

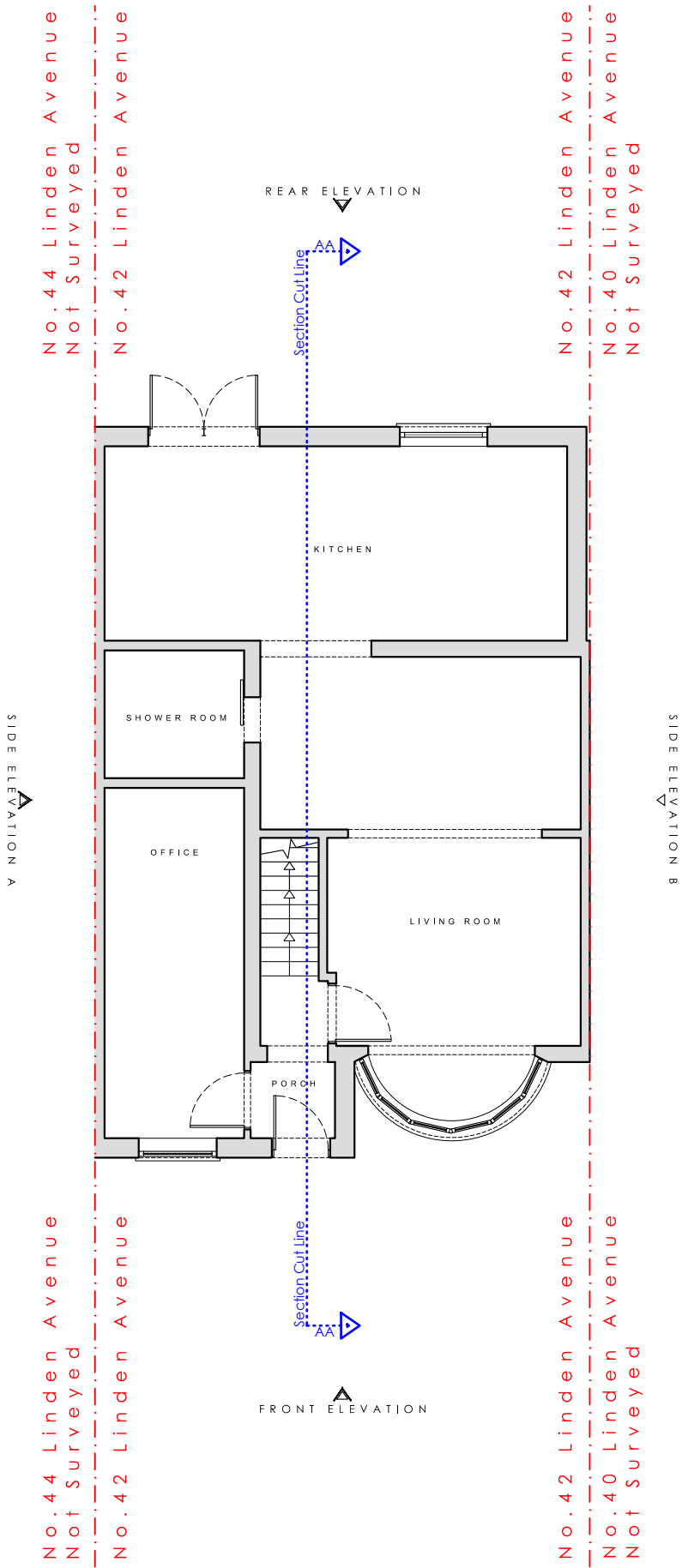
1 : 1 0 0 S C A L E B A R



K E Y



C O M P A S S



STAGE No : 3

STAGE TITLE : Planning Rev:03

DRAWING SCALE: 1:100@A3 DRAWING Ref:E1 DRAWING TITLE : Existing Ground Floor Plan

DATE : 2025.11.17 PROJECT : 42 Linden Avenue ,Loft Conv.

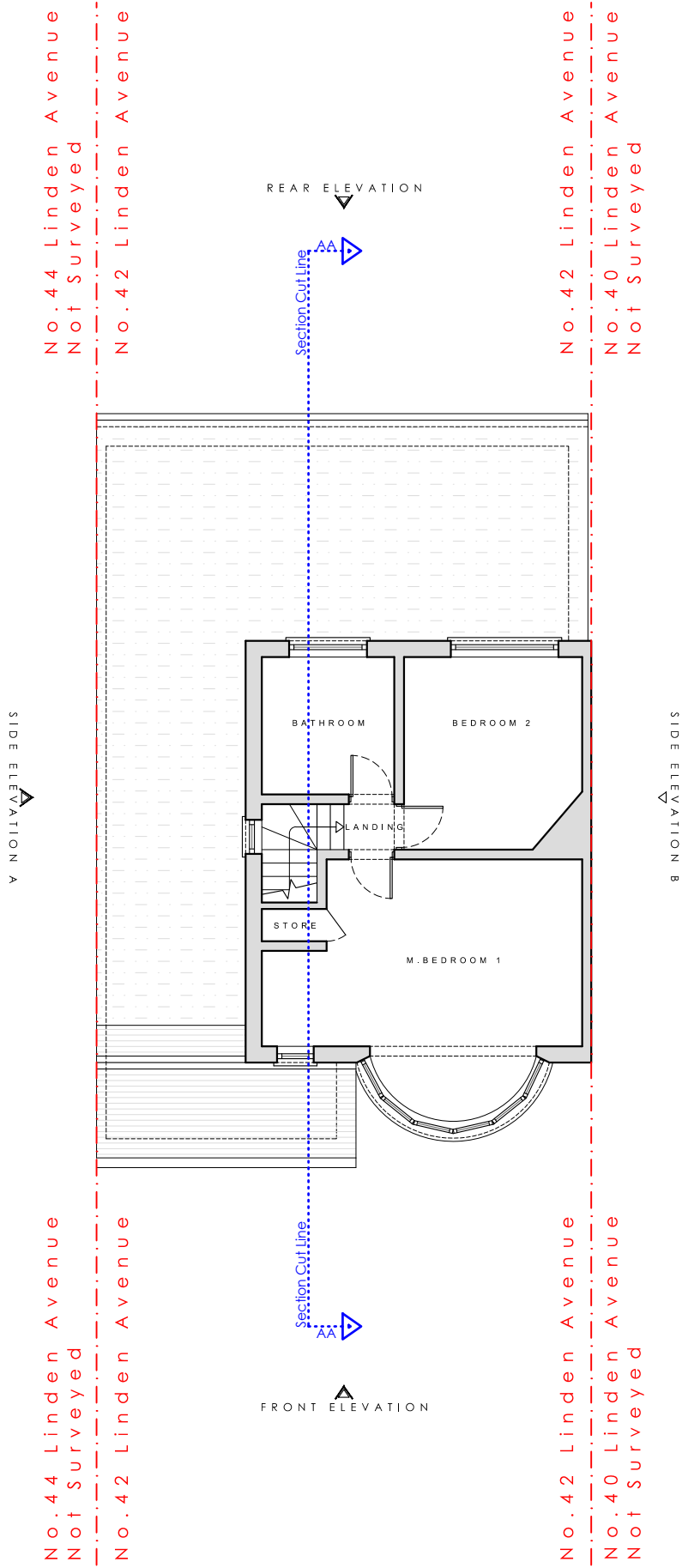
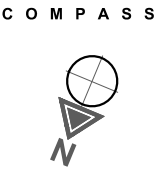
Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.





