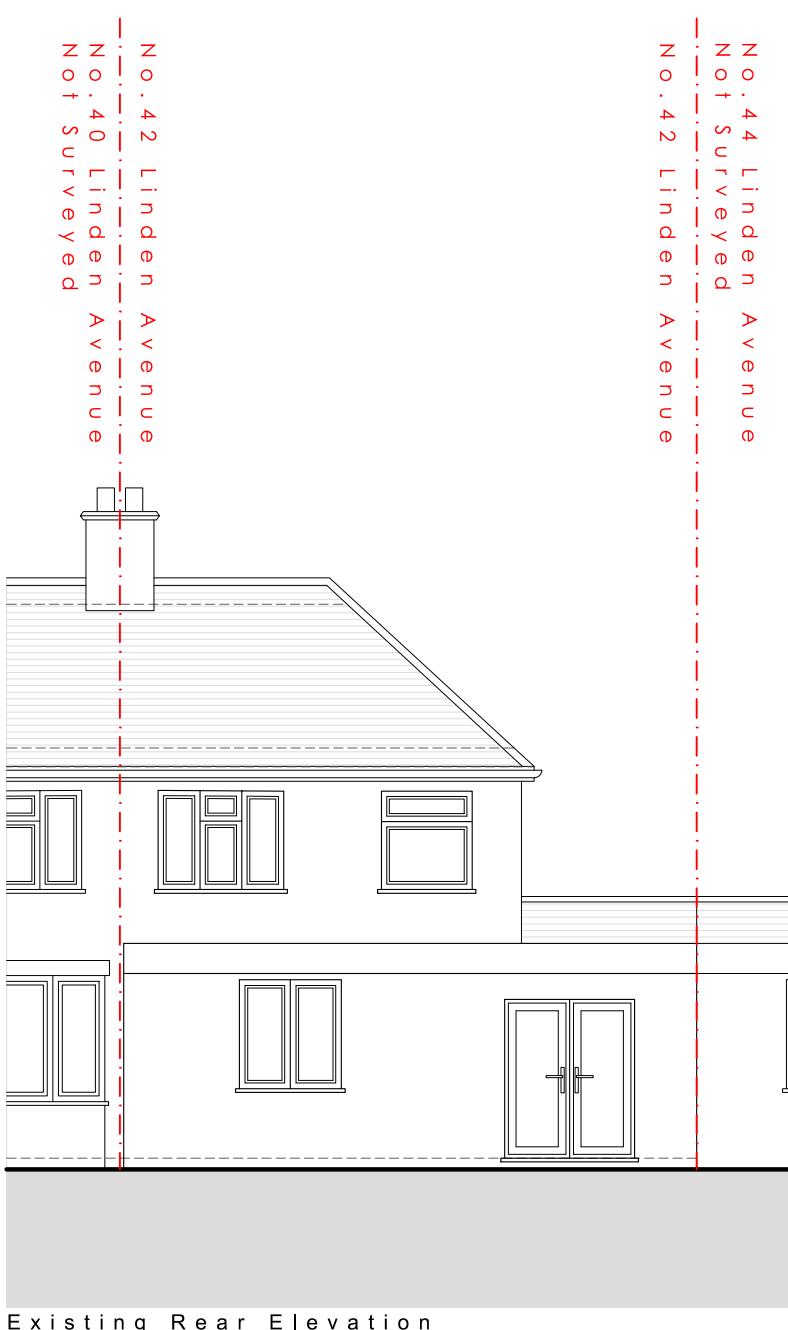
DRAWING TITLE : Existing Elevations 1

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

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STAGE No : 3

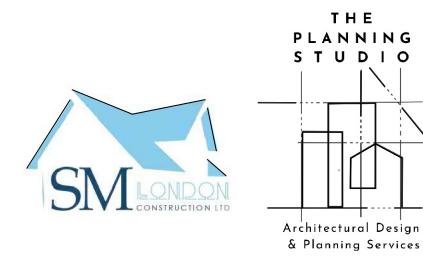
STAGE TITLE : Planning Rev: 03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: EEE 2

DRAWING TITLE : Existing Elevations 2

DATE : 2025.11.17 PROJECT : 42 Linden Avenue, Loft Conv.

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1 : 100 SCALE BAR



KEY



STAGE No : 3

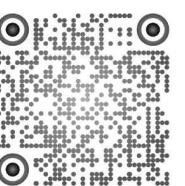
STAGE TITLE : Planning Rev: 03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: E S 1

DRAWING TITLE : Existing Section 1

DATE : 2025.11.17 PROJECT : 42 Linden Avenue, Loft Conv.

