

GENERAL SPECIFICATION
(unless noted otherwise on drawings or engineer's design)

EXTERNAL CAVITY WALLS WITH FACING BRICK OUTER SKIN

It is assumed that existing ground floor extension has cavity walls. Cavity wall of 100 Celcon Standard lightweight block (K=0.15 W/m2K) inner & outer skin. Cavity to match existing (70 approx) with 65 Knauf DriTherm-32 full fill insulation. 62.5 Celotex PL4000 insulation backed plasterboard dot & dabbed to wall with 3 skim. Stainless wall ties 750 horiz, 450 vert & 300 at reveals. Cavity reveals to be closed with Thermabate insulated cavity closers. Openings to have Catnic CG70/100 150 min bearings (unless beam noted on drawing). Render outer skin to match existing 2 x 10 coat 1:1.6 mix + waterproof additive BSS262 to blockwork.

STEELWORK

Beams to be clad with 12.5 fireline plasterboard + skim to provide 30 min fire rating. Alternatively steelwork to be painted with intumescent paint by suitably trained person to approval of building inspector on site.

FIRST FLOOR

150x50 C16 joists at 400 cts. Steel joist hangers. Cross batten to make floor level with existing. 22mm moisture resistant T&G particle board (18 WBP ply to bathrooms) 5x30 steel restraint straps at 2000 cts over 2 joists & located in brick or blockwork. 200x38 straight strutting between joists. Soffit clad with 9 plasterboard + skim. 100 acoustic quilt between joists

INTERNAL PARTITIONS

75x50 stud. 1981x762 doorways unless shown otherwise on plan. Double up joists under partition bolting together with M12 bolts @ 600cts if on timber floor. All partitions to contain 75 acoustic quilt. Clad bath/shower room partitions with 12.5 soundblock + 3 skim each side.

PITCHED MAIN ROOF

125x50 C16 rafters at 400 cts. Spiked & B-mouthed to joists & wall plates. 200x50 C16 hip & valley rafters. 200x38 ridge board. 150x75 purlins. 100x50 struts at 1000 max cts. 150x50 C16 ceiling joists to 400cts. 1 layer Tyvek membrane. 19x38 battens. 5x30 MS anchor straps at 1200 max cts screw fixed at three points to both roof structure and wall. Roof tiles to match existing. Chutes to valleys. Pitch to match existing. 300 fibreglass quilt laid between joists & over joists. 9 plasterbd + 3 skim to underside of joists. New hip & ridge tiles to be bedded on mortar in addition to a mechanical fixing

VENTILATION

Windows/doors to match existing & provide vent of min 1/20 floor area & built in adjustable 8000mm² min vent. Install power vent to bath/shower room to achieve 15 litres/sec and be connected to light switch with 15 min overrun. Vent to be ducted at ceiling level to outside air.

DRAINS

Osma 100 dia pipe laid in 150 pea shingle to fall min 1 in 40. Drains shown on drawings are estimated and are to be confirmed on site before any work commences.

SURFACE WATER

112 dia PVC gutters. 68 dia PVC downpipes. Surface water downpipes connected into existing surface water drain. If not possible construct soakaway minimum 5 metres from any building. Volume of 1 cubic metre per 16.5 square metres of roof area served. Fill with hardcore.

ABUTMENTS

All exterior abutments to have code 4 lead min 150 flashing let into brickwork or blockwork.

WINDOWS

Double glazed with 16 air gap and soft low E coating. Built in 8000mm² adjustable vent. To achieve U value of 1.4 w/m2K. All glass below 800mm to be toughened safety glass.