K E Y

EXISTING
CONSTRUCTION



STAGE No : 3
STAGE TITLE : Planning **Rev:03**
DRAWING SCALE: 1:100@A3 **DRAWING Ref:E2** **DRAWING TITLE : Existing First Floor Plan**
DATE : 2025.11.17 **PROJECT : 42 Linden Avenue, Loft Conv.**

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



1 : 1 0 0 S C A L E B A R



K E Y



C O M P A S S



STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

DRAWING Ref:E3

DRAWING TITLE : Existing Roof Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.

SIDE ELEVATION A

SIDE ELEVATION B

REAR ELEVATION

FRONT ELEVATION

No.44 Linden Avenue
Not Surveyed

No.42 Linden Avenue

No.42 Linden Avenue

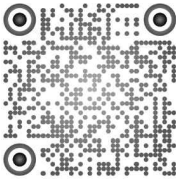
No.40 Linden Avenue
Not Surveyed

No.44 Linden Avenue
Not Surveyed

No.42 Linden Avenue

No.42 Linden Avenue

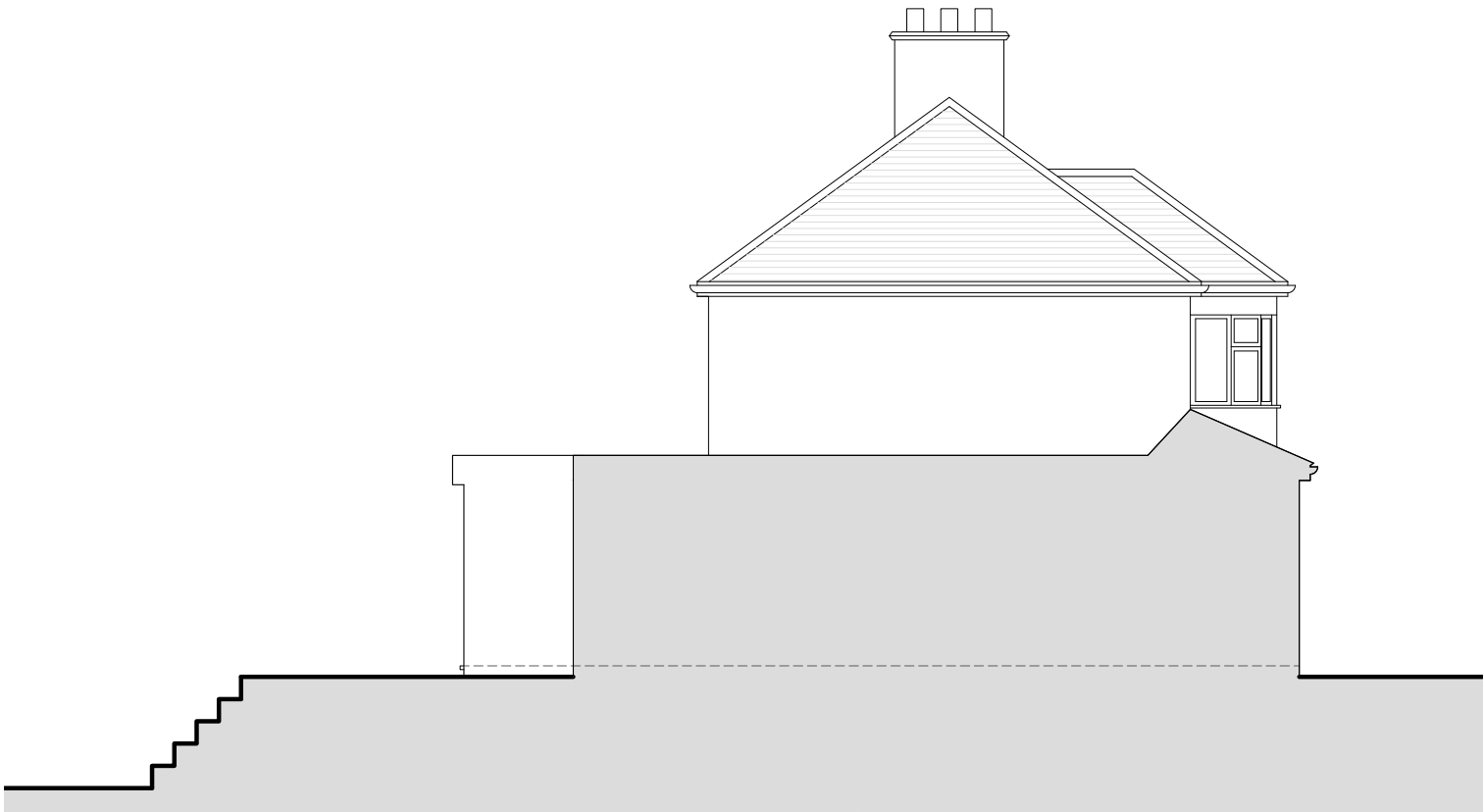
No.40 Linden Avenue
Not Surveyed



1 : 1 0 0 S C A L E B A R



Existing Front Elevation



Existing Side A Elevation

STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

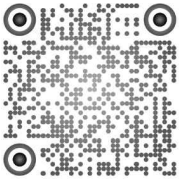
DRAWING Ref:EE1

DRAWING TITLE : Existing Elevations 1

DATE : 2025.11.17

PROJECT : 42 Linden Avenue , Loft Conv .