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KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume

Hip to gable with rear dormer

V1 - Rear Dormer

$$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9m^3$$

V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 22.5m^3$$

STAGE No : 3

STAGE TITLE : Planning

Rev: 03

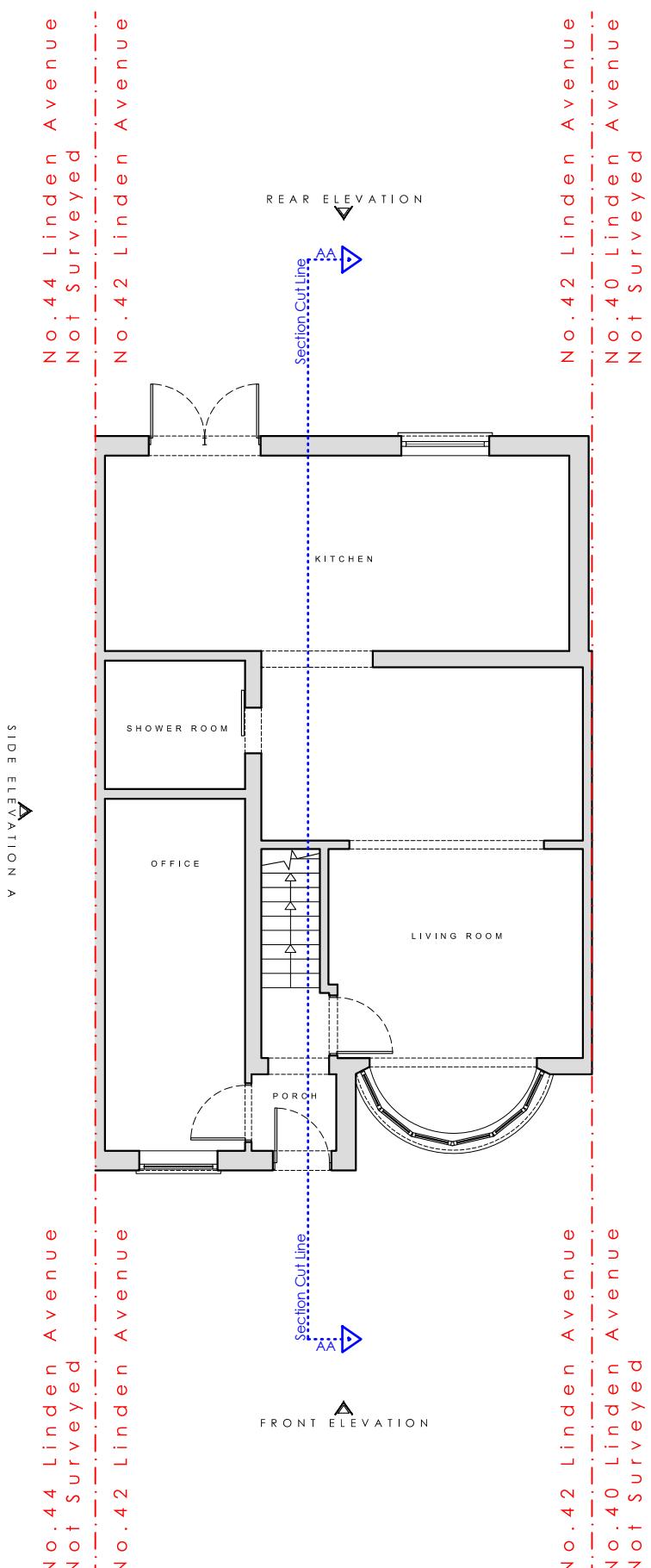
DRAWING SCALE: 1:100 @ A3 DRAWING Ref: P1

DRAWING TITLE : Proposed Ground Floor Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

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No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.





KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

DEMOLITION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume

Hip to gable with rear dormer

V1 - Rear Dormer

$$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9m^3$$

V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 22.5m^3$$

STAGE No : 3

STAGE TITLE : Planning

Rev: 03

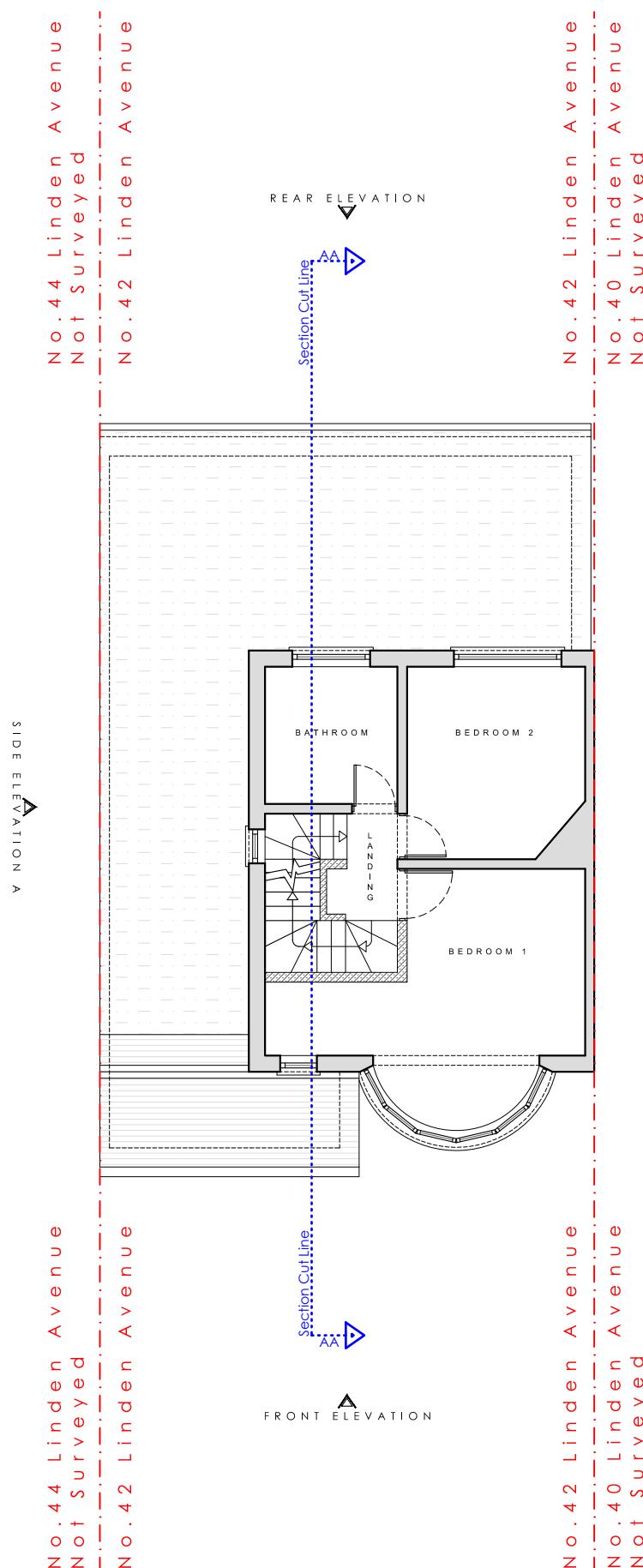
DRAWING SCALE: 1:100 @ A3 DRAWING Ref: P2