ABOVE GROUND DRAINAGE AND PLUMBING

Sink, bath & shower to have 40 dia waste. Basin with 32 dia waste. All with 75 D/S traps & rodding access at bends. WC with 110 dia waste. Plumbing to comply with British Standards. Air admittance valves (Durgo) to be installed above level of highest fitting that it serves. SVPs to vent 900 above any openable window within 3m. Wholesome water (ie water provided by statutory water supplier via a compliant water supply installation) to be provided to all taps. Baths & shower taps to be thermostatically controlled to ensure water does not exceed 48 deg C

ELECTRICAL WORK

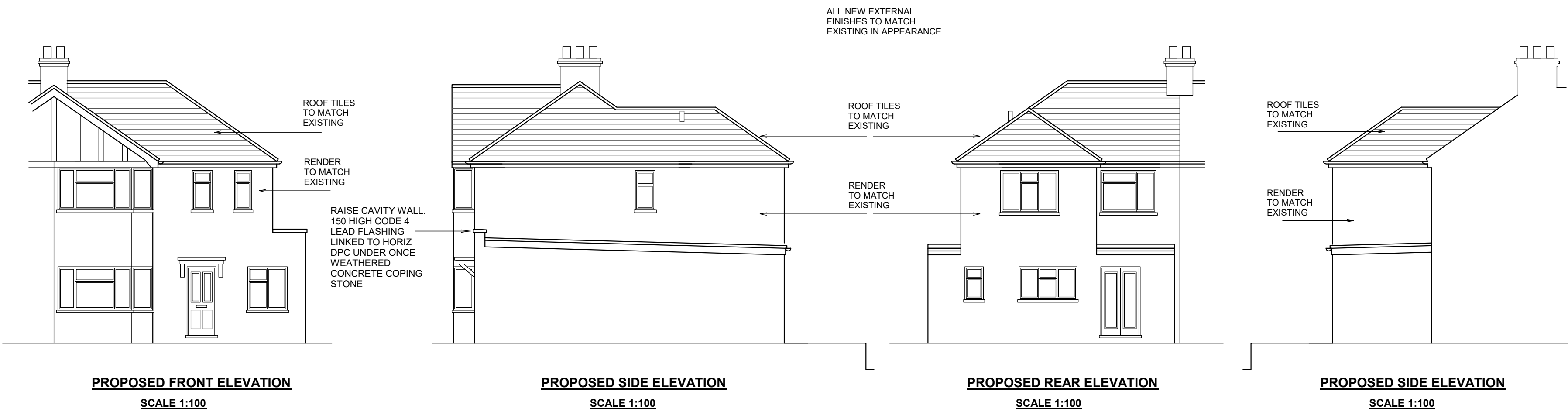
All electrical work required to meet the requirements of Part P (Electrical Safety). Must be designed, installed, inspected & tested by a person competent to do so. Prior to completion the council should be satisfied the Part P has been complied with. This may require an appropriate BS7671 electrical installation certificate to be issued for the work by a person competent to do so. New light fittings to have LED bulbs. Electrical switches and sockets to be installed between 450mm and 1200mm from floor level where practical.

HEATING

New radiators to be fitted with thermostatic valves. Work to gas pipework, boilers & appliances to be carried out, tested and certified by Gas Safe registered person.

(S) SELF CONTAINED MAINS OPERATED INTERLINKED OPTICAL SMOKE DETECTOR SYSTEM IN ACCORDANCE WITH BS5839 OR BS5446. ALARMS TO HAVE BATTERY BACK UP. DETECTORS 300mm FROM WALLS