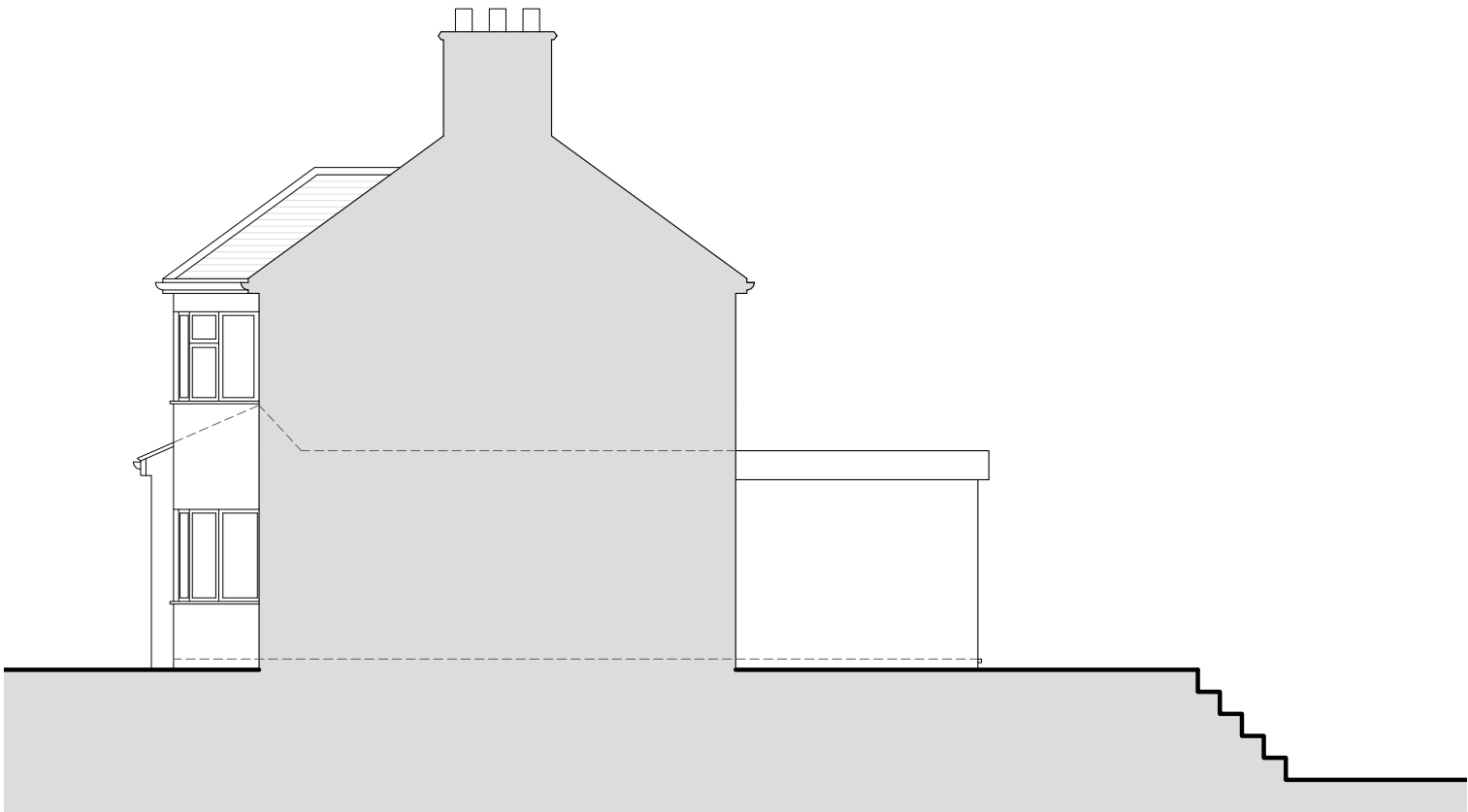
Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



1 : 1 0 0 S C A L E B A R



Existing Rear Elevation



Existing Side B Elevation

STAGE No : 3

STAGE TITLE : Planning **Rev:03**

DRAWING SCALE: 1:100 @ A3 **DRAWING Ref:EE2** **DRAWING TITLE : Existing Elevations 2**

DATE : 2025.11.17 **PROJECT : 42 Linden Avenue, Loft Conv.**

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



1 : 1 0 0 S C A L E B A R



K E Y



STAGE No : 3

STAGE TITLE : Planning Rev:03

DRAWING SCALE: 1:100 @ A3 DRAWING Ref:ES1 DRAWING TITLE : Existing Section 1

DATE : 2 0 2 5 . 1 1 . 1 7 PROJECT : 4 2 L i n d e n A v e n u e , L o f t C o n v .

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



1 : 1 0 0 S C A L E B A R



K E Y



INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume
Hip to gable with rear dormer

V1 - Rear Dormer
 $((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9\text{m}^3$

V2 - Hip to Gable
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

V1 + V2 = 18.9 + 7.6 = 22.5m³

STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

DRAWING Ref:P1

DRAWING TITLE : Proposed Ground Floor Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