DRAWING TITLE : Proposed First Floor Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

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No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.





KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume

Hip to gable with rear dormer

V1 - Rear Dormer

$$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9m^3$$

V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 22.5m^3$$

STAGE No : 3

STAGE TITLE : Planning

Rev: 03

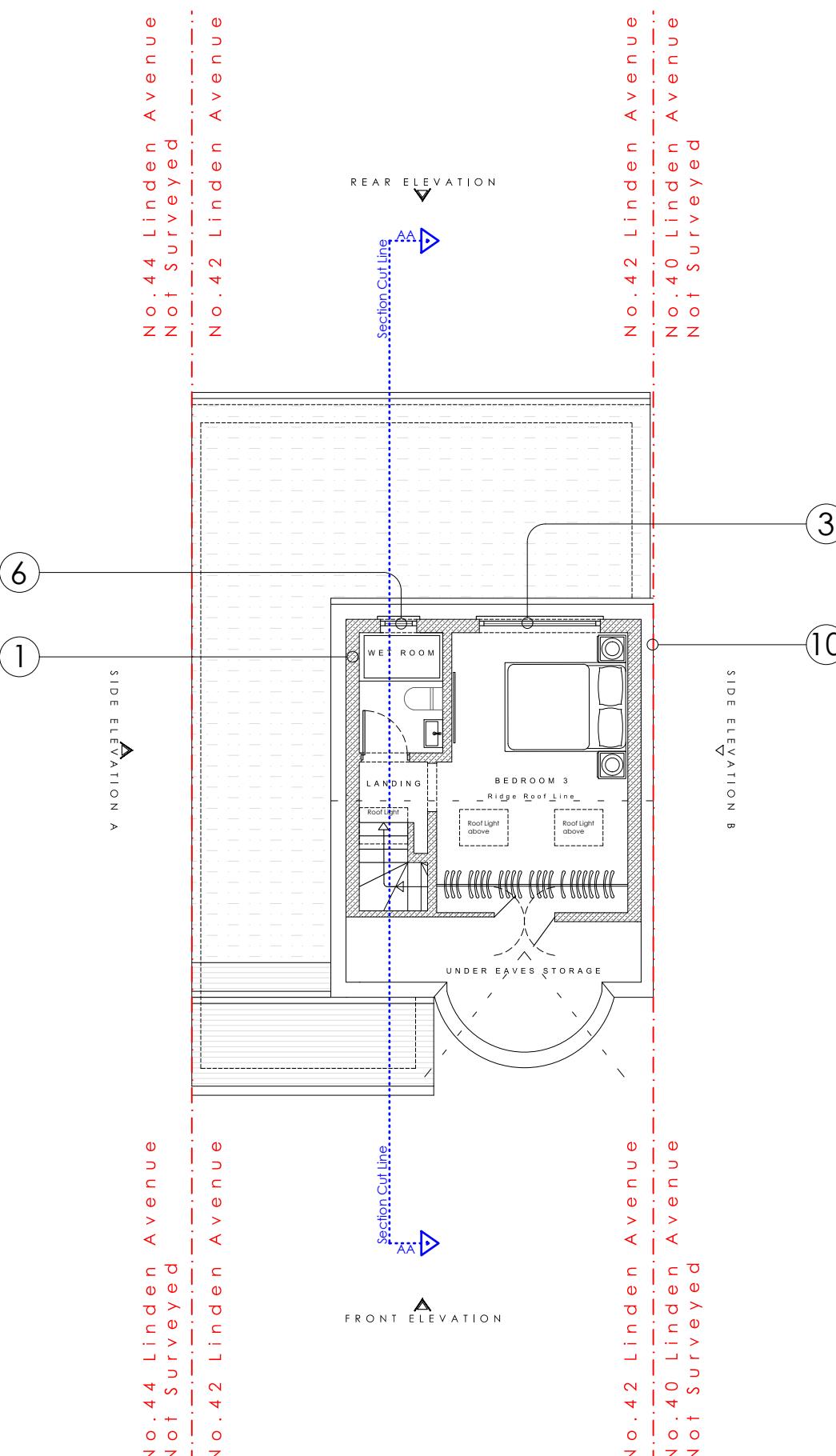
DRAWING SCALE: 1:100 @ A3 DRAWING Ref: P3

DRAWING TITLE : Proposed Second Floor Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

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3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.