(H) HEAT DETECTOR INTERLINKED WITH SMOKE DETECTORS

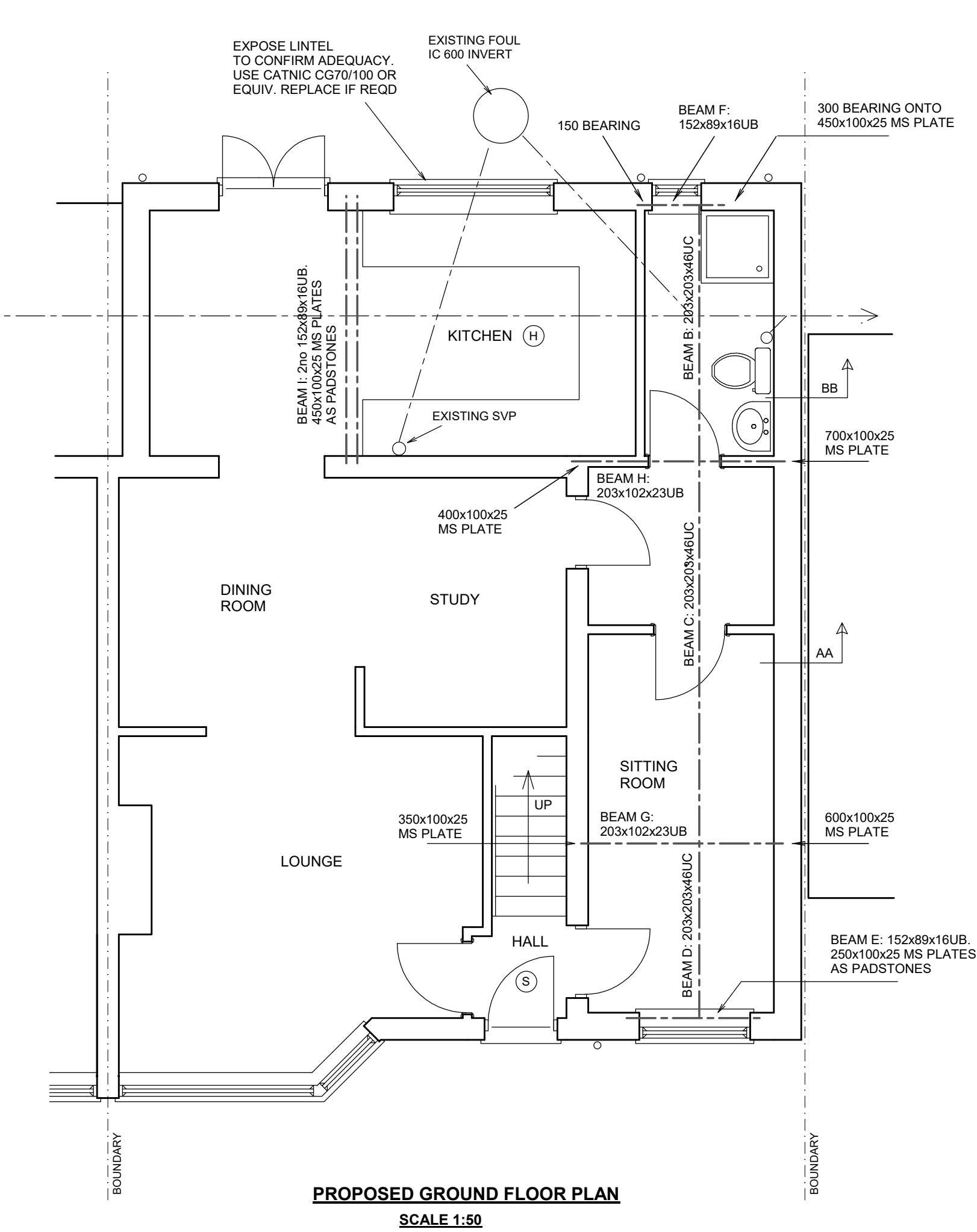


PROPOSED FRONT ELEVATION
SCALE 1:100

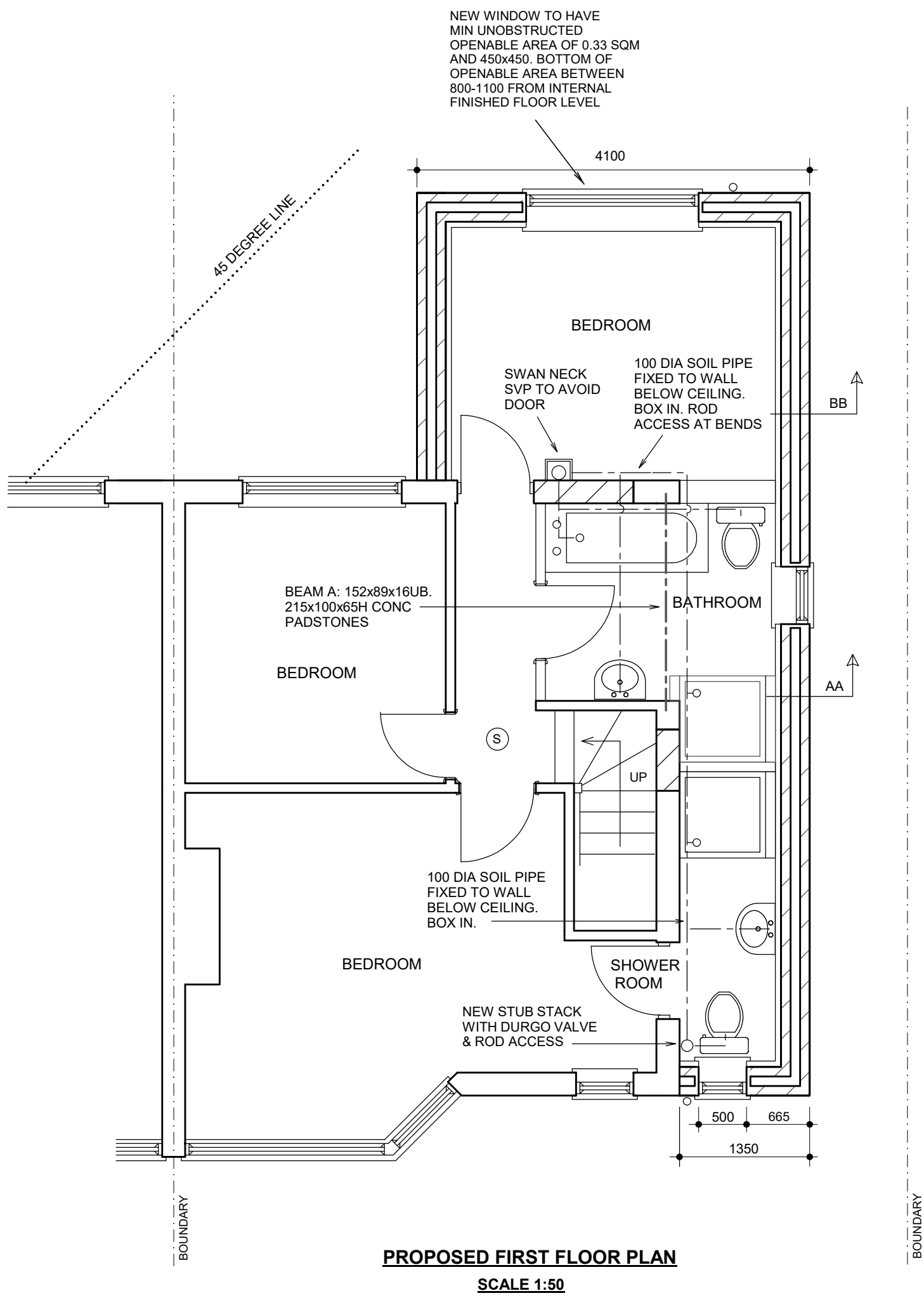
PROPOSED SIDE ELEVATION
SCALE 1:100

PROPOSED REAR ELEVATION
SCALE 1:100

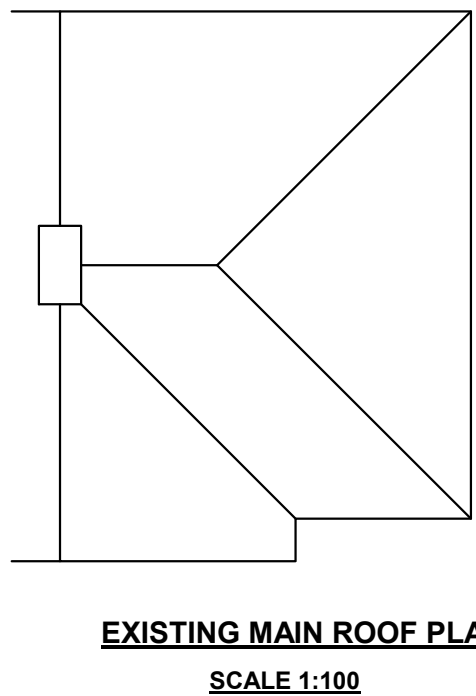
PROPOSED SIDE ELEVATION
SCALE 1:100



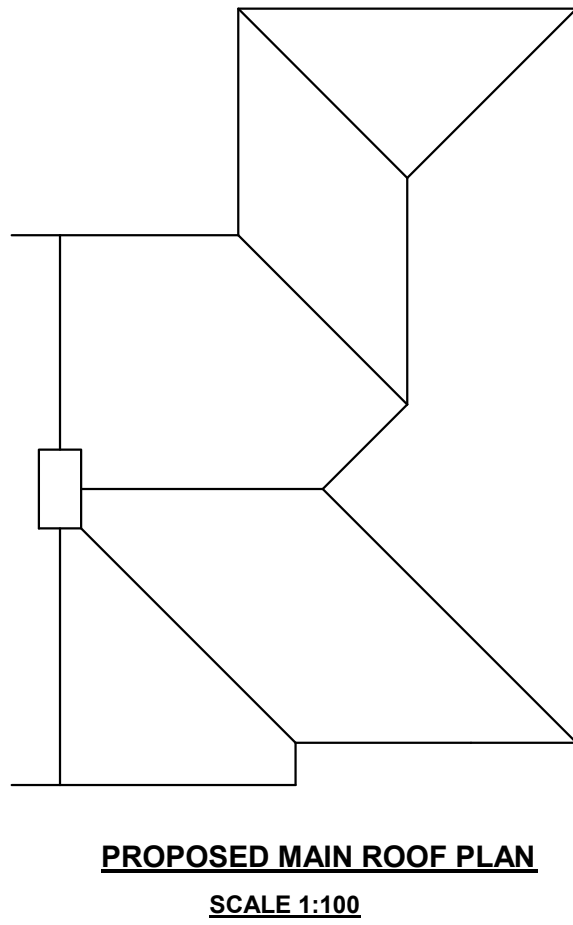
PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED FIRST FLOOR PLAN
SCALE 1:50



EXISTING MAIN ROOF PLAN
SCALE 1:100



PROPOSED MAIN ROOF PLAN
SCALE 1:100

64 LINDEN AVENUE RUISLIP MIDDx HA4 8UA

FIRST FLOOR EXTENSION

SCALE 1:50 / 1:100 @ A1

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DRG No. 2499.2