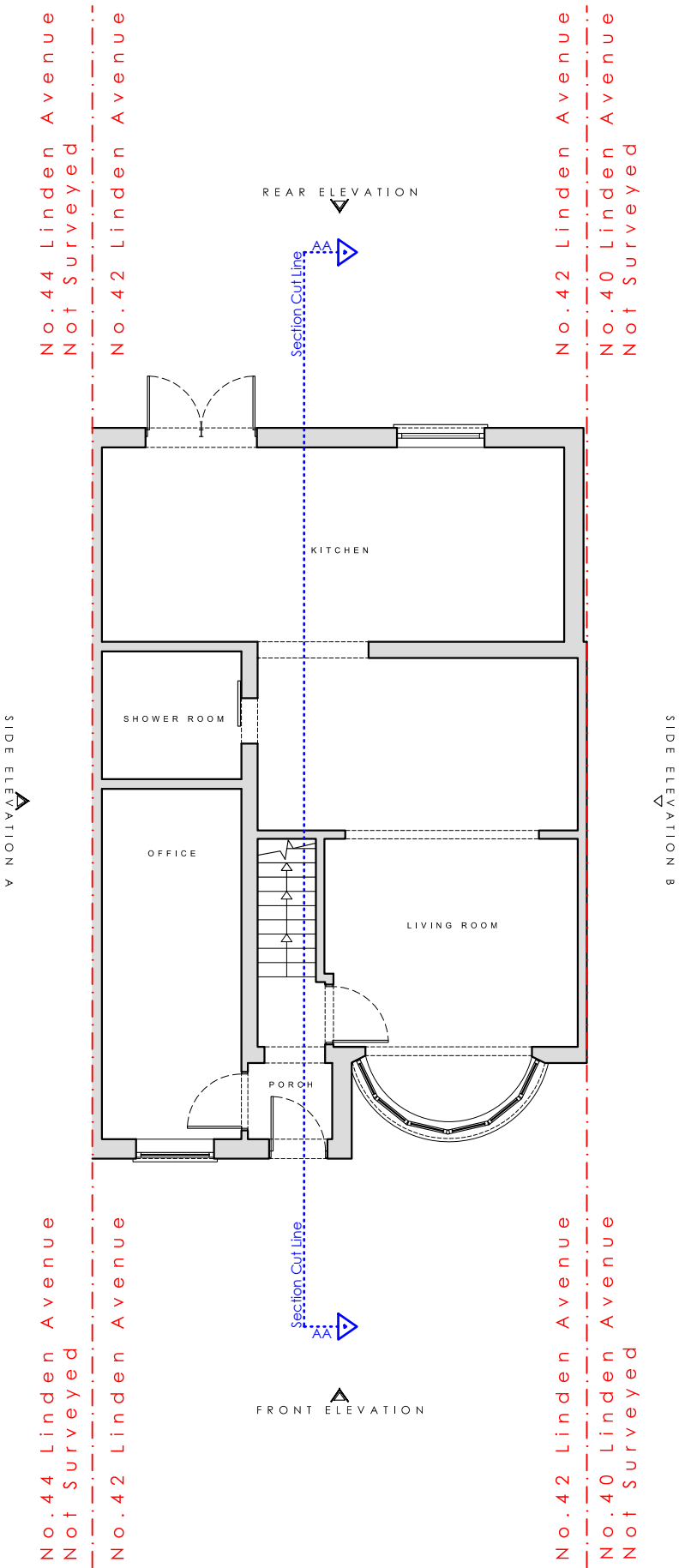
Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.

C O M P A S S



No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter sytem to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.



1 : 1 0 0 S C A L E B A R



K E Y



INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume
Hip to gable with rear dormer

V1 - Rear Dormer
 $((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9\text{m}^3$

V2 - Hip to Gable
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

V1 + V2 = 18.9 + 7.6 = 22.5m³

C O M P A S S



No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter sytem to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.

STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

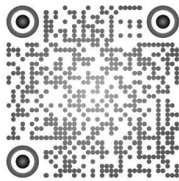
DRAWING Ref:P2

DRAWING TITLE : Proposed First Floor Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.





K E Y

EXISTING CONSTRUCTION

PROPOSED CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

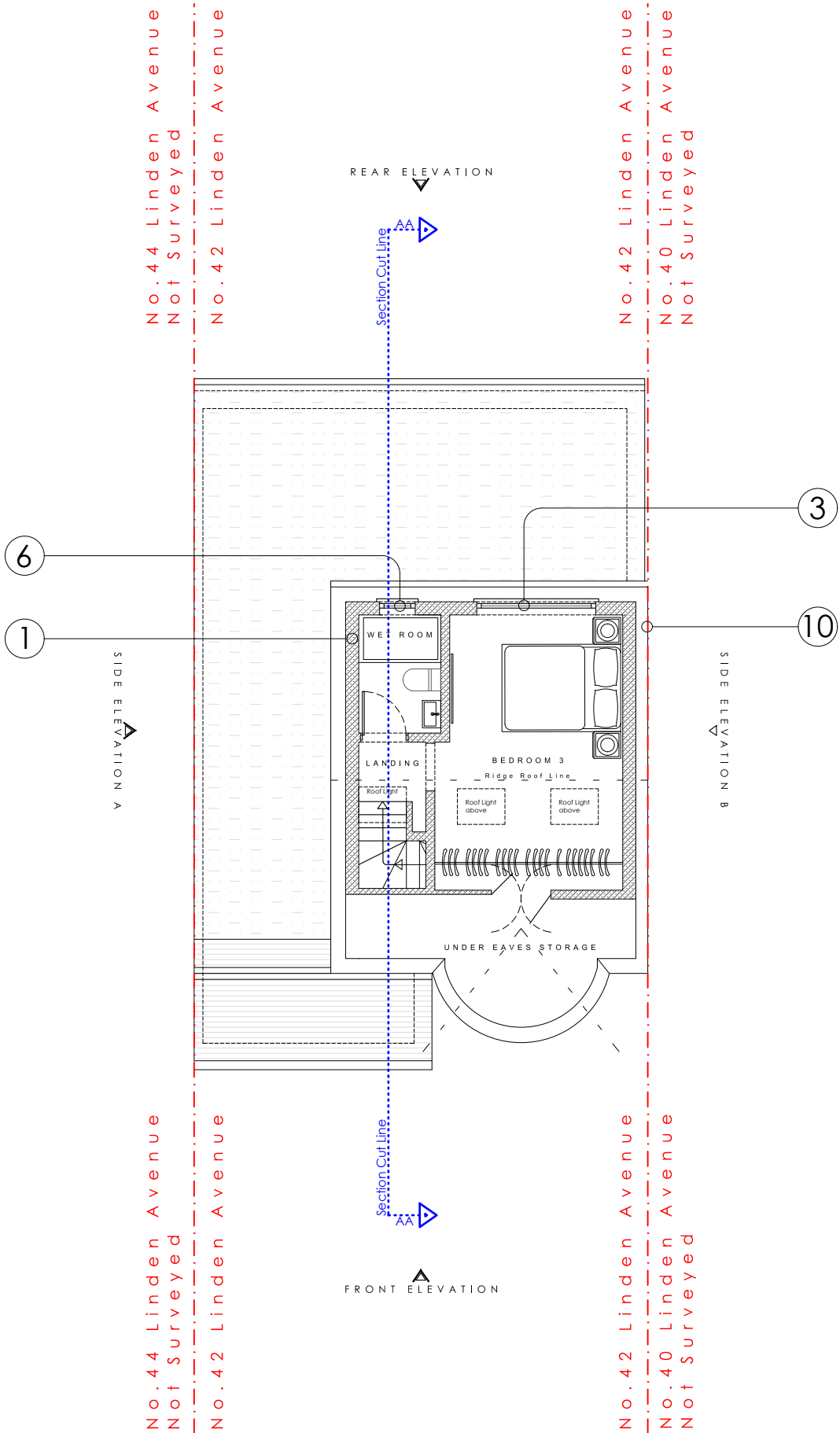
INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume
Hip to gable with rear dormer