KEY

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume

Hip to gable with rear dormer

V1 - Rear Dormer

$$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9m^3$$

V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$V1 + V2 = 18.9 + 7.6 = 22.5m^3$$

STAGE No : 3

STAGE TITLE : Planning

Rev: 03

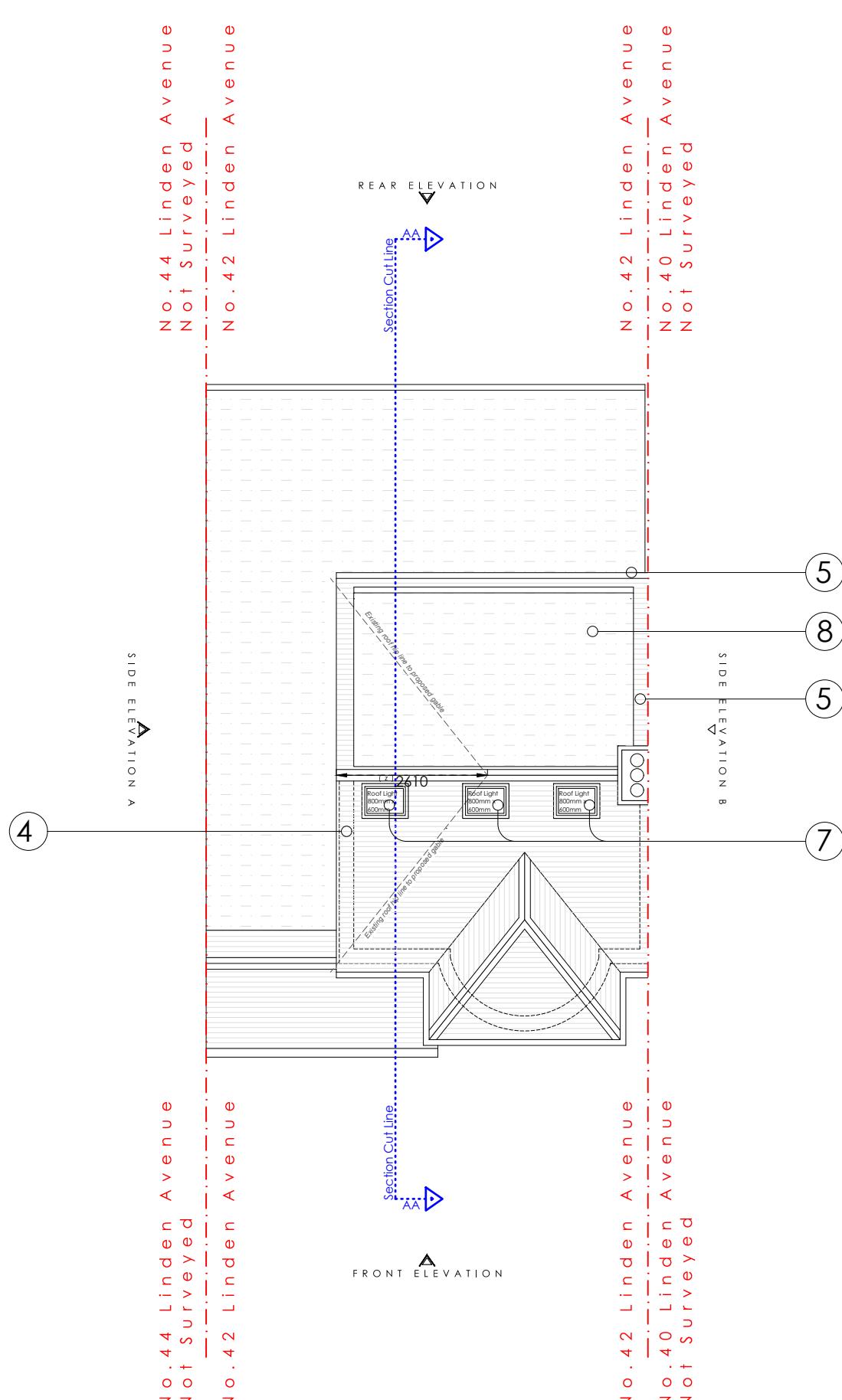
DRAWING SCALE: 1:100 @ A3 DRAWING Ref: P4

DRAWING TITLE : Proposed Roof Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

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No. KEY:

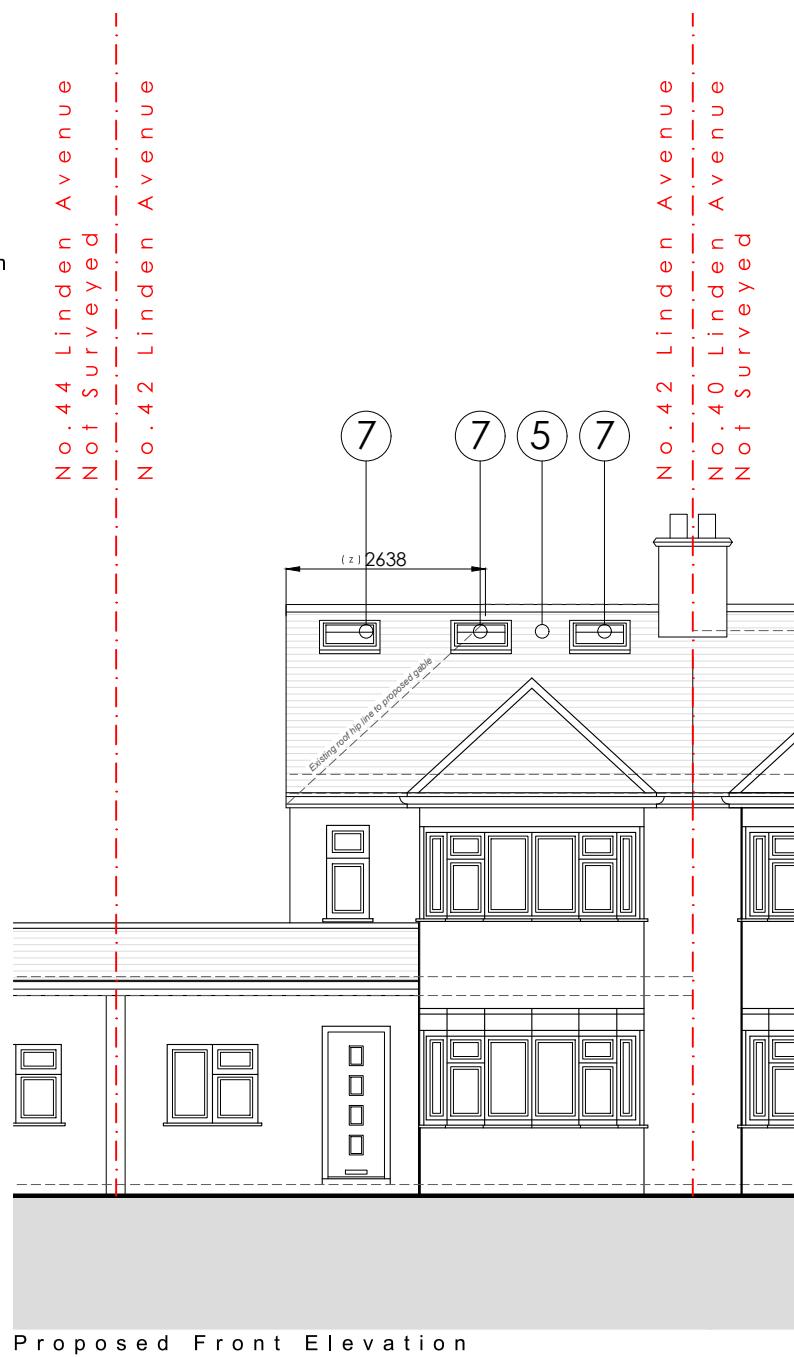
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2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.