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10.00 METRES @ 1:100

5.00 METRES @ 1:50

BOUNDARIES ESTIMATED AND TO BE CONFIRMED ON SITE. ALL NEW WORKS TO BE CONTAINED WITHIN TRUE SQUARES UNLESS STATED OTHERWISE ON PLAN
ALL NEW WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS
DIMENSIONS IN MILLIMETRES AND TO BE CONFIRMED ON SITE
ALL STEEL DIMENSIONS TO BE CONFIRMED ON SITE AND NOT BE TAKEN FROM STRUCTURAL CALCULATIONS
ALL DRAMA & TREES ARE ESTIMATED AND ARE TO BE CHECKED & CONFIRMED ON SITE BEFORE ANY WORK COMMENCES
CLIENT TO SERVE PARTY WALL ACT NOTICE BEFORE WORK COMMENCES
ALL WORK TO BE CARRIED OUT & SUPERVISED BY COMPETENT OPERATIVES
BATS ARE PROTECTED BY LAW. STOP WORK IF BATS FOUND ON SITE.

DUE TO SURVEY LIMITATIONS EXISTING JOIST SPANS ASSUMED UNTIL CONFIRMED ON SITE. ALL WALLS & PARTITIONS TO BE CONSIDERED LOADBEARING UNTIL OPENED UP ON SITE AND CHECKED BY COMPETENT PERSON TO CONFIRM OTHERWISE MUST BE CONFIRMED BEFORE ANY WORK COMMENCES
IF STRUCTURAL ENGINEERS DESIGN RELATING TO STRUCTURAL ELEMENTS CONTRADICTS ARCHITECTURAL DRAWING SPEC. ENGINEER'S DESIGN PREVAILS
THIS DRAWING IS FOR PLANNING & BUILDING REGULATION APPLICATION PURPOSES ONLY. BUILDING REGULATION TO APPOINT CDM CONSULTANT TO ENSURE WORKS COMPLY WITH CDM REGULATIONS BEFORE WORK COMMENCES
SINCE WE HAVE NO ACCESS TO THE DEEDS OF THE PROPERTY IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE WORKS DO NOT CONTRAVENE ANY RESTRICTIVE COVENANTS CONTAINED IN THE DEEDS