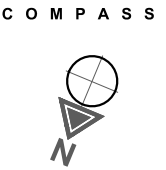
V1 - Rear Dormer
 $((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9\text{m}^3$

V2 - Hip to Gable
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

V1 + V2 = 18.9 + 7.6 = 22.5m³



- No. KEY:**
1. New wall construction to match Existing.
 2. New uPVC/Aluminium window system to match existing.
 3. New uPVC/Aluminium Juliet balcony system to match existing.
 4. New hip to gable roof with matching roof tiles.
 5. New pitch roof with gutter sytem to match existing style.
 6. New obscure glass uPVC/Aluminium window system to match existing.
 7. New roof lights.
 8. New dormer flat roof.
 9. New hip to gable wall to match existing.
 10. Proposed to be in situ with boundary line.



STAGE No : 3
STAGE TITLE : Planning **Rev:03**
DRAWING SCALE: 1:100@A3 **DRAWING Ref:P3** **DRAWING TITLE : Proposed Second Floor Plan**
DATE : 2025.11.17 **PROJECT : 42 Linden Avenue, Loft Conv.**

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



1 : 1 0 0 S C A L E B A R



K E Y

EXISTING
CONSTRUCTION

PROPOSED
CONSTRUCTION

BOUNDARY LINE

SECTION CUT LINE

INTERNAL GROSS AREA ADDED: 12m²

Calculation for roof volume

Hip to gable with rear dormer

V1 - Rear Dormer

$((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9\text{m}^3$

V2 - Hip to Gable

$((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

V1 + V2 = 18.9 + 7.6 = 22.5m³

STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

DRAWING Ref:P4

DRAWING TITLE : Proposed Roof Plan

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

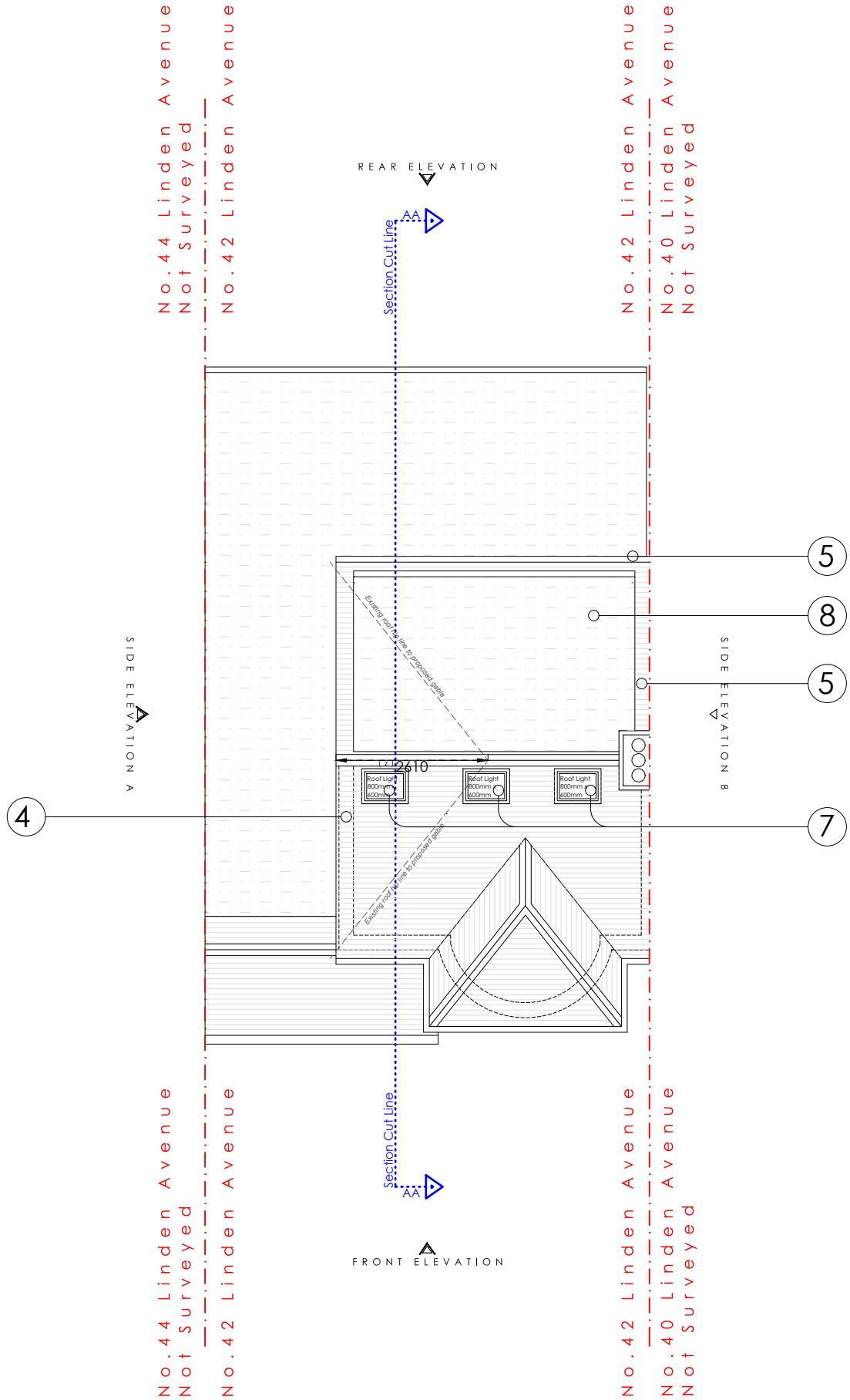
Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.

C O M P A S S



No. KEY:

1. New wall construction to match Existing.
2. New uPVC/Aluminium window system to match existing.
3. New uPVC/Aluminium Juliet balcony system to match existing.
4. New hip to gable roof with matching roof tiles.
5. New pitch roof with gutter sytem to match existing style.
6. New obscure glass uPVC/Aluminium window system to match existing.
7. New roof lights.
8. New dormer flat roof.
9. New hip to gable wall to match existing.
10. Proposed to be in situ with boundary line.