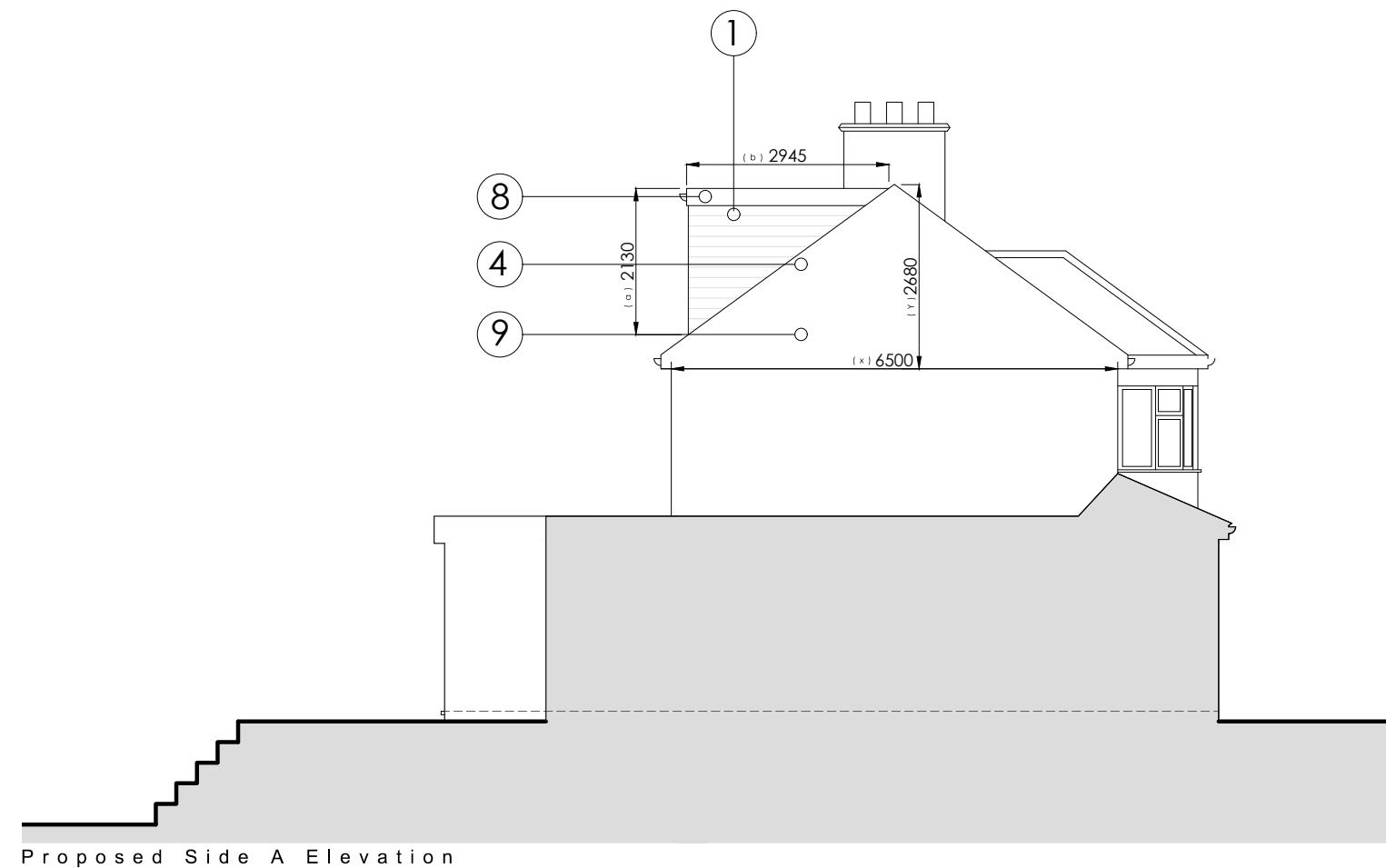
INTERNAL GROSS AREA ADDED: 12 m²

No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.



