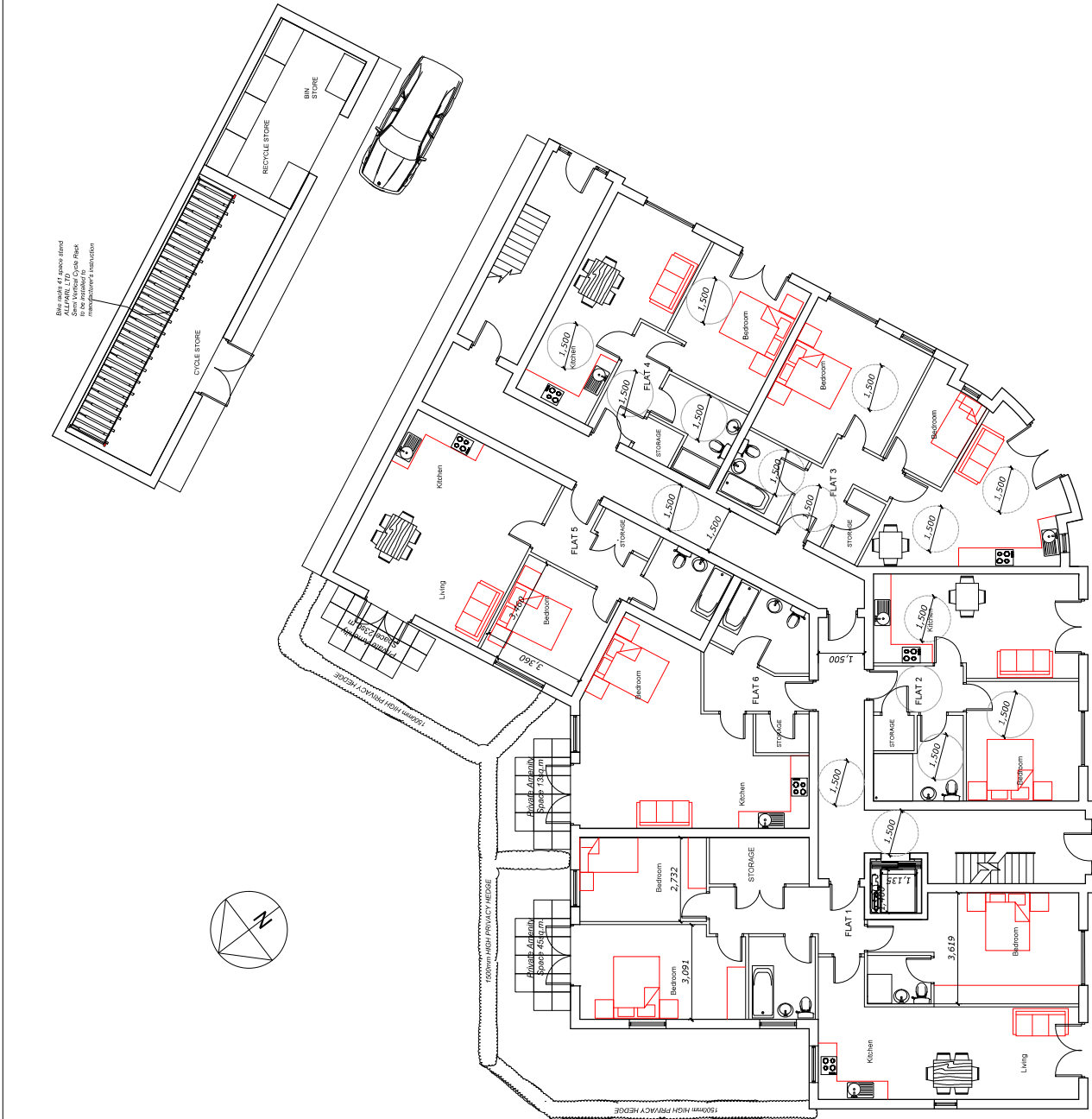


FLAT No.	No. of Bedrooms	Private Amenities (sq.m)	Shared Amenities (sq.m)
1	3	45	30
2	1	—	20
3	2	—	25
4	1	—	20
5	1	23	20
6	Studio	13	20
7	1	3	20
8	1	3	20
9	2	13.5	25
10	1	3	20
11	2	3	25
12	2	3	25
13	1	3	20
14	Studio	—	20
15	1	6	20
16	3	26	30
17	1	3	20
18	2	13.5	25
19	1	3	20
20	2	3	25
21	2	3	25
22	1	3	20
23	Studio	—	20
24	2	32	25
25	1	—	20
26	2	13.5	25
27	1	—	20
28	1	82	20
29	1	3	20
30	Studio	—	20
TOTAL		303.5	645

PRIVATE AMENITY SPACE
= 303.5sq.m.
COMMUNAL SPACE REQUIRED
= 645-303.5 = 341.5sq.m.
COMMUNAL SPACE PREPARED
= 450sq.m.



REVISIONS
A Internal layout changed to the approved plans 25/01/22
B Shared amenity space added and balconies changed to suit Local Authorities requirements 20/09/22
C Front balconies removed 22/04/23
D Dimension added 05/05/23
E Balcony reduced 23/05/23
F Front adjusted 05/1/2023

Area of defensible space	
FLAT 1	43 sqm
FLAT 5	22 sqm
FLAT 6	32 sqm

FLAT No.	AREA (m ²)	No. Bedroom
1	101	3
2	52	1
3	61	2
4	51	1
5	59	1
6	49	Studio

Communal Area	
Ground Floor	76 sqm

GROUND FLOOR PLAN

THE GILLET MACLEOD PARTNERSHIP
Chartered Architects & Town Planning Consultants
1 High Road Old Eastside Pinner Middlesex HA5 2EW Tel. 0208 888 1333



Scale Bar 1:100 @ A2
0 1 2 3 4 5 6 7 8 9 10 Metres

FLC MOTORS, HIGH ST, YIEWSLEY
MIDDLESEX UB7 8AA

REVISION	Scale	Date	Drawn by
F	1:100	21/01/22	AK
C			