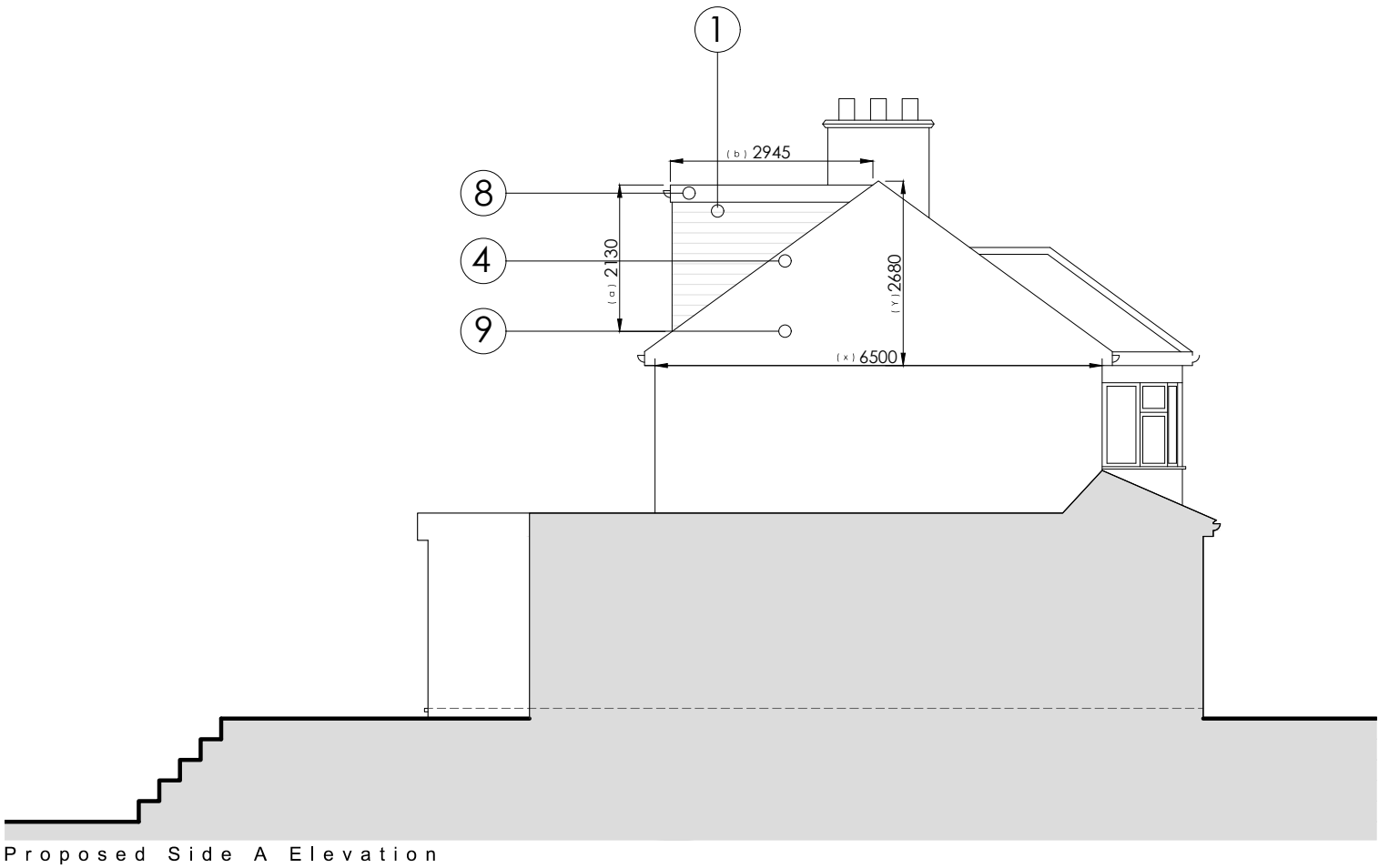
INTERNAL GROSS AREA ADDED: 12m²

No. KEY:

- 1. New wall construction to match Existing.
- 2. New uPVC/Aluminium window system to match existing.
- 3. New uPVC/Aluminium Juliet balcony system to match existing.
- 4. New hip to gable roof with matching roof tiles.
- 5. New pitch roof with gutter sytem to match existing style.
- 6. New obscure glass uPVC/Aluminium window system to match existing.
- 7. New roof lights.
- 8. New dormer flat roof.
- 9. New hip to gable wall to match existing.
- 10. Proposed to be in situ with boundary line.



Proposed Front Elevation



Proposed Side A Elevation

Calculation for roof volume
Hip to gable with rear dormer

V1 - Rear Dormer
 $((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9\text{m}^3$

V2 - Hip to Gable
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6\text{m}^3$