Proposed Front Elevation



Proposed Side A Elevation

STAGE No : 3

STAGE TITLE : Planning

Rev: 03

DRAWING SCALE: 1:100 @ A3

DRAWING Ref: P E 1

DRAWING TITLE : Proposed Elevations 1

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

Calculation for roof volume
Hip to gable with rear dormer

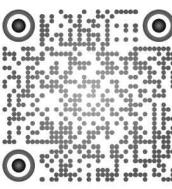
V1 - Rear Dormer

$$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9 \text{m}^3$$

V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6 \text{m}^3$$

$$V1 + V2 = 18.9 + 7.6 = 22.5 \text{m}^3$$

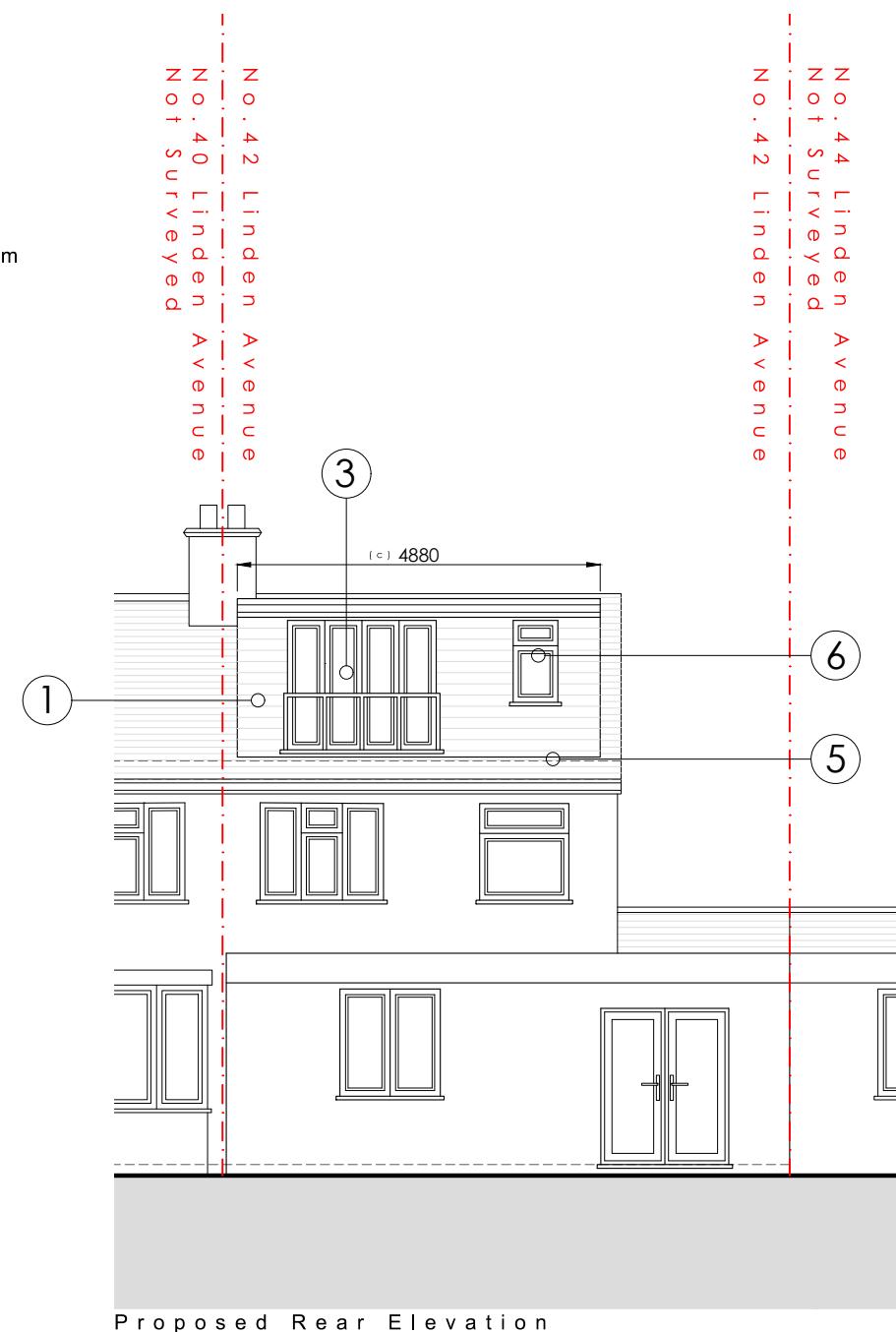




INTERNAL GROSS AREA ADDED:

No. KEY

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter system to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.



Proposed Rear Elevation

Calculation for roof volume

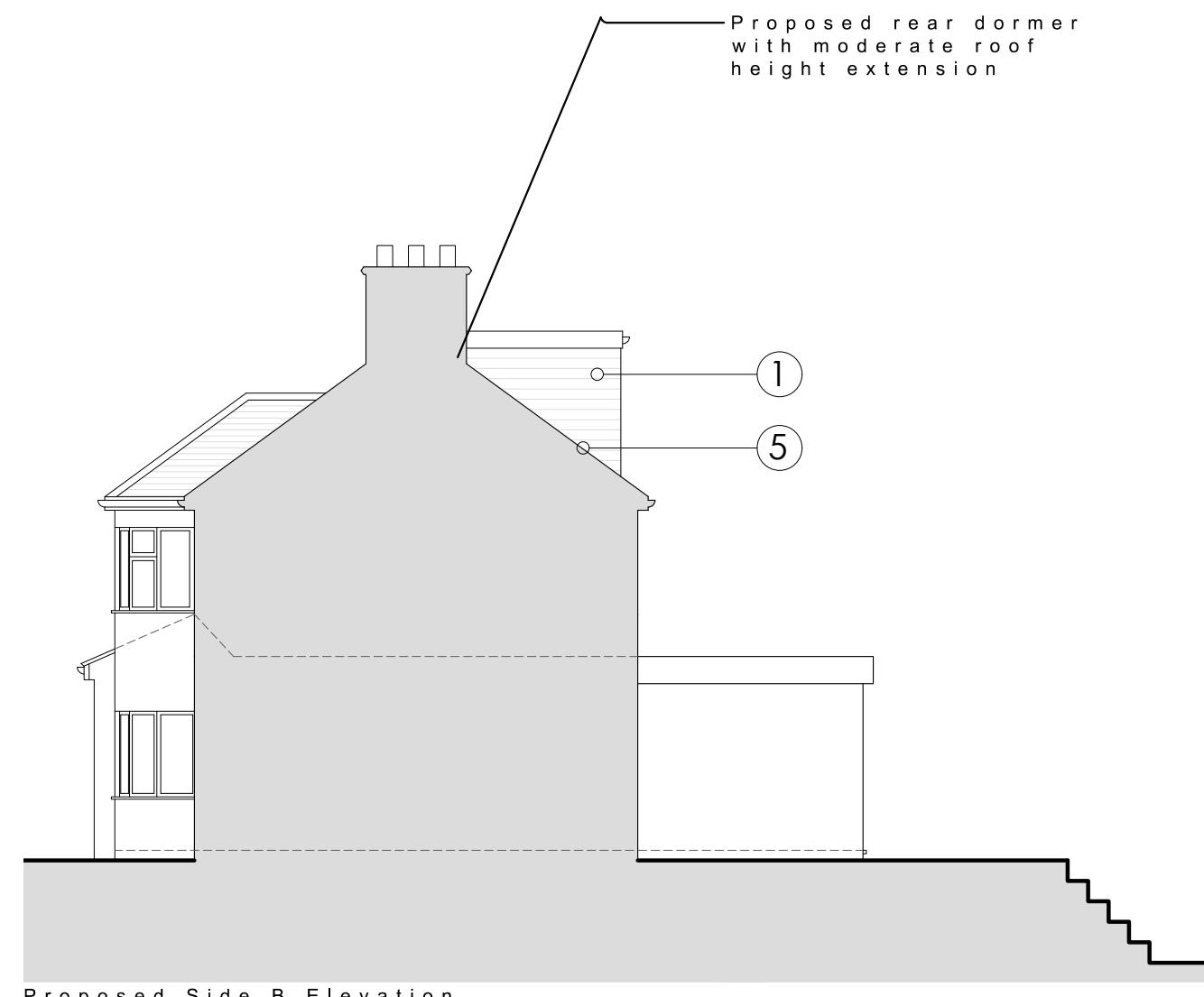
V1 - Rear Dormer

$$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9\text{m}^3$$

V2 - Hip to Gable

$$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$$

$$\mathbf{V1 + V2 = 18.9 + 7.6 = 22.5m^3}$$



STAGE No : 3

STAGE TITLE : Planning

Revy:03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: PE

D A T E : 2 0 2 5 . 1 1 . 1 7

PROJECT: 42 Linden Avenue, Loft Conv.