V1 + V2 = 18.9 + 7.6 = 22.5m³

STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

DRAWING Ref:PE1

DRAWING TITLE : Proposed Elevations 1

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



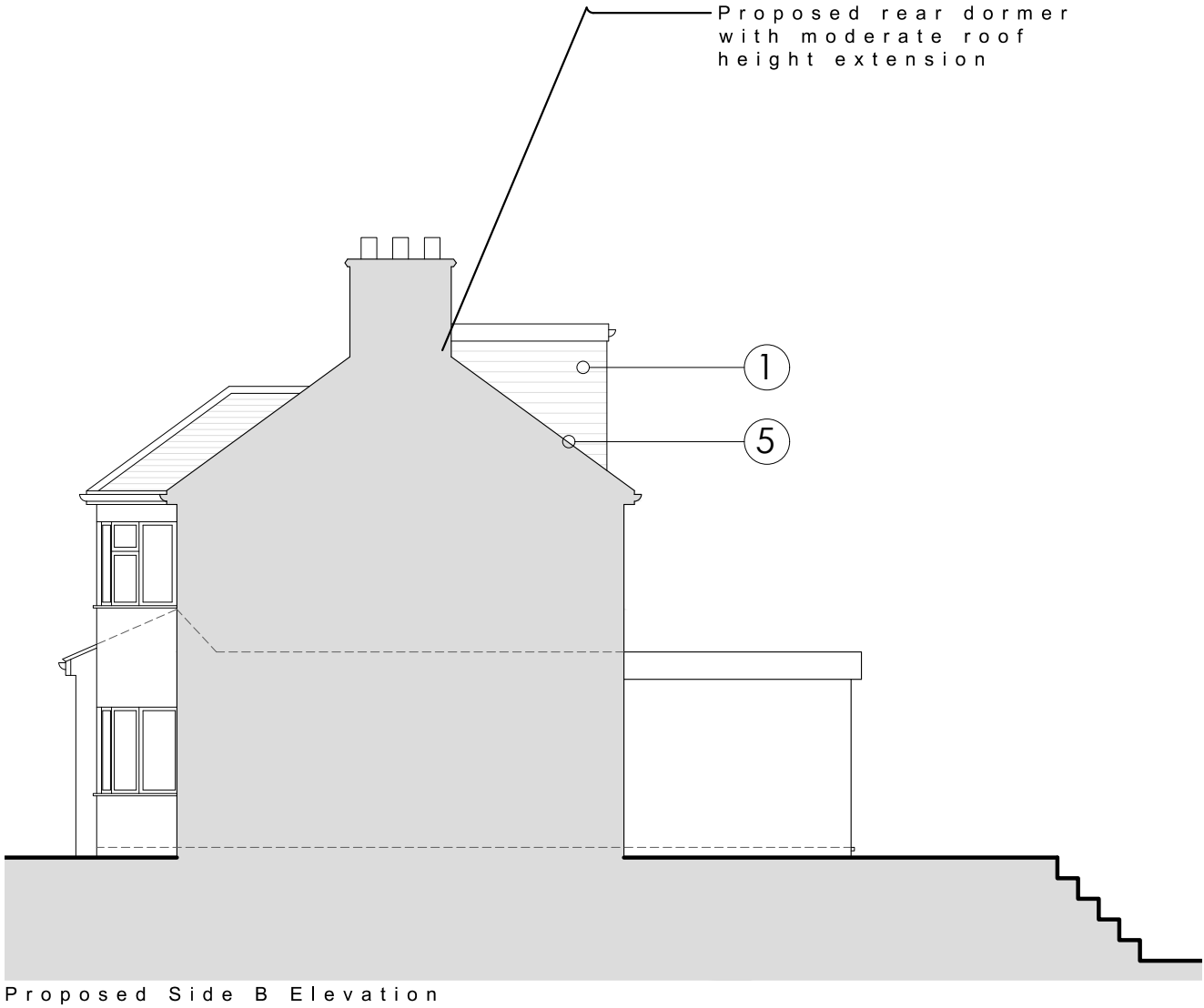
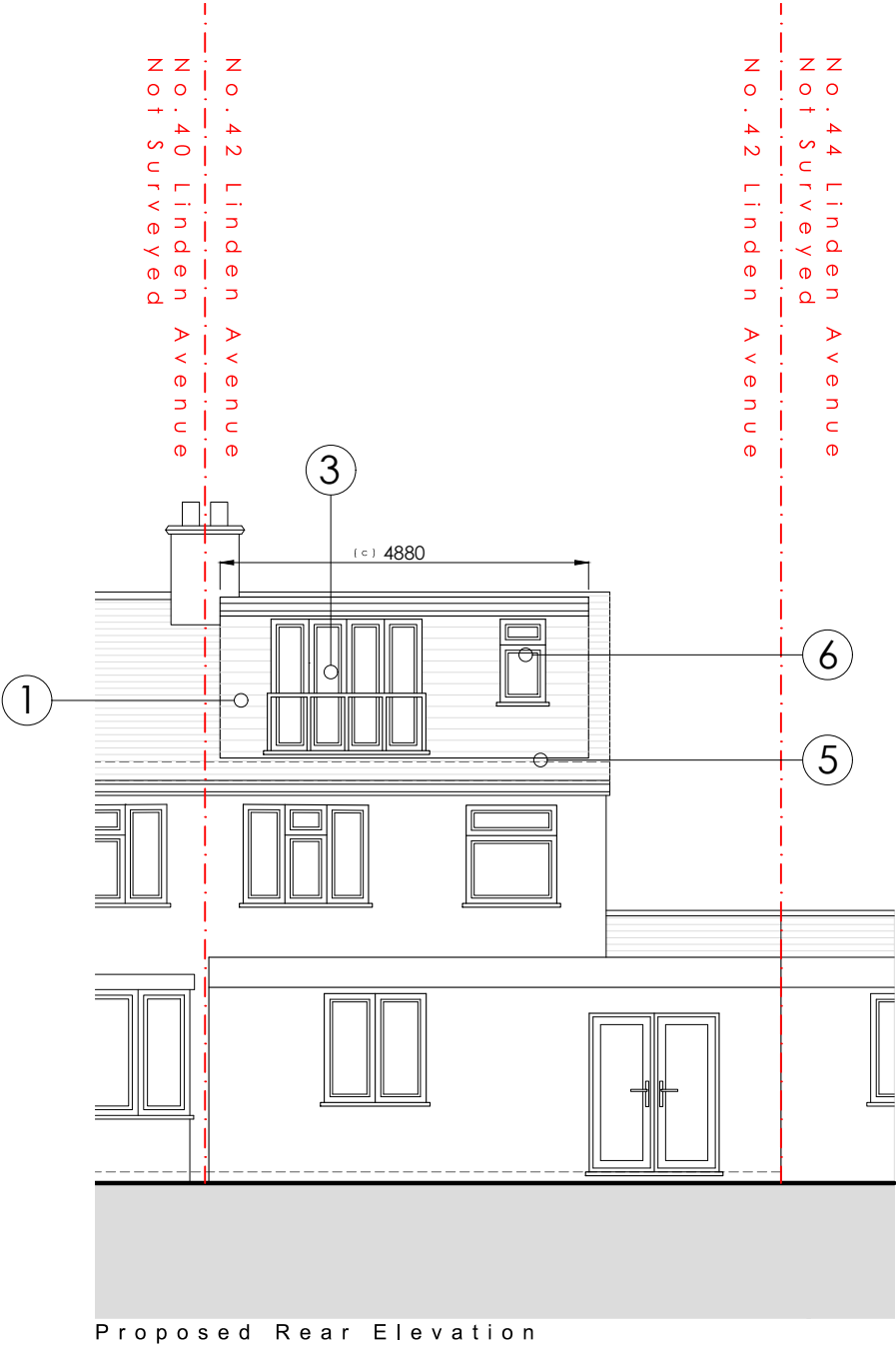
1 : 1 0 0 S C A L E B A R



INTERNAL GROSS AREA ADDED:

No. KEY:

- 1. New wall construction to match Existing.
- 2. New uPVC/Aluminium window system to match existing.
- 3. New uPVC/Aluminium Juliet balcony system to match existing.
- 4. New hip to gable roof with matching roof tiles.
- 5. New pitch roof with gutter sytem to match existing style.
- 6. New obscure glass uPVC/Aluminium window system to match existing.
- 7. New roof lights.
- 8. New dormer flat roof.
- 9. New hip to gable wall to match existing.
- 10. Proposed to be in situ with boundary line.



Calculation for roof volume
Hip to gable with rear dormer

V1 - Rear Dormer
 $((a)2.1 \times (b)2.9 \times (c)4.9) / 2 = 14.9m^3$

V2 - Hip to Gable
 $((x)6.5 \times (y)2.7 \times (z)2.6) / 6 = 7.6m^3$

V1 + V2 = 18.9 + 7.6 = 22.5m³

STAGE No : 3

STAGE TITLE : Planning

Rev:03

DRAWING SCALE: 1:100@A3

DRAWING Ref:PE2

DRAWING TITLE : Proposed Elevations 2

DATE : 2025.11.17

PROJECT : 42 Linden Avenue, Loft Conv.

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site. All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



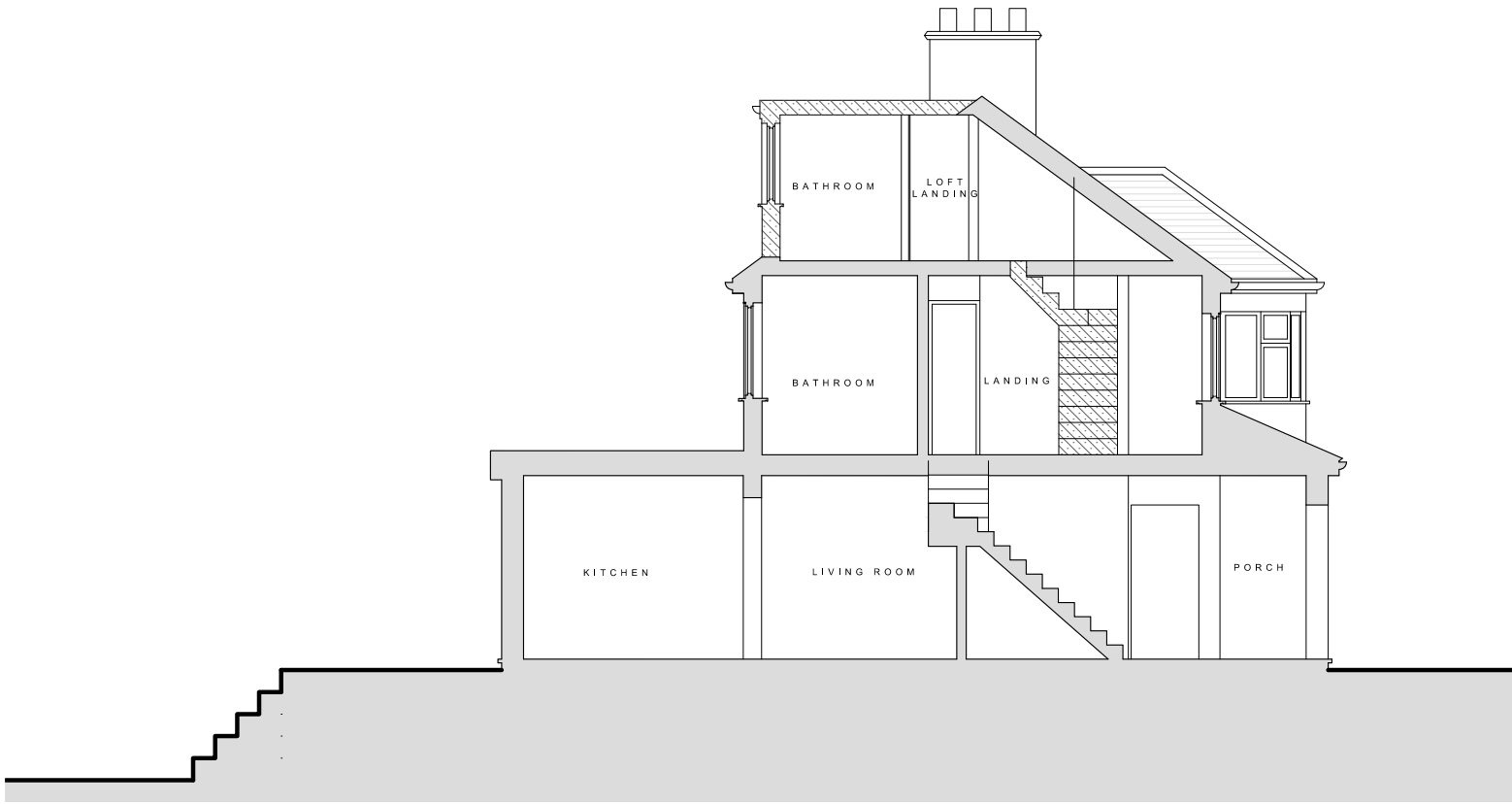
1 : 1 0 0 S C A L E B A R



K E Y

- EXISTING
CONSTRUCTION
- PROPOSED
CONSTRUCTION

INTERNAL GROSS AREA ADDED: 12m²



STAGE No : 3

STAGE TITLE : Planning Rev:03

DRAWING SCALE: 1:100@A3 DRAWING Ref:PS1 DRAWING TITLE : Proposed Section 1

DATE : 2025.11.17 PROJECT : 42 Linden Avenue , Loft Conv.

Notes: These drawings remain the copyright of The Planning Studio and may not be reproduced or copied without written consent. Do not scale these drawings; use figure dimensions only. Any discrepancies between the drawings and the actual site conditions must be reported to The Planning Studio immediately. These drawings should be read in conjunction with the structural and mechanical & electrical engineers' drawings. Dimensions critical to the existing building works must be verified on-site before construction begins, as certain assumptions have been made due to limited accessibility and anomalies in the existing building. A detailed examination of the floor and/or roof construction has not been possible (except at the positions described), as gaining access would have caused material damage. Therefore, no statement can be made about the condition of the unexamined structure, and assumptions have been made accordingly. All information, including dimensions, is provided for Planning submission purposes only, and any further use is not permitted unless agreed to in writing by The Planning Studio. The designer is not liable for any discrepancies or issues arising from conditions not examined or verified on-site.All drawings must be verified on-site prior to construction. The designer is not liable for any discrepancies between the drawings and actual site conditions. It is the responsibility of the contractor or relevant party to ensure the accuracy of measurements and verify all details before proceeding with construction. All interior components are for illustrative purposes only.