DRAWING TITLE : Proposed Elevations 2

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1 : 100 SCALE BAR



KEY

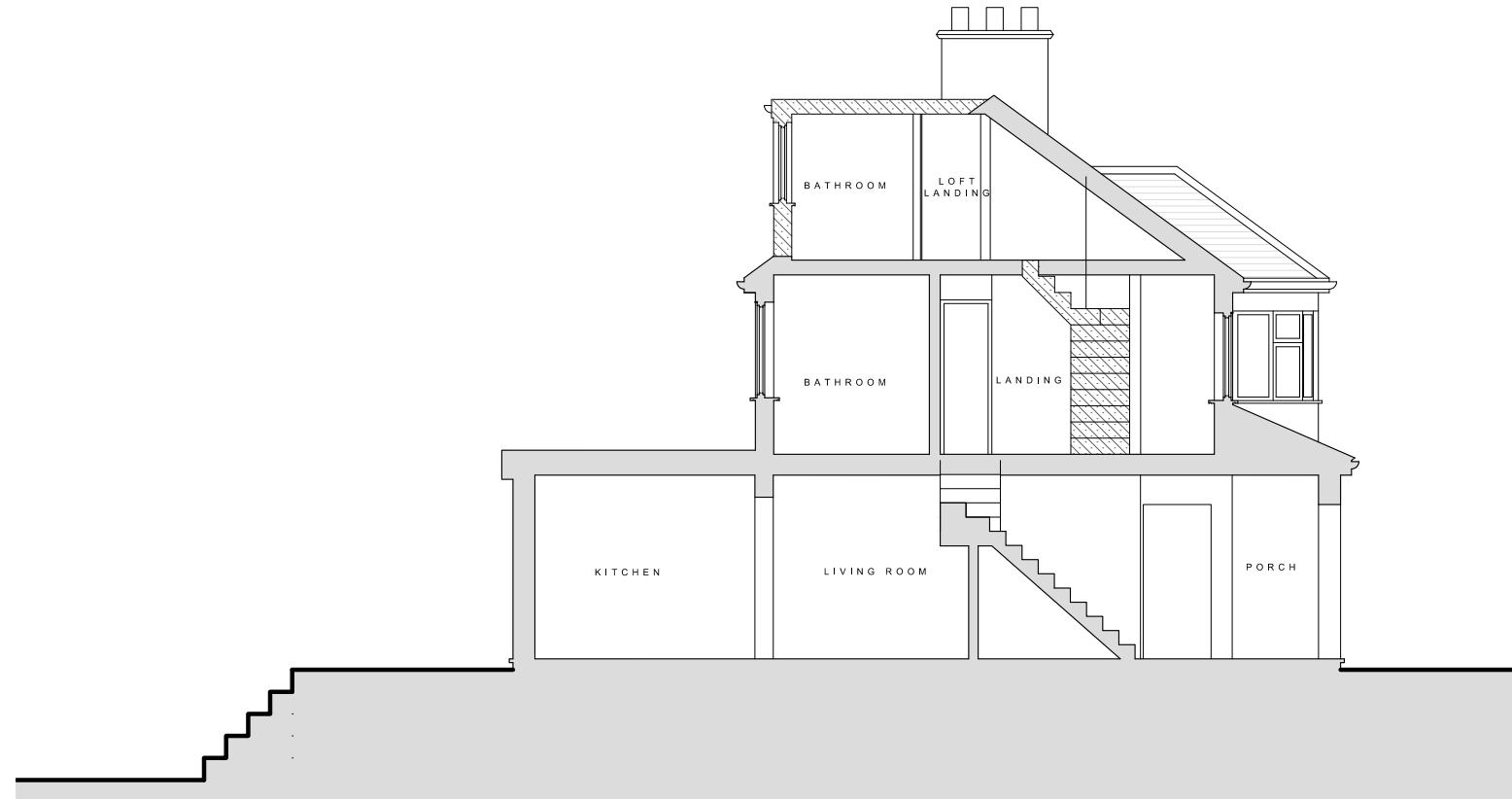


EXISTING CONSTRUCTION



PROPOSED CONSTRUCTION

INTERNAL GROSS AREA ADDED: 12 m²



STAGE No : 3

STAGE TITLE : Planning Rev: 03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref: PS1

DRAWING TITLE : Proposed Section 1

DATE : 2025.11.17 PROJECT : 42 Linden Avenue, Loft Conv.

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